

Crescent Springs Commons
2400 Sarah Lane
Crescent Springs, KY 41017



David L. Schank Companies
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Downtown Cincinnati

Crescent Springs Commons



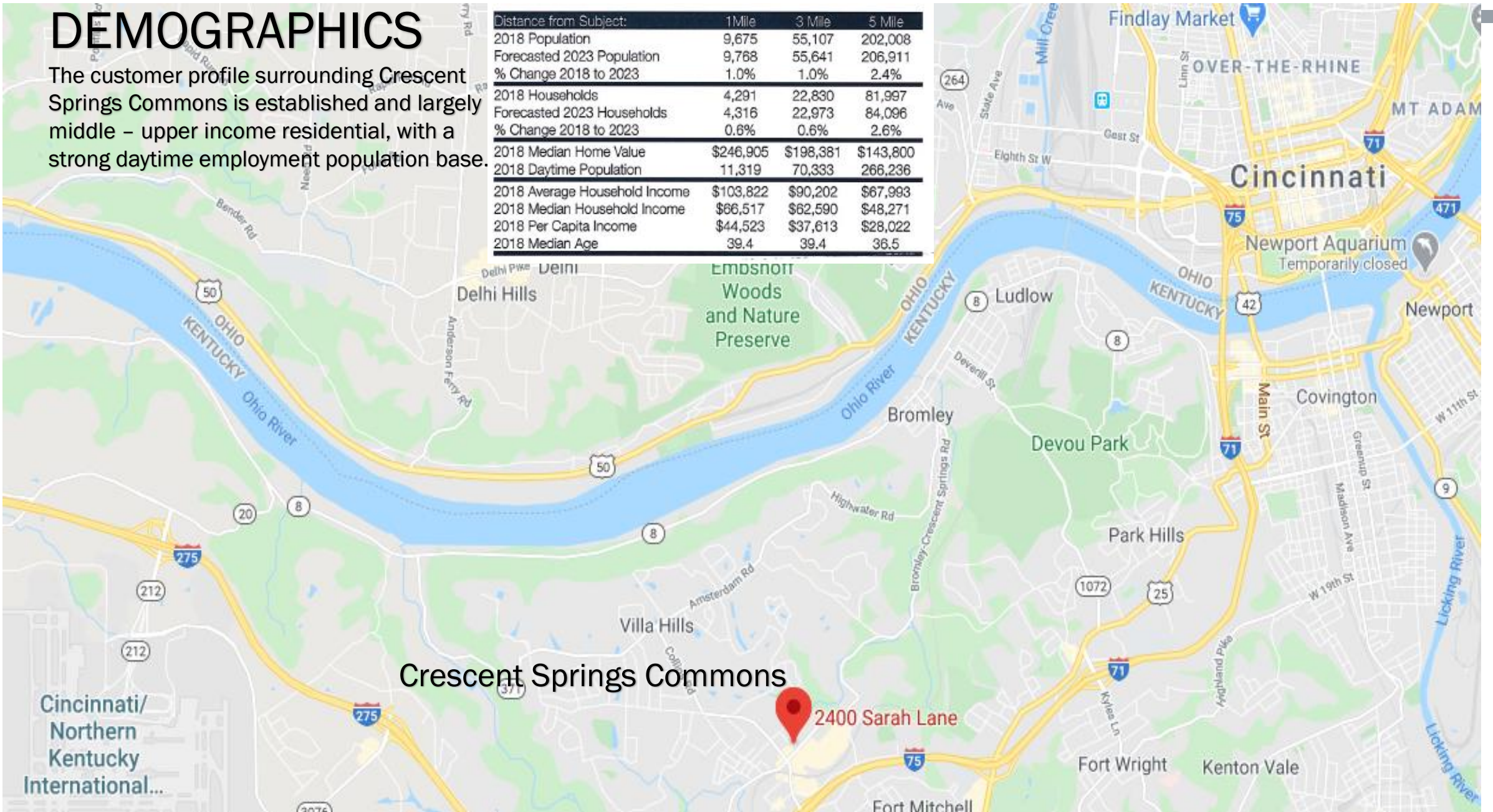
DEMOGRAPHICS

The customer profile surrounding Crescent Springs Commons is established and largely middle – upper income residential, with a strong daytime employment population base.

Distance from Subject:	1 Mile	3 Mile	5 Mile
2018 Population	9,675	55,107	202,008
Forecasted 2023 Population	9,768	55,641	206,911
% Change 2018 to 2023	1.0%	1.0%	2.4%
2018 Households	4,291	22,830	81,997
Forecasted 2023 Households	4,316	22,973	84,096
% Change 2018 to 2023	0.6%	0.6%	2.6%
2018 Median Home Value	\$246,905	\$198,381	\$143,800
2018 Daytime Population	11,319	70,333	266,236
2018 Average Household Income	\$103,822	\$90,202	\$67,993
2018 Median Household Income	\$66,517	\$62,590	\$48,271
2018 Per Capita Income	\$44,523	\$37,613	\$28,022
2018 Median Age	39.4	39.4	36.5

Crescent Springs Commons

2400 Sarah Lane



QUEEN CITY AVENUE

**LOT #4 - VACANT LAND
SALE OR BUILD TO SUIT
UP TO 5,916 SF FOR LEASE
WILL DIVIDE**

1,160 SF FOR LEASE



VIN-WILLIAMS
SHERWIN WILLIAMS
BIG LEAGUE HAIRCUTS
at&t

LOT 3
0.78 AC.±

Auto Zone

LOT 1
0.94 AC.

EMILY DRIVE

LOT 3
0.94 AC.

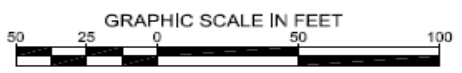
TACO BELL

ANDERSON ROAD

CLOCK TOWER WAY

- BUTTERMILK TOWER CENTER**
- *Home Depot
 - *L.A. Fitness
 - *Sportsman's Warehouse
 - *Remke Market
 - *PNC Bank
 - *Petco
 - *Hand & Stone
 - *National City Bank
 - *FedEx
 - *Marco's Pizza

CRESCENT SPRINGS COMMONS
SITE PLAN



PRISM ENGINEERING & DESIGN GROUP, LLC
 2309 WATTERSON TRAIL, SUITE 200
 OFFICE (502) 491-8891
 FAX (502) 491-8898
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DATE: JULY 14, 2017 SHEET 1 of 1



YOUR NAME

STOP

SHERWIN-WILLIAMS

CRESENT SPRINGS COMMONS



TACO BELL



AutoZone

KEYNOTES

- 1 CONCRETE CURB - SEE DETAIL SHEET C1.6
- 2 ASPHALT PAVING - SEE DETAIL SHEET C1.6
- 3 HANDICAP PARKING AREA - SEE DETAIL SHEET C1.6
- 4 HANDICAP PARKING SIGN - SEE DETAIL SHEET C1.6
- 5 PIPE BOLLARD - SEE DETAIL SHEET C1.6
- 6 GUNPSHER LAYOUT - 8" HIGH MASONRY ENCLOSURE W/ GATES - SEE SHEET C1.6
- 7 6"-0" LONG CONCRETE WHEEL STOP, PAVED TO PAVEMENT - SEE DETAIL SHEET C1.6, LOCATE 2'-0" FROM FACE OF CURB OR SIDEWALK
- 8 NEW LANDSCAPE AREA - SEE SHEET L1.0 FOR ADDITIONAL INFORMATION
- 9 4" WIDE PARKING STRIPE PAINTED WHITE (TYP.)
- 10 4" WIDE DIAGONAL STRIPES PAINTED WHITE
- 11 CONCRETE HANDICAP RAMP - SEE DETAIL SHEET C1.6
- 12 DOWNSPOUTS TO DISCHARGE TO STORM SEWER
- 13 SAWCUT AND REMOVE EXISTING PAVEMENT, SELECTIVE DEMOLITION REQUIRED, AS NECESSARY, TO ACCOMMODATE PROPOSED WORK
- 14 ACCESSIBLE PARKING - SEE DETAIL SHEET C1.6
- 15 PAVEMENT MARKINGS
- 16 CONCRETE LIGHT POLE BASE - LOCATE 3'-0" FROM BACK OF CURB OR SIDEWALK TO CENTER OF BASE. AM LIGHT FIXTURE IN DIRECTION AS INDICATED.
- 17 APPROXIMATE LIMITS OF UNDERGROUND STORMWATER DETENTION SYSTEM
- 18 MENU BOARD - (DESIGN BY OTHERS)
- 19 RETAINING WALL (DESIGN/PERMITTING BY OTHERS)
- 20 TRANSFORMER PAD
- 21 6" CHAIN LINK FENCE WITH ALUMINUM SLATS
- 22 4" CHAIN LINK FENCE
- 23 EXISTING SIDEWALK
- 24 CONCRETE PAVEMENT - SEE DETAIL SHEET C1.6

PARKING INFORMATION		
ITEM	REQUIREMENTS	PROVIDED
BUILDING SIZE	33,000 (MAXIMUM)	9,918 SF
PARKING REQUIRED	AS APPROVED ON THE STAGE I DEVELOPMENT PLAN FOR LOTS 2 AND 4 - 70 SPACES	40 SPACES FOR LOT 4
PARKING DIM.	9 FT. X 16 FT.	9 FT. X 16 FT.
MIN. DRIVEWAY WIDTH	22 FT.	24 FT.
ACCESSIBLE SPACES	3 SPACES	3 SPACES
BIKE SPACES	NOT REQUIRED	NONE

REFERENCE IS MADE TO CITY OF CRESCENT SPRINGS ZONING ORDINANCE.

BULK AREA REQUIREMENTS		
ITEM	REQUIREMENTS	PROVIDED
MINIMUM DEVELOPMENT AREA	2 ACRES	0.91 ACRES
MINIMUM LOT FRONTAGE	*	PER PLAN
MINIMUM FRONT SETBACK (BUILDING)	*	PER PLAN
MINIMUM SIDE SETBACK (BUILDING)	*	PER PLAN
MINIMUM REAR SETBACK (BUILDING)	*	PER PLAN
MAXIMUM BUILDING HEIGHT	3 STORIES	1 STORY

REFERENCE IS MADE TO CITY OF CRESCENT SPRINGS ZONING ORDINANCE.
NOTE: THE PROPOSED USE IS SUBJECT TO THE STAGE I DEVELOPMENT PLAN APPROVED FOR CRESCENT SPRINGS COMMONS.

UTILITY NOTE

LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER "KENTUCKY 811" (TOLL-FREE PHONE NO. 1-800-752-8077), 48 HOURS IN ADVANCE, OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATION OF EXISTING BELOW GROUND UTILITIES (I.E.; CABLES, ELECTRICAL WIRES, TELEPHONE LINES, GAS, AND WATERLINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS AND IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.

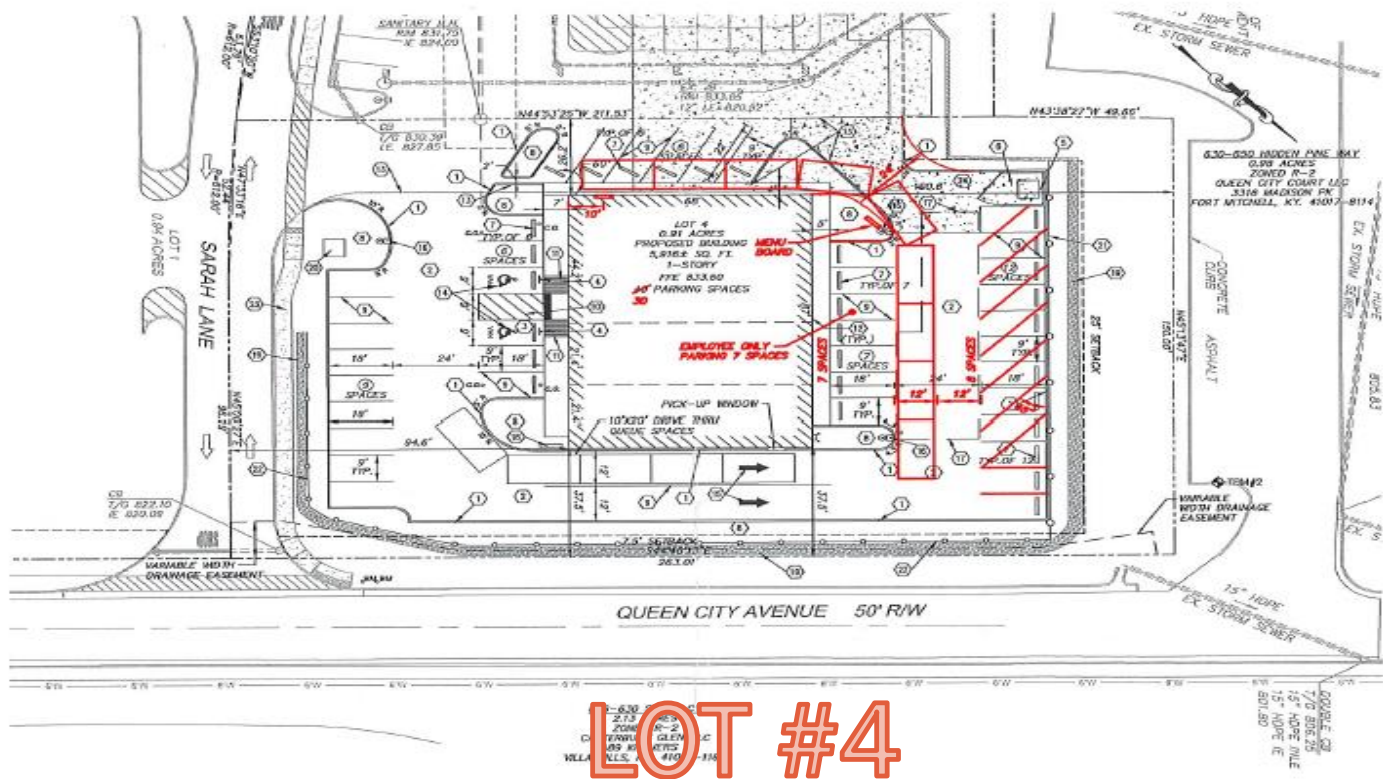
UTILITY PROTECTION NOTE

ALL UTILITIES ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER "KENTUCKY 811" (TOLL-FREE PHONE NO. 1-800-752-8077), 48 HOURS IN ADVANCE, OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATION OF EXISTING BELOW GROUND UTILITIES (I.E.; CABLES, ELECTRICAL WIRES, TELEPHONE LINES, GAS, AND WATERLINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS AND IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.



GENERAL NOTES

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES AND SERVICE LINES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY POTENTIAL CONFLICTS PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO COORDINATE ALL WORK WITH THE ARCHITECTURAL AND MEP DRAWINGS AND ALL AFFECTED UTILITY COMPANIES.
3. A MINIMUM OF 18" VERTICAL AND 10" HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER LINES AND SEWERS AS MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
4. ALL GRASS/LAWN AREAS SHALL BE GRADED TO DRAIN.
5. ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT UNLESS NOTED OTHERWISE.
6. ALL GRADING AND EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL EVALUATION.
7. AN EROSION PREVENTION AND SEDIMENT CONTROL PLAN SHALL BE INSTALLED, MAINTAINED AND REPORTS MAINTAINED PER ALL LOCAL, STATE, AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS.
8. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF AS-BUILT COMPLIANCE WITH ADA REQUIREMENTS.



LOT #4



LEGEND

SEE SHEET C01 FOR LEGEND.
 1 CUT IN CONCRETE CURB LOCATED 25' SOUTH WEST OF THE EAST SUBJECT PROPERTY CORNER.
 2 3/4" DIA. BENCH MARK WAS ESTABLISHED BY USE OF A TRIMBLE R4 DUAL FREQUENCY GPS RECEIVER, MODEL #30250-265.
 3 15' HOPE DRIVE THRU QUEUE SPACES.

FLOOD NOTE

THE PROPERTY SHOWN HEREON IS NOT LOCATED WITHIN A 100 YEAR FLOOD ZONE AS INDICATED BY FLOOD INSURANCE RATE MAP NO. 21117C0012P, DATED 5/16/2013.



PRISM ENGINEERING & DESIGN GROUP, LLC
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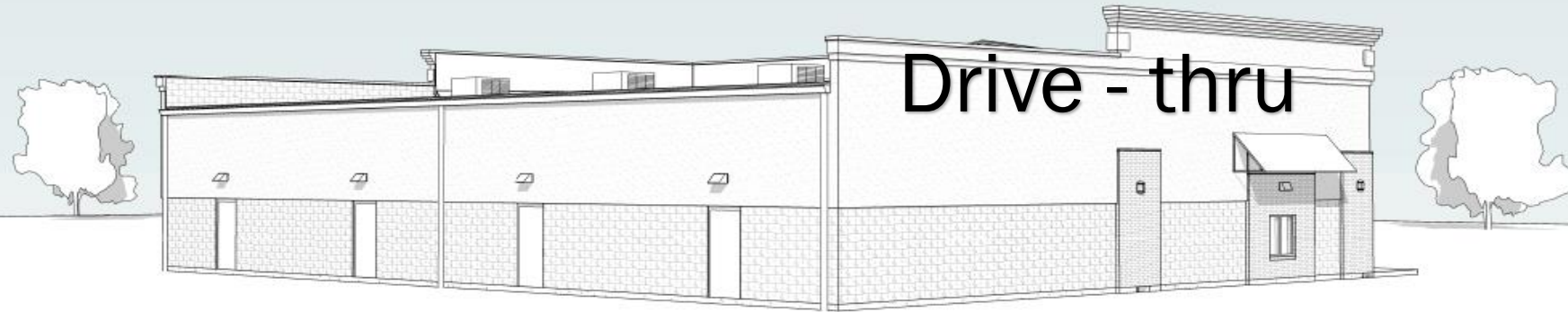
DRIVE THRU EXHIBIT SITE PLAN
 CRESCENT SPRINGS COMMONS LOT 4
 2400 SARAH LANE
 CRESCENT SPRINGS, KENTUCKY 41017

TRISTAR VENTURES, LLC
 2400 EXECUTIVE DRIVE, SUITE 114
 ST. CHARLES, MISSOURI 63303
 TRISTAR VENTURES, LLC
 2400 EXECUTIVE DRIVE, SUITE 114
 ST. CHARLES, MISSOURI 63303

PROJECT NO. 210074-E2
 SHEET NO. 114
 DATE: JANUARY 20, 2020
 DRAWN BY: RTO
 CHECKED BY: J.JH
 SCALE: 1" = 20'

C1.0

View From Northwest



View From Southeast



View From Southwest



Tristar Ventures LLC
 c/o David L. Schank
 8134 New La Grange Rd. Ste. 225
 Louisville, KY 40222
 Phone 502-429-0059

Code Information For:
 Crescent Springs Commons
 Crescent Springs, KY 41117

Current Codes Adopted By Kentucky:
 2010 Kentucky Building Code (Based on the 2015 International Bldg. Code)
 2015 International Mechanical Code
 2012 NFPA 54 - National Fuel Gas Code
 2012 International Energy Conservation Code
 2009 ICC/ANSI A117.1 Accessible and Usable Buildings and Facilities
 Kentucky State Plumbing Law, Regulations & Code (2015 KAR Chapter 20)
 2017 Kentucky State Plumbing Law
 2017 NFPA 70 - National Electrical Code (effective October 1, 2014)

Ch 3 Occupancy Classification
 Building Area: 5916 sf
 Possible Occupancies:
 M Mercantile Group - Cr
 4-2 Assembly - Restaurant Cr
 4-3 Assembly - Fitness Training

Ch 5 Allowable Height: 1 story
 Allowable Building Area: 5000 of
 Allowable Building Height: 1 story
 Building Footprint Area: 5916 sf

Ch 6 Type of Construction: VB (SB)
 Per-Rating Of Building Elements:
 No Rating Requirements
 Ext. Wall Requirements Based On
 Separation Dist.: 0 Hr. - all Left Exterior
 Wall w/ 10'-0" To Property Line

Ch 7 Fire Partitions Required
 All Tenant Separators: 1 Hr.

Ch 9 Automatic Sprinkler Systems: None
 Per Occupancy: M
 Building to Not Sprinklered

2015 International Energy & Conservation Req.
 For Passive Appliances in
 Commercial Occupancies In
 Climate Zone 4 Except Motors

Roofs:
 5'-Polyspn. Insul. Above Deck For Total R-28.5
 Walls, Above Grade:
 2'-Cms Walls w/ 2" Rigid Ins; 6.96 + 11.4 = 18.36
 2'-Cms Walls w/ 2" Rigid Ins w/ Min. 1" Gls. Ins;
 6.96 + 11.4 + 4.6 = 23.02
 6'-Metal Clad w/ 2" Rigid Ins w/ Min. 1" Gls. Ins;
 19 + 11.4 + 4.6 = 35

Slabs - Single Floor:
 4" Concrete Slab on Grade
 4" Extruded Polystyrene at R-5 Insl
 = R-7.5 Total

Refrigeration Requirements In Comm. Occupancies:
 Metal Framed Walls w/ Thermal Breaks:
 Custom Wall Standards: U-0.28 w/ SHGC: 0.40
 Glass Entrance Doors: U-0.70 w/ SHGC: 0.40
 Operable Insulated Metal Door: U-0.45

See Insulation Notes on Sheet A1.1

New Retail Building - Lot 4
Crescent Springs Commons
 2400 Sarah Lane, Lot 4
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Sheet Index

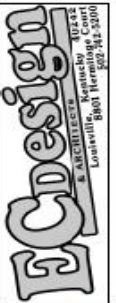
- A0.1 Cover Sheet
- A1.1 1st Floor Plan
- A1.2 Reflected Ceiling Plan
- A1.3 Roof Plan
- A2.1 Front & Rear Elevations
- A2.2 Left & Right Elevations
- A3.1 Side-Side Building Sects.
- A3.2 Up-Down Building Sects.
- A4.1 Wall Sections
- S1.1 Structural General Notes
- S1.2 Foundation Plan
- S1.3 Roof Framing Plan
- S1.4 Structural Bldg. Sections
- S1.5 Structural Wall Sections



Tristar Ventures LLC
 8134 New La Grange Rd. Ste. 225
 Louisville, KY 40222
 Phone 502-429-0059



New Retail Building - Lot 4
Crescent Springs Commons
 2400 Sarah Lane, Lot 4
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Cover Sheet	1/8"
A1.1 Floor Plan	1/8"
A1.2 Ceiling Plan	1/8"
A1.3 Roof Plan	1/8"
A2.1 Elevations	1/8"
A2.2 Elevations	1/8"
A3.1 Building Sects.	1/8"
A3.2 Building Sects.	1/8"
A4.1 Wall Sections	1/8"
S1.1 Structural Notes	1/8"
S1.2 Foundation Plan	1/8"
S1.3 Roof Framing Plan	1/8"
S1.4 Building Sections	1/8"
S1.5 Wall Sections	1/8"

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 Sheet No.
A0.1

Statement of Special Inspections

- 1) To inspect Formings Before Concrete is Poured For Rebar Placement and Position In Spread Footing and Wall Footings
- 2) To inspect Rebar in Wall Foundations for Proper Foundations and Locations
- 3) To inspect Concrete Slab Before it is Poured for Proper Reinforcing and Perimeter Insulation
- 4) To inspect Onst Walls During Construction for Rebar Placement and Grouting
- 5) To inspect All Steel After Placement for Welding and Connectors and Adherence of the Approved Plans
- 6) To inspect All Roof Deck For Proper Welding and Welding Patterns per Structural Plans
- 7) To inspect Interior Walls After Installation For Insulation and Fire Caulking & Sealing and According To the Approved Plans

Insulation Requirements

- 1) Roof to have 5" Polysty. Rigid Insulation at R-5.7 per inch for a total of R-29.5 on the roof
- 2) Onst to have Perlite loose fill insulation in open cells for a total of R-9.99
- 3) Interior 2-furring to have 2" of polysty. Insulation between furring at R-5.7 per inch for a total of R-11.4
- 4) Ball Insulation between 6" metal studs to have Kraft paper facing and be 5 1/4" with an R-19 rating
- 5) Rigid Insulation in the foundation to be 1 1/2" Extruded Polystyrene at R-5 per inch for a total of R-7.5
- 6) Rigid Insulation in Ets Systems to be Extruded Polystyrene at R-5/Inch or Expanded Polystyrene at R-4.7/Inch- Verify
- 7) Submit Insulation Manufacturer Data on All Insulation Types for Verification of Required R-Values

Penetration Requirements

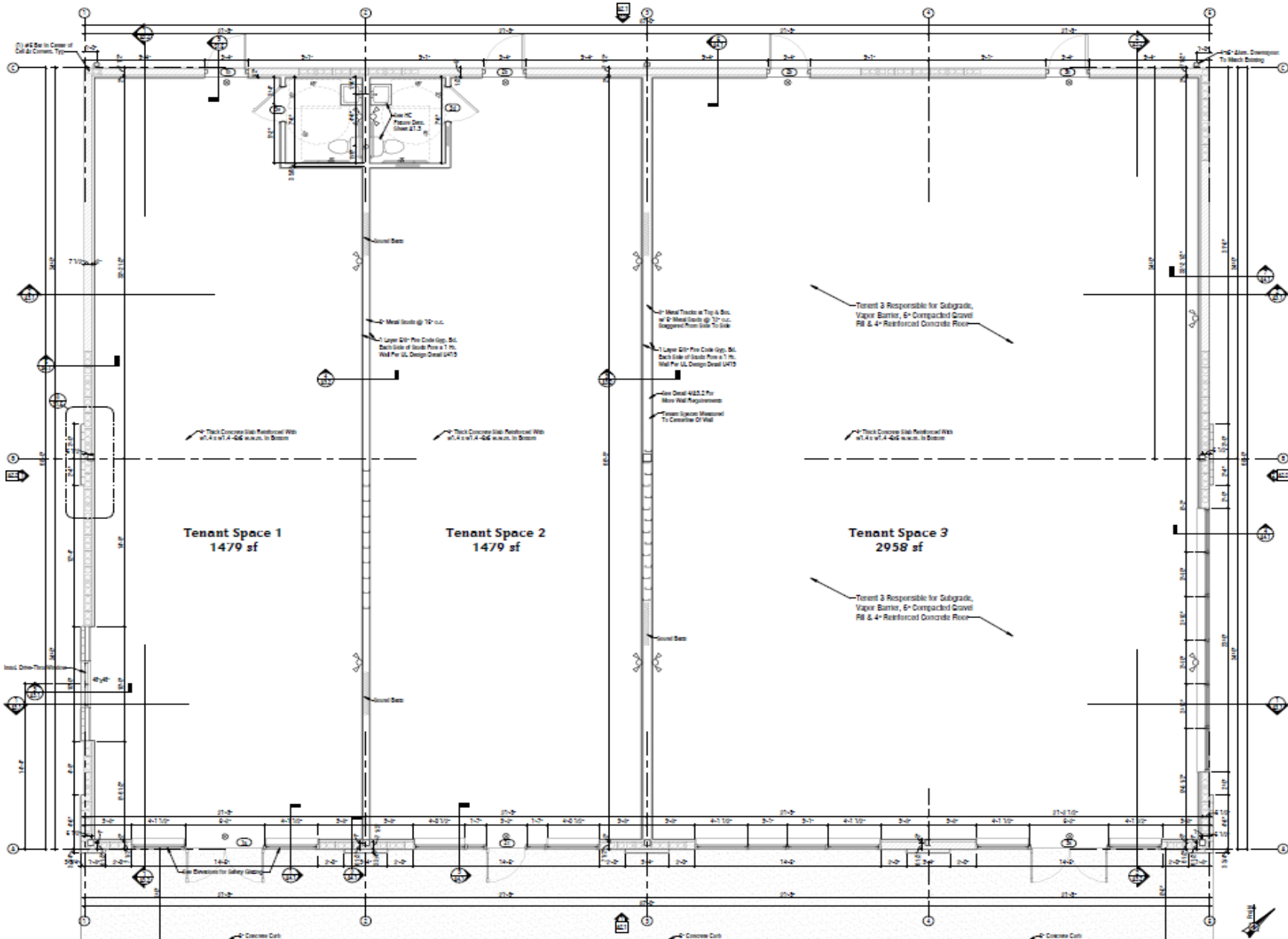
- 1) Stairwell Systems to have Thermal Breaks with a Max. U-Factor of 0.38 & SHGC (Solar Heat Gain Coefficient) of 0.40
- 2) Stairwell Entry Doors to have Max. U-Factor of 0.70 & SHGC of 0.40
- 3) Rear Metal Door to be Insulated with a Max. U-Factor of 0.45
- 4) Penetration products are to be rated in accordance with NFRC.
- 5) Submit Door & Window Manufacturer Data to Verify All U-Factors & SHGCs.

Door Hardware Sets

- Set 1- Front Double Doors
 - 6-Ea. Hinges
 - 1-Ea. Deadbolt Locked w/ Thumbturn
 - 1-Ea. Push-Bull Set
 - 2-Ea. Push-Pull Set
 - 2-Ea. Hydraulic Closer
 - 2-Ea. Weatherstrip Set
 - 2-Ea. Threshold
- Set 2- Front Single Doors
 - 3-Ea. Hinges
 - 1-Ea. Deadbolt Locked w/ Thumbturn
 - 1-Ea. Push-Pull Set
 - 1-Ea. Hydraulic Closer
 - 1-Ea. Weatherstrip Set
 - 1-Ea. Threshold
- Set 3- Rear Entry Door
 - 3-Ea. Hinges
 - 1-Ea. Keyed Entry Lever Lockset
 - 1-Ea. 12" Kickplate
 - 1-Ea. Hydraulic Closer
 - 1-Ea. Peep Hole. See Note 13
- Set 4- Restroom Door
 - 3-Ea. Hinges
 - 1-Ea. Privacy Lever Lockset
 - 1-Ea. 12" Kickplate
 - 1-Ea. Hydraulic Closer
 - 1-Ea. Weatherstrip
- Set 5- Utility Rm. Door
 - 3-Ea. Hinges
 - 1-Ea. Passage Lever Lockset
 - 1-Ea. 12" Kickplate
 - 1-Ea. Weatherstrip
- Set 6- Stairroom Doors
 - 3-Ea. Hinges
 - 1-Ea. Keyed Stairroom Lever Lockset
 - 1-Ea. Hydraulic Closer
 - 1-Ea. 12" Kickplate
- Set 7- Office Door
 - 3-Ea. Hinges
 - 1-Ea. Keyed Entry Lever Lockset
 - 1-Ea. 12" Kickplate
 - 1-Ea. Weatherstrip

Item	Description	Unit	Qty	Price	Phase Material	Notes	Door Material	Door Finish	Pre-Fin	Glass Material	Glass Finish	Notes	Comments
10	Single Heavy Push-Pull Door	EA	1	1,300	Aluminum Frame	Aluminum	Aluminum	Aluminum	NA	Aluminum Safety Glass	Aluminum	1	Concrete
11	Light Weight Push-Pull Door	EA	1	1,300	Aluminum Frame	Aluminum	Aluminum	Aluminum	NA	Aluminum Safety Glass	Aluminum	1	Concrete
12	Light Weight Push-Pull Door	EA	1	1,300	Aluminum Frame	Aluminum	Aluminum	Aluminum	NA	Aluminum Safety Glass	Aluminum	1	Concrete
13	Light Weight Push-Pull Door	EA	1	1,300	Aluminum Frame	Aluminum	Aluminum	Aluminum	NA	Aluminum Safety Glass	Aluminum	1	Concrete
14	Light Weight Push-Pull Door	EA	1	1,300	Aluminum Frame	Aluminum	Aluminum	Aluminum	NA	Aluminum Safety Glass	Aluminum	1	Concrete

Item	Description	Unit	Qty	Price	Phase Material	Notes	Door Material	Door Finish	Pre-Fin	Glass Material	Glass Finish	Notes	Comments
15	Single Heavy Push-Pull Door	EA	1	1,300	Aluminum Frame	Aluminum	Aluminum	Aluminum	NA	Aluminum Safety Glass	Aluminum	1	Concrete
16	Light Weight Push-Pull Door	EA	1	1,300	Aluminum Frame	Aluminum	Aluminum	Aluminum	NA	Aluminum Safety Glass	Aluminum	1	Concrete
17	Light Weight Push-Pull Door	EA	1	1,300	Aluminum Frame	Aluminum	Aluminum	Aluminum	NA	Aluminum Safety Glass	Aluminum	1	Concrete
18	Light Weight Push-Pull Door	EA	1	1,300	Aluminum Frame	Aluminum	Aluminum	Aluminum	NA	Aluminum Safety Glass	Aluminum	1	Concrete
19	Light Weight Push-Pull Door	EA	1	1,300	Aluminum Frame	Aluminum	Aluminum	Aluminum	NA	Aluminum Safety Glass	Aluminum	1	Concrete

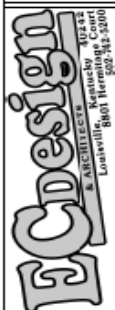


1st Floor Plan

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1st Floor Plan
 12/24/2010
 1803
 EDC
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