



ENVIRONMENTAL SERVICES, LLC

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**PHASE I ENVIRONMENTAL SITE ASSESSMENT**

**OF**

**THE PALMS PROPERTY  
7700 NORTH UNIVERSITY DRIVE  
TAMARAC, BROWARD COUNTY, FLORIDA  
FOLIO'S: 494103150240 & 494103150250**

**Prepared For:**

**Issa Abu Aitah  
c/o Paul L. White  
7960 SW 67<sup>th</sup> Terrace  
Miami, Florida 33143**

**Prepared by:**

**EE&G Environmental Services, LLC  
5751 Miami Lakes Drive  
Miami Lakes, Florida 33014  
(305) 374-8300**

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**Project No.: 2012-3204**

**EXECUTIVE SUMMARY**

At the request of Issa Abu Aitah c/o Paul L. White (the Client), EE&G Environmental Services, LLC has performed a Phase I Environmental Site Assessment (ESA) of the following property. This assessment has been conducted utilizing generally accepted Phase I ESA industry standards in accordance with the ASTM Standard Practice E 1527-05.

<b>Summary of Property Details</b>	
<b>Property Name:</b>	The Palms Property
<b>Property Address:</b>	7700 North University Drive, Tamarac, Broward County, Florida
<b>Folio No.:</b>	494103150240 & 494103150250
<b>Property Size:</b>	Two parcels of land encompassing approximately 2 acres
<b>On-Site Structures/Date of Construction:</b>	Vacant land
<b>Historical Uses:</b>	Agricultural land in the 1950s and 1960s, the vacant land since the 1970s.
<b>Property Use:</b>	Vacant
<b>Current Tenants:</b>	Vacant

**CONCLUSIONS & RECOMMENDATIONS**

EE&G has performed a Phase I Environmental Site Assessment in conformance with the scope and limitations of ASTM Practice Designation E 1527-05 of The Palms Property, located at 7700 North University Drive, in Tamarac, Broward County, Florida; Broward County Property Appraiser Folio Numbers: 494103150240 & 494103150250. Exceptions to, or deletions from, this assessment are described in Section 1.4 of this report. This assessment has revealed no evidence of RECs in connection with the *Property*, except for the following:

- The historical agricultural usage of the *Property* and adjoining properties in the 1950s and 1960s was considered to be a REC due to the potential for the accumulation of residual agro-chemicals in the subsurface.

EE&G conducted a Limited Phase II ESA concurrently to assess for the presence of arsenic associated with the historical agricultural use at the *Property*. A total of eight surficial samples collected contained total arsenic concentrations that were below both the 2.1 milligrams per kilogram (mg/Kg) Florida Department of Environmental Protection’s Soil Cleanup Target Levels (SCTL) for *residential-use direct exposure* and the 12 mg/Kg SCTL for *commercial-use direct exposure*. Therefore, based on these results, no further assessment is warranted with regards to the identified REC at this time.

Please note as documented in Section 4.5.1 of ASTM E 1527-05, “no environmental site assessment can wholly eliminate uncertainty regarding the potential for RECs in connection with a property. Performance of this practice is intended to reduce, but not eliminate, uncertainty regarding the potential for RECs in connection with a property.” Therefore, please note that environmental conditions may exist on the *Property* that could not be identified through the scope of this investigation.

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## SECTION 1.0 INTRODUCTION

### 1.1 PROPERTY IDENTIFICATION

EE&G Environmental Services, LLC (EE&G) was retained by Issa Abu Aitah c/o Paul L. White (referred to as the Client within this report) to perform a Phase I Environmental Site Assessment (ESA) of The Palms Property located at 7700 North University Drive, in Tamarac, Broward County, Florida (hereafter referred to as the “*Property*”). The *Property* was identified with Broward County Property Appraiser Folio Numbers: 494103150240 & 494103150250. **Appendix A** includes a Site Layout & Sampling Location Map (**Figure A-1**) and Site Location/Topographic Map (**Figure A-2**). **Appendix B** includes photographs taken during the site reconnaissance. Property Appraiser information is provided in **Appendix C**.

### 1.2 USER RELIANCE

This report was prepared solely for the use of Issa Abu Aitah c/o Paul L. White (the Client). Reliance on this Phase I ESA is subject to the purpose, scope of work, qualifications, conditions and limitations provided within this report (Sections 1.3, 1.4 and 1.5), and the terms and conditions of the Professional Services Agreement (PSA) executed between the Client and EE&G. Third parties provided reliance by EE&G through an executed reliance letter may rely on this report subject to the same terms and conditions of the report and PSA. All unauthorized third parties rely at their own risk, and shall indemnify and hold EE&G harmless against any liability for any loss arising out of or related to reliance by any unauthorized third party on any work performed there under, or the contents of this report.

### 1.3 PURPOSE

This Phase I ESA was completed in accordance with the standards and conditions set forth in American Society of Testing and Materials (ASTM) Designation E 1527-05 (ASTM E 1527-05). An objective of this Phase I ESA was to identify Recognized Environmental Conditions (RECs) associated with the *Property*. RECs are defined in Section 3.2.74 of ASTM E 1527-05 as “the presence or likely presence of any hazardous substances or petroleum products on a property under conditions that indicate an existing release, a past release, or a material threat of a release of any hazardous substances or petroleum products into structures on the property or into the ground, groundwater, or surface water of the property.” The term includes hazardous substances or petroleum products even under conditions in compliance with law. However, the term is not intended to include *de minimis* conditions that generally do not present a threat to human health or the environment, and that would not be the subject of an enforcement action if brought to the attention of appropriate governmental agencies.

Furthermore, this Phase I ESA constitutes “all appropriate inquiry” into previous ownership and uses of the *Property* consistent with good commercial and customary practice as defined by 42 U.S.C. §9601(35)(B), and is intended to assist the User (herein the Client) in satisfying one of the requirements to qualify for the *innocent landowner* defense, *contiguous property owner liability protection*, and/or the *bona fide prospective purchaser liability* protection (hereinafter, collectively called the “Landowner Liability Protections,” or “LLPs” set forth in 42 U.S.C. §9601 and §9607) of the Comprehensive Environmental Response Compensation and Liability Act (CERCLA). The reader is reminded that such defenses may not be available under applicable state law. Users are cautioned that federal, state and local laws may impose environmental assessment obligations that are beyond the scope of this practice.

## 1.4 SPECIAL TERMS & CONDITIONS, LIMITATIONS AND DEVIATIONS

This Phase I ESA was performed by and under the direction of an Environmental Professional, as defined in ASTM E 1527-05, using sound professional practices and the standard due care exercised within the profession. The presence or absence of contaminants on the surface or in the subsurface of the *Property* cannot be determined without proper testing. Accordingly, the findings of this investigation merely assessed the potential for property owner liabilities arising from past and present usage of the *Property*, and should not be construed as conclusive evidence that the *Property* has or has not been negatively impacted. The opinions and recommendations presented herein apply only to conditions existing at the time of this assessment. Any changes in site conditions, environmental standards, practices, or regulations subsequent hereto are not covered. Furthermore, although every reasonable effort has been made to use information sources that are authoritative, EE&G does not warrant their accuracy or completeness, or the use of segregated portions of this report.

This Phase I ESA was prepared in accordance with ASTM Designation E 1527-05, and no significant deviations from the practice were required to complete this report, unless specifically stated otherwise within the report. Additionally, this Phase I ESA included Limited Business Risk Assessment (as discussed in Section 8.0). The Client required no other special terms and conditions, unless otherwise noted in this report.

Information regarding the *Property* was reasonably ascertainable and therefore, no significant assumptions have been made, unless otherwise noted in a specific section of this report.

## 1.5 DETAILED SCOPE OF WORK

In accordance with the ASTM Designation E 1527-05 guidelines, this Phase I ESA included the following scope of services.

- EE&G interview the Client or Client's designated representative as well as the property management personnel to assess knowledge of site-specific conditions or uncover available information, which may help to identify RECs.
- EE&G attempted to conduct interviews with government officials to obtain information that may indicate the potential for RECs associated with the *Property*.
- EE&G conducted a site reconnaissance to obtain information indicating the likelihood of identifying RECs in connection with the *Property*. EE&G assessed the uses and conditions of the *Property*, to the extent visually and/or physically observed during the site inspection of accessible areas, including:
  - Current uses on the *Property* likely to involve the use, treatment, storage, disposal or generation of hazardous or petroleum substances.
  - Interior and exterior inspection of the *Property* to assess for sewage, storm water and wastewater disposal system(s), potable water supply, and evidence of storage tanks, drums, PCB-containing equipment, pools of liquid, odors, pits/ponds/lagoons, stained soil or pavement, stressed vegetation, drains, heating/cooling system and wells. A general description of the current on-site structures was noted.

- Current uses of adjoining properties as limited to the extent visually and/or physically observed from property boundaries.
- Current uses of surrounding area as limited to extent visually and/or physically observed during a drive-through of the area.
- EE&G obtained and reviewed reasonably ascertainable records of standard sources (as defined in ASTM Designation E 1527-05), which were publicly available, practically reviewable, and obtainable within reasonable time and cost constraints.
  - Applicable regulatory files held by the local, State and Federal agencies, which pertain to the use and handling of hazardous waste, hazardous substances and petroleum products for the *Property*, adjoining properties, and surrounding properties (within the designated search distance, per ASTM Designation E 1527-05).
  - Physical setting sources, including a current United States Geological Survey (USGS) 7.5 Minute Topographic Map, and current technical documentation on the regional surficial soil type and distribution, and regional geologic and hydrogeologic environmental setting.
  - Standard historical sources, used to develop an understanding of the previous uses or occupants of the *Property* and adjoining properties, which may indicate potential RECs.
- In addition to the scope of services required by ASTM Designation E 1527-05, EE&G evaluated the following Business Environmental Risk items: Lead-based Paint (LBP), Asbestos Containing Materials (ACM), Mold/Mildew and Radon. EE&G performed a visual inspection only for the potential presence of these items during the Phase I ESA site visit, and no intrusive or analytical sampling was conducted.
- EE&G prepared this final report, which summarizes the methodology and findings of the Phase I ESA. The report included a summary of the Client/User Provided Information, Site Reconnaissance, Interview(s), a summary of the previous Phase I ESA, and Record Review Findings. As required by ASTM Designation E 1527-05, the final report included a Findings/Opinion Section and Conclusions Section, which clearly stated if RECs were identified in connection with the *Property*. Documentation of pertinent resources, references and key exhibits are included to support the report findings, when appropriate.

**1.6 VIABILITY OF PHASE I ESA**

Pursuant to Section 4.6 of ASTM 1527-05, Phase I ESAs are considered viable for 180-days. In calculating the Report Viability Date, EE&G used the date that was the earliest of the following four tasks: the interview of past/present owners/occupants, the recorded environmental cleanup lien search, the government record review, or the visual inspection of the subject property and adjoining properties. The following table was prepared to identify Critical Dates and the Report Viability Date.

<b>Table of Critical Dates</b>	
Date of Government Record Review	5/29/2012
Date of Environmental Lien Search	5/30/2012
Date of Interviews	5/29/2012
Date of Visual Inspection of Subject and Adjoining Properties	5/30/2012
Earliest Date of Record Review, Lien Search, Interviews and Inspection	5/29/2012
Report Viability Date (180 Days from Earliest Date of Research)	11/25/2012



## SECTION 2.0 USER-PROVIDED INFORMATION

The Client requested this Phase I ESA to fulfill due diligence requirements associated with the purchase of the *Property*, and to qualify for the LLP under CERCLA as required by ASTM Designation E 1527-05. Refer to **Appendix C** for a copy of the information provided by the Client.

The Client was provided a User Questionnaire regarding the *Property* in accordance with ASTM Designation E 1527-05, and responded as follows to the information required in order to qualify for one of the LLPs:

- The Client was not aware of any environmental cleanup liens against the property that are filed or recorded under federal, tribal, state or local law.
- The Client was not aware of any *Activity and Use Limitations* (AULs), such as *Engineering Controls*, land use restrictions, or *Institutional Controls* that are in-place at the site, and/or have been filed or recorded in a registry under federal, tribal, state or local law.
- The Client had no specialized knowledge about environmental concerns with the *Property*, or any use or concern related to nearby properties.
- The Client had no knowledge that the purchase price of the *Property* has been reduced below comparable properties due to environmental concerns.
- The Client was not aware of any other commonly known or reasonably ascertainable information about the *Property* that would help the Environmental Professional to identify conditions indicative of releases or threatened releases. The Client indicated the *Property* was vacant land.
- The Client was not aware of any obvious indicators that point to the presence or likely presence of contamination at the *Property*.

Pursuant to Section 6.2 of ASTM E 1527-05, the User has the obligation to research and provide to EE&G a copy of land title records that might indicate the presence of recorded environmental liens or AULs on the *Property*. A search of land title records was not included as part of the scope of activities for this Phase I ESA. No title records were provided by the Client. Therefore, the Client is advised to review such title records to assess for the presence of environmental liens or AULs currently recorded against or relating to the *Property* in order to maintain the LLP eligibility.

**SECTION 3.0**  
**PRIOR ENVIRONMENTAL ASSESSMENT REPORT SUMMARY**

The Client provided EE&G copies of the following reports/documents associated with the *Property*:

**Correspondence from the Broward County Environmental Protection Department Biological Resources Division – October 12, 2007**

This document stated that there were no County jurisdictional wetlands at the site located at 7700 N. University Drive in Tamarac, Florida; therefore, filling within the existing uplands would not require an Environmental Resource License.

**Geotechnical Tests – Nutting Engineers of Florida, Inc. – March 25, 2009**

According to the report, based on field observations and randomly located density tests it was Nutting's opinion that the foundation soils for the proposed building pad had been properly compacted to a minimum of 98 percent of the modified Proctor maximum dry density.

Further, based upon review of the geotechnical engineering report, it was Nutting's opinion that the soils beneath the building pad would support an allowable soil bearing pressure of 2500 per square foot (psf) as per the Florida Building Code, section 1818.2, 2004 edition, and ASTM standards.

Copies of these documents are included in **Appendix C**.

## SECTION 4.0 PROPERTY SETTING & SITE RECONNAISSANCE

### 4.1 AREA SETTING

The *Property* was located on the east side of North University Drive (NW 76<sup>th</sup> Avenue) and north of NW 77<sup>th</sup> Street, in Tamarac, Broward County, Florida. Surrounding properties were observed to be residential and commercial properties. According to the Cooper City Northeast, Florida, United States Geological Survey (USGS) 7.5 Minute Topographic Map, the *Property* was located in an area characterized by relatively flat topography and was approximately 6 feet above mean sea level. Refer to **Figure A-2, Appendix A**, for the portion of the USGS topographic map depicting the location of the *Property*. A review of the topographic map revealed a filled former body of water, possibly a canal, located northeast of the *Property*.

### 4.2 HYDROGEOLOGIC SETTING

The regional geologic framework of Broward County consists of Holocene age sediments of peats, muck, and marl overlying Pleistocene age limestones and shelly sands. Formations in the area include the Miami Oolite, Anastasia Formation and Fort Thompson Formation. Both the Fort Thompson and Anastasia Formations are composed of highly permeable limestones. The combination of the Fort Thompson, Anastasia, and Miami Limestones comprises the unconfined surficial aquifer, the Biscayne Aquifer. The depth of the Biscayne Aquifer in the vicinity of the *Property* is approximately 200-feet below land surface (BLS). Based on a review of existing site assessment reports, the site-specific lithology was documented to be unconsolidated sands from surface grade to at least 65-feet BLS. A thin intermittent limestone layer was documented at approximately 50 to 52-feet BLS. Underlying formations likely include sand and limestone layers to approximately 200-feet BLS. A semi-confining claystone layer (top of the Hawthorne Formation) is documented in the region as the base of the Biscayne Aquifer.

According to a soil map published by the United States Department of Agriculture (USDA), Soil Conservation Service, the soil in the area has been classified as Hallandale Urban Land Complex. Hallandale Urban Land Complex is a poorly drained soil with very low water capacity (about 0.9 inches), composed of fine sand and weathered bedrock. Refer to **Figure A-3, Appendix A**, for the portion of the Broward County soil survey map depicting the location of the *Property*.

The depth to groundwater was estimated to be between 5 to 7 feet BLS, based on topographic elevations. The *Property* was not located in a Broward County Wellfield Protection Area, as noted in the Broward County generated wellfield map dated February 2001. Refer to **Figure A-4, Appendix A**, for the portion of the Broward County wellfield protection map depicting the location of the *Property*. No potable wells were noted at the *Property*.

### 4.3 SITE RECONNAISSANCE

A site reconnaissance was conducted on May 30, 2012, by Ms. Nydia Carrasquillo, an Environmental Professional with EE&G, during which an inspection of the *Property* was conducted, noting areas of potential environmental concern. No limiting conditions were encountered during the inspection. Refer to **Figure A-1, Appendix A**, for a site map of the *Property* and adjoining properties. Refer to **Appendix B** for photographs taken of the *Property* and adjoining properties during the site visit. The objective of the site reconnaissance was to obtain information indicating the likelihood of identifying RECs in connection with the property. The following is a summary of the site reconnaissance observations.

#### **Current Use of the Property**

The *Property* consisted of two parcels encompassing approximately 2 acres of vacant land with low lying grass. The soils were reportedly compacted approximately three years ago for development.

#### **Adjoining Properties**

During the site reconnaissance, EE&G observed the following with respect to the adjoining properties:

- Northern Adjoining – An office building with associated parking at 7800 N. University Drive.
- Southern Adjoining – NW 77<sup>th</sup> Street, beyond which was Horizon Bay Retirement Living at 7650 N. University Drive.
- Eastern Adjoining – Single-family residences addressed along NW 75<sup>th</sup> Avenue.
- Western Adjoining – North University Drive, beyond which was the Professional Centre at Woodmont at 7707-7797 N. University Drive. To the northwest was Woodmont Community. To the southwest was Tamarac Elementary School.

#### **Potable Water Supply**

Municipal potable water is available for the *Property*; however, according to the City of Tamarac Public Works there is no connection documented at this time.

#### **Sewage Disposal System**

A License for the Installation of Wastewater Collection was issued to the *Property* by the Broward County Development and Environmental Regulation Division on April 3, 2009. A review of the license indicated a 130 linear foot, 8-inch PVC gravity line with one manhole serving 17,850 SF of medical offices with 8 doctors was approved for the *Property* at 7710 N. University Drive.

#### **Hazardous Substances and Petroleum Products**

No hazardous substances or petroleum products at *Property* were observed during the site inspection.

**Storage Tanks**

No aboveground or evidence of underground storage tanks were observed at *Property* during the site inspection.

**Odors**

No unusual odors were noted during the site inspection at *Property*.

**Pools of Liquid**

Pooled rainwater was observed at the southern portion of the *Property*.

**Drums & Containers**

No drums or containers were observed during the site inspection at *Property*.

**Polychlorinated Biphenyls (PCBs)**

Pursuant to Section 9.4.2.10 of ASTM 1527-05, electrical or hydraulic equipment likely to contain polychlorinated biphenyls (PCBs) shall be described to the extent visually observed or identified during interview or record reviews. PCBs in electrical equipment are controlled by United States Environmental Protection Agency regulations 40 CFR, Part 761, under which there are three categories into which electrical equipment can be classified: 1) Less than 50 parts per million (ppm) of PCBs – “Non-PCB”, 2) 50 ppm to 500 ppm – “PCB-Contaminated”, and 3) Greater than 500 ppm – “PCB-Containing”. The manufacture, process, or distribution in commerce or use of any PCB in any manner other than in a totally enclosed manner was prohibited after January 1, 1977. Please note that per ASTM, fluorescent light ballasts that likely contain PCBs need not be noted.

- No evidence of PCBs was observed on the *Property*.

**Heating/Cooling Systems**

No heating/cooling systems were maintained at the *Property*.

**Stains or Corrosion**

No signs of staining or corrosion were observed during the site inspection at *Property*.

**Drains and Sumps**

No drains or sumps were observed during the site inspection at *Property*.

**Pits, Ponds or Lagoons**

No pits, ponds or lagoons were observed during the site inspection at *Property*.

**Stained Soil or Pavement**

No signs of stained soil or pavement were observed during the site inspection at *Property*.

**Stressed Vegetation**

No signs of stressed vegetation were observed during the site inspection at *Property*.

**Solid Waste**

No evidence of areas that were filled or graded by non-natural causes or unknown origin, which would suggest trash, construction debris, demolition debris or other solid waste disposal, was observed in the *Property*.

**Waste Water**

No evidence of wastewater was observed during the site inspection at *Property*.

**Wells**

No wells (i.e. potable, monitoring or irrigation) were observed at the *Property*.

## SECTION 5.0 INTERVIEWS

### 5.1 INTERVIEW WITH *PROPERTY* KEY SITE CONTACT

EE&G interviewed Mr. Mark Hingson, the key site contact, regarding the on-site operations and history of the *Property*. Mr. Hingson indicated the *Property* had always been a vacant lot. He also indicated geotechnical tests had been performed in 2009 as part of a development plan; however, the *Property* was never developed. Mr. Hingson was unaware of environmental concerns associated with the *Property*.

### 5.2 INTERVIEW WITH GOVERNMENT OFFICIAL

EE&G contacted the Broward County EPGMD Development and Environmental Regulation Division to inquire regarding the FINDS/NPDES database listings for the *Property* identified in the *EDR Radius Map*. Ms. Joanna Baker Swing, an engineer with the division, indicated that the NPDES listing was associated with a License for the Installation of Wastewater Collection that was issued to the *Property* by the division on April 3, 2009. A review of the license indicated a 130 linear foot, 8-inch PVC gravity line with one manhole serving 17,850 SF of medical offices with 8 doctors was approved for the *Property* at 7710 N University Drive. A copy of the license has been included in **Appendix H**.

## SECTION 6.0 HISTORICAL REVIEW

### 6.1 CITY DIRECTORIES, SANBORN MAPS & AERIAL PHOTOGRAPHS

The historical uses of the *Property* and adjoining properties were reviewed in approximately five-year intervals (as reasonably ascertainable) using available aerial photographs (1947, 1957, 1968, 1971, 1976, 1981, 1988, 1992, 1998, 2006 and 2012). Copies of selected aerial photographs are provided in **Appendix D**. Sanborn Fire Insurance Maps - No Coverage Documentation is provided in **Appendix E**. City directories were not considered a useful historic resource for the *Property*, as it has never been developed; however, EE&G has included the city directories for adjoining properties in **Appendix F**.

The earliest available historical record for the *Property* was the 1947 aerial photograph, which depicted the *Property* as vacant and undeveloped land. *Data failure* was encountered as reasonably ascertainable records were not available before 1940; however, this was not considered a REC as the *Property* did not appear to have previously been developed. *Data gaps* were encountered when researching aerial photographs and city directories. However, based on either a lack of significant change between these records, and/or based on a cross-reference with other historical resources and regulatory files, reasonably ascertainable historical resources provided sufficient information to meet the objective of developing the history of previous uses for the *Property* and surrounding areas. Therefore, it did not appear that the *data gaps* compromised the ability of the Environmental Professional to identify RECs.

### 6.2 SUMMARY OF PAST USE OF THE PROPERTY

Based on historical aerial photographs, the *Property* appeared to have been vacant land in the 1940s. During the 1950s and 1960s, the *Property* appeared to be part of a larger agricultural area, which was no longer observed in the early 1970s when a large sub-regional earth moving event took place. Since then, the *Property* has remained a vacant lot with low lying grass.

### 6.3 SUMMARY OF PAST USE OF THE SURROUNDING PROPERTIES

- **North:** The northern adjoining property at 7800 N. University Drive appeared to have been vacant land in the 1940s. During the 1950s and 1960s, it appeared to be part of a larger agricultural area. In the 1970s, agricultural usage was no longer observed and the property was vacant land. No significant changes were noted until the development of present-day office building in the late 1980s.
- **South:** The southern adjoining property at 7650 N. University Drive appeared to have been vacant land in the 1940s. During the 1950s and 1960s, it appeared to be part of a larger agricultural area, during which what appeared to be a slough/irrigation canal was observed running southwesterly through the southern property. In the 1970s, agricultural usage was no longer observed and the canal appeared to have been filled. No significant changes were noted until the development with the present-day retirement facility in the early 2000s.
- **East:** The eastern adjoining property appeared to have been vacant land in the 1940s. During the 1950s and 1960s, it appeared to be part of a larger agricultural area. In the 1970s, agricultural usage was no longer observed. No significant changes were noted until the development with the present-day residential community in the early 1970s.



- **West:** The western adjoining property at 7707-7797 N. University Drive appeared to have been vacant land in the 1940s. During the 1950s and 1960s, it appeared to be part of a larger agricultural area. In the 1970s, agricultural usage was no longer observed. No significant changes were noted until the development with the present-day office complex in the late 1980s.

**SECTION 7.0  
ENVIRONMENTAL REGULATORY DATABASE AND RECORD REVIEW**

To comply with Section 8.1 and 8.2 of ASTM E 1527-05, EE&G contracted Environmental Data Resources, Inc. (EDR) to conduct a search of database systems maintained by federal, tribal, state and local regulatory agencies concerning the storage, use and/or discharge of hazardous substances and/or petroleum products, compliance issues, environmental violations, and enforcement actions for the *Property* and surrounding sites within a specified search radius. The databases definitions, and detailed research findings, are presented in the *May 29, 2012, EDR Radius Map Report*, which is provided in **Appendix G**.

The following table summarizes the databases researched and their search distance criteria (based on the approximate minimum search distance recommended by ASTM Designation E 1527-05). Further information regarding these databases, including the date the information was released by the Government and date the Government version was verified, can be found in the *EDR Radius Map Report*.

<b>Federal Database (EPA)</b>	<b>Search Radius from <i>Property</i></b>
National Priorities List (NPL)	1.0-Mile Radius
Corrective Action Report (CORRACTS)	1.0-Mile Radius
Comprehensive Environmental Response Compensation and Liability Information System (CERCLIS)	0.5-Mile Radius
CERCLIS-No Further Remedial Action Planned (NFRAP)	0.25-Mile Radius
Resources Conservation and Recovery Information System (RCRIS) for Large Quantity Generators (LQGs) and Small Quantity Generators (SQGs)	0.25-Mile Radius
Biennial Reporting System (BRS) for LQGs and Treatment, Storage, and Disposal (TSD) facilities	0.5-Mile Radius
Emergency Response Notification System (ERNS)	Limited to the <i>Property</i>
PCB Activity Database System (PADS)	Limited to the <i>Property</i>
Facility Index System/Facility Identification Initiative Program Summary Report (FINDS)	Limited to the <i>Property</i>
Hazardous Materials Information Reporting System (HMIRS)	Limited to the <i>Property</i>
Toxic Chemical Release System (TRIS)	Limited to the <i>Property</i>
Toxic Substance Control Act (TSCA)	Limited to the <i>Property</i>
<b>State Database (FDEP)</b>	<b>Search Radius from <i>Property</i></b>
Florida's State-Funded Action Sites (FSAS) & State Hazardous Waste Sites (SHWS)	1.0-Mile Radius
Solid Waste Facilities/Landfill List (SWF/LF)	0.5-Mile Radius
Leaking Underground Storage Tank (LUST) & Petroleum Contamination Detail Report (PCT01)	0.5-Mile Radius
Florida's Registered USTs & ASTs	0.25-Mile Radius
Florida Cattle Vats	0.5-Mile Radius
Dry Cleaning Facilities (DRYCLN)	0.25-Mile Radius
Wastewater Facility Regulation Database	Limited to the <i>Property</i>
<b>Local Database (Broward County EPGMD)</b>	<b>Limited to the <i>Property</i></b>
Aboveground Storage Tanks (AST)	0.25-Mile Radius
Underground Storage Tanks (UST)	0.25-Mile Radius
Hazardous Materials Sites (HM)	0.25-Mile Radius

Notice of Violations Sites (NOV)	0.25-Mile Radius
Broward County EDIEAR List	0.5-Mile Radius
<b>Tribal Records</b>	<b>Search Radius from Property</b>
INDIAN RESERV	1.0-Mile Radius
INDIAN LUST	0.5-Mile Radius
INDIAN LUST	0.25-Mile Radius

## 7.1 SUMMARY OF DATABASE RESEARCH FOR THE PROPERTY

Based on a review of the *EDR Radius Map Report*, the *Property* was identified on the following databases:

### University Medical Campus / The Palms Medical Campus

7700 North University Drive

Facility Index System (FINDS) / National Pollutant Discharge Elimination System (NPDES) Databases

According to information provided by Ms. Joanne Baker Swing, P.E., from the Broward County EPGMD Development and Environmental Regulation Division, the NPDES listing was associated with a License for the Installation of Wastewater Collection that was issued to the *Property* by the division on April 3, 2009. A review of the license indicated a 130 linear foot, 8-inch PVC gravity line with one manhole serving 17,850 SF of medical offices with 8 doctors was approved for the *Property* at 7710 N. University Drive. A copy of the license is included in **Appendix H**.

Based on this information, these database listings were not considered to represent a REC or concern at this time.

## 7.2 SUMMARY OF DATABASE RESEARCH FOR SURROUNDING PROPERTIES

Due to the flat topography, relatively flat hydraulic gradient, and relatively high natural biodegradation/attenuation capabilities in South Florida, the potential for contaminants to migrate horizontally has been minimized. However, sites potentially contaminated with volatile organic halocarbons (VOHs), such as dry cleaners, are of significant concern due to the mobility of these constituents in the groundwater. Thus, sites greater than one-sixteenth of a mile (330 feet) from the *Property* were not considered a significant environmental threat, unless potential impacts from chlorinated solvent compounds were a significant possibility.

Based on a review of the *EDR Radius Map Report*, no facilities were identified within the search distances (adjusted based upon field observations), which could pose potential environmental concern to the *Property*.

## 7.3 ORPHAN SITES

Orphan sites are facilities that have been identified on the *EDR Radius Map Report*, however, due to poor or inadequate address information, the facilities could not be mapped by EDR with relation to the *Property*. A total of 11 sites were identified on the *EDR Radius Map Report*, and EE&G attempted to further assess these facilities. Due to the apparent distances of these facilities from the *Property*, these facilities do not appear to be RECs.

#### 7.4 ENVIRONMENTAL LIENS, ACTIVITY AND USE LIMITATIONS (AUL)

AULs are one indication of a past or present release of a hazardous substance or petroleum products. AULs are legal or physical descriptions on the use of, or access to, a site or facility: to reduce and/or eliminate potential exposure to hazardous substances or petroleum products to soil or groundwater on the *Property* or to prevent activities that could interfere with the effectiveness of a response action or cleanup activity. Based on the regional environmental database research provided by EDR, no AULs or Institutional Controls/Engineering Controls (IC/EC) were reported for the *Property*. However, please note that the scope of services did not include a title records search, which under ASTM 1527-05 is the responsibility of the User.

## SECTION 8.0 BUSINESS ENVIRONMENTAL RISK

EE&G conducted a limited business environmental risk assessment at the request of the Client, which focused on the following issues above and beyond the requirements of ASTM 1527-05:

- Asbestos Containing Materials
- Lead-Based Paint Review
- Mold/Mildew Evaluation
- Radon Gas Review

Please note that EE&G performed a records review (radon zone and construction date) and limited visual inspection only to assess for the potential presence of these items during the Phase I ESA, and no intrusive or analytical sampling was conducted.

### **Asbestos Containing Materials (ACM)**

Asbestos-containing materials, as defined by National Emission Standards for Hazardous Air Pollutants (NESHAP), are those materials that have an asbestos content of greater than one percent. Friable ACM is material that can be crumbled or reduced to a powder using normal hand pressure. Non-friable material is too hard to be crumbled or reduced to a powder without the use of tools. Non-friable materials may become friable if abraded or broken. There are three broad classes that define suspect asbestos-containing materials. These are: 1) Surfacing Material, 2) Thermal System Insulation, and 3) Miscellaneous Material. All materials that fit the description of these materials are suspected to contain asbestos, until sampled and analyzed. EE&G generally uses the cutoff date of 1981 for estimating the likelihood that buildings materials may contain ACMs.

- There were no fixed structures observed at the *Property*.

### **Lead-Based Paint (LBP)**

Lead-based paint (LBP) is defined as any paint, varnish, stain or other applied coating that has = 1 milligram/cm<sup>2</sup> or more of lead by federal guidelines; state and local definitions may differ from the federal definitions in amounts ranging from 0.5 milligram/cm<sup>2</sup> to 2.0 milligram/cm<sup>2</sup>. These definitions are used to enforce regulations that apply to certain activities conducted in housing constructed prior to 1978, such as abatement, or the permanent elimination of a "lead-based paint hazard." Effective April 22, 2010, the US EPA also required that all renovators who work in homes built pre-1978 and disturb more than six square-feet of lead paint be certified. The information below is for general assessment purposes, and does not constitute a lead-based paint survey or evaluation (i.e. per Housing and Urban Development (HUD) guidelines).

- There were no fixed structures observed at the *Property*.

### **Mold/Mildew**

- There were no fixed structures observed at the *Property*.

**Radon**

Based on the Radon Zones Map published by the United States EPA indoor air quality division, Broward County, Florida was identified as Zone 3 or low potential for radon presence (less than 2 picocuries of radon per liter of air –pCi/L). The U.S. EPA’s recommended action level is 4.0 pCi/L. Based this regional classification, the potential for radon appeared to be a low risk. However, only through actual testing can a more conclusive opinion be developed.

**SECTION 9.0  
LIMITED PHASE II ESA**

EE&G conducted a Limited Phase II ESA for the *Property* which consisted of the collection of soil samples to assess for the presence of arsenic associated with the historical agricultural use at the *Property*.

On June 11, 2012, EE&G collected eight surficial soil samples using a stainless steel hand-auger from the *Property*. Sampling locations are illustrated on **Figure A-1, Appendix A**. Soil samples were collected from 0 to 2-feet below land surface (BLS), and the eight soil samples were analyzed for total arsenic by EPA Method 6010B. Soil samples collected from the site generally consisted of dark brown sand and rock-sand fill.

Soil analytical results were compared with the FDEP *Contaminant Cleanup Target Levels*, per Chapters 62-777 and 62-550 FAC, which regulate the *residential-use & commercial-use direct exposure* Soil Cleanup Target Levels (SCTLs). Copies of the soil sampling log, laboratory analytical results and chain-of-custody (COC) form are provided in **Appendix I**. The soil assessment findings are presented in **Table 1** and discussed below.

**TABLE 1  
SUMMARY OF SOIL ANALYTICAL RESULTS**

Soil Sample	Concentration (mg/kg)
SS-1	0.379
SS-2	0.292
SS-3	0.251
SS-4	0.444
SS-5	0.252
SS-6	0.379
SS-7	0.288
SS-8	0.870

Notes:

**Bold** – Exceeded the 2.1 mg/Kg Residential-Use SCTL.

***Italicized*** – Exceeded the 12 mg/Kg Commercial-Use SCTL

The eight surficial samples (SS-1 through SS-8) contained total arsenic concentrations that were below both the 2.1 mg/Kg SCTL for *residential-use direct exposure* and the 12 mg/Kg SCTL for *commercial-use direct exposure*. Based on these results, no further assessment is warranted with regards to arsenic in soils.

## SECTION 10.0 FINDINGS & OPINIONS

The following is a summary of the Phase I ESA research findings and opinions.

- The *Property* was located on the east side of North University Drive (NW 76<sup>th</sup> Avenue), and north of NW 77<sup>th</sup> Street in Tamarac, Broward County, Florida. The *Property* consisted of two parcels of land encompassing approximately 2 acres of vacant land with low lying grass. The onsite soils had been compacted approximately three years ago for development. Surrounding properties were observed to be residential and commercial properties.
- Based on historical aerial photographs, the *Property* appeared to have been vacant land in the 1940s. During the 1950s and 1960s, the *Property* appeared to be part of a larger agricultural area, which was no longer observed in the early 1970s when a large sub-regional earth moving event took place. Since then, the *Property* has remained a vacant lot with low lying grass. The historical agricultural use was considered to be a REC. EE&G conducted a Limited Phase II ESA to assess for the presence of arsenic associated with the historical agricultural use at the *Property*. A total of eight surficial samples collected contained total arsenic concentrations that were below both the 2.1 mg/Kg SCTL for *residential-use direct exposure* and the 12 mg/Kg SCTL for *commercial-use direct exposure*. Therefore, based on these results, no further assessment is warranted with regards to arsenic.
- The surrounding properties were predominately undeveloped until the early-1970s/late 1980s, and included offices to the north and west, a retirement community to the south, and a residential community to the east.
- EE&G encountered *data failure* and data gaps during the historical research. However, based on correlating research findings, these data gaps did not compromise the ability of the Environmental Professional to identify RECs.
- Based on a review of the *EDR Radius Map Report*, the *Property* was identified on the FINDS and NPDES Databases. According to information provided by the Broward County EPGMD Development and Environmental Regulation Division, the NPDES listing was associated with a License for the Installation of Wastewater Collection that was issued to the *Property* by the division on April 3, 2009.
- Based on a review of the *EDR Radius Map Report*, no facilities were identified within the search distances (adjusted based upon field observations), which could pose potential environmental concern to the *Property*.



- Based on the regional environmental database research provided by EDR, no AULs or Institutional Controls/Engineering Controls (IC/EC) were reported for the *Property*. A search of land title records was not included as part of the scope of activities for this Phase I ESA, which under ASTM 1527-05 is the responsibility of the User. No title records were provided by the Client. Therefore, the Client is advised to independently review such title records to assess for the presence of environmental liens or AULs currently recorded against or relating to the *Property* in order to maintain the LLP eligibility.

## SECTION 11.0 CONCLUSIONS & RECOMMENDATIONS

EE&G has performed a Phase I Environmental Site Assessment in conformance with the scope and limitations of ASTM Practice Designation E 1527-05 of The Palms Property, located at 7700 North University Drive, in Tamarac, Broward County, Florida; Broward County Property Appraiser Folio Numbers: 494103150240 & 494103150250. Exceptions to, or deletions from, this assessment are described in Section 1.4 of this report. This assessment has revealed no evidence of RECs in connection with the *Property*, except for the following:

- The historical agricultural usage of the *Property* and adjoining properties in the 1950s and 1960s was considered to be a REC due to the potential for the accumulation of residual agro-chemicals in the subsurface.

EE&G conducted a Limited Phase II ESA to assess for the presence of arsenic associated with the historical agricultural use at the *Property*. A total of eight surficial samples collected contained total arsenic concentrations that were below both the 2.1 mg/Kg SCTL for *residential-use direct exposure* and the 12 mg/Kg SCTL for *commercial-use direct exposure*. Therefore, based on these results, no further assessment is warranted with regards to arsenic in soils.

As documented in Section 4.5.1 of ASTM E 1527-05, “no environmental site assessment can wholly eliminate uncertainty regarding the potential for RECs in connection with a property. Performance of this practice is intended to reduce, but not eliminate, uncertainty regarding the potential for RECs in connection with a property.” Therefore, please note that environmental conditions may exist on the *Property* that could not be identified through the scope of this investigation.

**SECTION 12.0**  
**ENVIRONMENTAL PROFESSIONAL STATEMENT**

The company statement of qualifications and the resumes for the professionals who completed this Phase I ESA are provided in **Appendix J**.

We declare that, to the best of our professional knowledge and belief, we meet the definition of *Environmental Professional* as defined in § 312.10 of 40 Code of Federal Regulations (CFR) 312.

The Environmental Professional who directed this project has the specific qualifications based on education, training, and experience to assess a property of the nature, history, and setting of the subject property. We have developed and performed the all appropriate inquiries in conformance with the standards and practices set forth in 40 CFR Part 312.

*Report Prepared By:*



Nydia Carrasquillo  
Associate Staff Professional

*Report Reviewed By:*



Adam B. Broisus  
Senior Staff Professional

## SECTION 13.0 REFERENCES

### 13.1 RECORDS OF COMMUNICATION

- Ms. Joanne Baker Swing, P.E., Broward County EPGMD Development and Environmental Regulation Division
- City of Tamarac Public Works Customer Service
- Mr. Mark Hingson, key site contact

### 13.2 REGULATORY RECORDS AND PUBLIC DOCUMENTS

- Environmental Data Resources, Inc. – *EDR Radius Map with Geocheck*
- Broward County Property Appraiser

### 13.3 PUBLISHED REFERENCES

- ASTM Designation E 1527-05; Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process.
- United States Geological Service (USGS) Topographic Map: Cooper City Northeast, FL 7.5 Minute Quadrangle.
- Broward County Soil Survey, USDA, Soil Conservation Services.
- Sanborn Fire Insurance Map.
- "Water Resources Atlas of Florida" Florida State University, 1985.
- Melvin C. Schroeder, Howard Klein, and Nevin D. Hoy, 1958, "*Biscayne Aquifer of Dade and Broward County*", *Investigations Report No. 17*, Florida Geological Survey.

### 13.4 DEFINITIONS & ACRONYMS

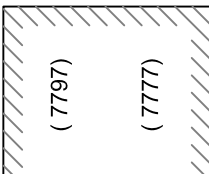
A summary of the terms, definitions and acronyms commonly used in this report and ASTM 1527 is provided in **Appendix K**.

**APPENDIX A**

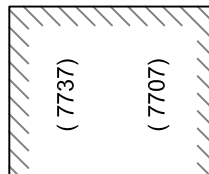
**FIGURES**

WOODMONT  
COMMUNITY

NW 78th ST



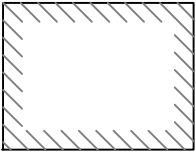
PROFESSIONAL  
CENTRE AT  
WOODMONT



TAMARAC  
ELEMENTARY

N UNIVERSITY DR

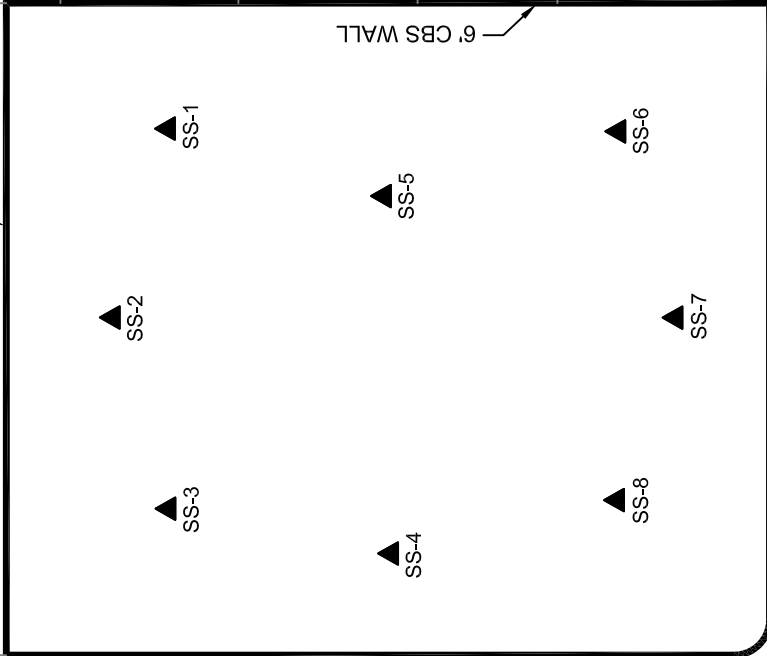
SIDEWALK



OFFICE  
BUILDING  
( 7800 )

PARKING LOT

PROPERTY

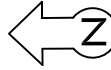


NW 75th AVE

RESIDENTIAL

LEGEND:

▲ = SOIL SAMPLE LOCATION



0' 50'  
SCALE:

NW 77th ST

HORIZON BAY RETIREMENT LIVING  
( 7650 )

RESIDENTIAL

ENVIRONMENTAL SERVICES, LLC  
5751 MIAMI LAKES DRIVE  
MIAMI LAKES, FLORIDA 33014  
(305) 374-8300  
(305) 374-9004 FAX

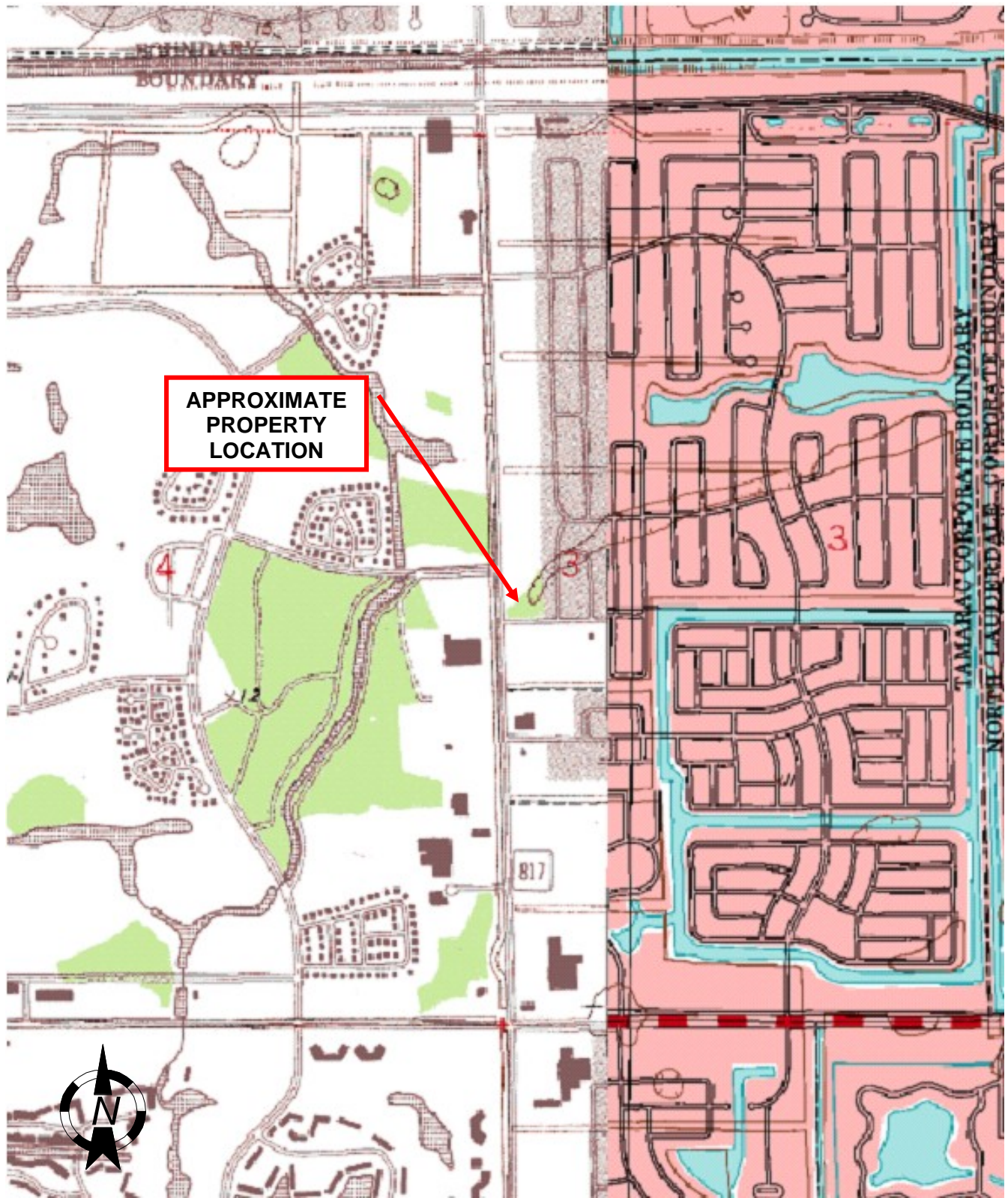


PALM PROPERTY  
7700 N. UNIVERSITY DRIVE  
TAMARAC, FL 33321

SITE LAYOUT  
MAP

Date: 06/13/12  
Project # 2012-3204  
Drawn by: IA  
Cad File: A-1  
Dwg. Scale: As Noted

FIGURE  
A-1



The Palms  
7700 N. University Drive  
Tamarac, FL 33321  
Project #: 2012-3204.JPH1

**TOPOGRAPHIC MAP**  
Source: USGS

**FIGURE**  
**A2**

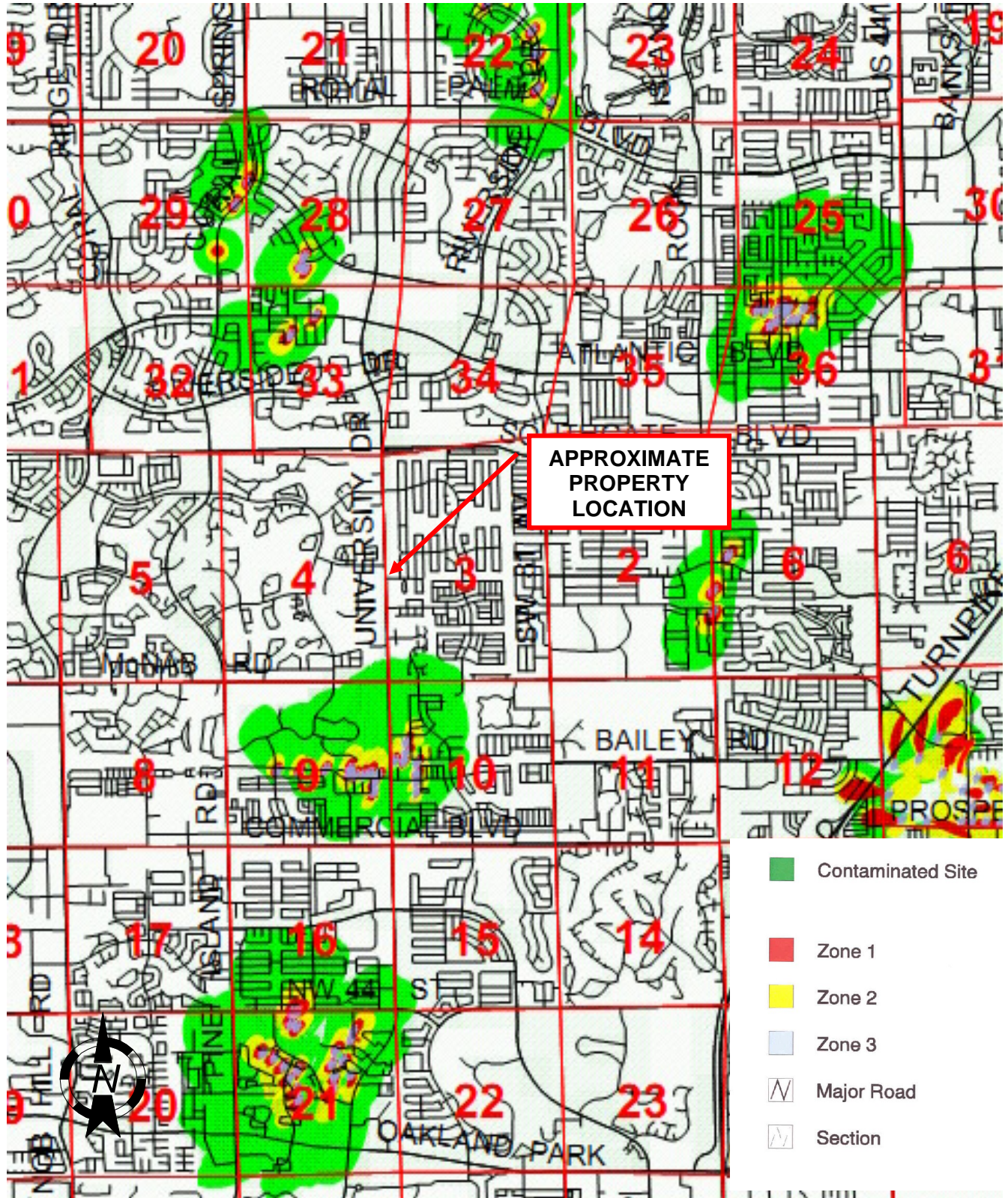


**The Palms**  
7700 N. University Drive  
Tamarac, FL 33321  
Project #: 2012-3204.JPH1

**SOIL SURVEY**  
Source: USDA

**FIGURE**  
A3





The Palms  
7700 N. University Drive  
Tamarac, FL 33321  
Project #: 2012-3204.JPH1

WELLFIELD MAP  
Source: DPEP

FIGURE  
A4

**APPENDIX B**  
**PHOTOGRAPHS**



**Photo 1: View looking west at the *Property*.**



**Photo 2: View looking northeast at the *Property*, beyond which the northern adjoining office building at 7800 N University Drive is visible.**



**Photo 3: View looking south at the *Property*. The southern adjoining retirement community is visible beyond NW 77<sup>th</sup> Street.**



**Photo 4: View looking northwest at the *Property*.**



**Photo 5: View looking north at the *Property*. Pooled rainwater is visible at the southern portion.**



**Photo 6: View looking west at the west adjoining N. University Drive beyond which was a professional office complex.**

**APPENDIX C**  
**USER PROVIDED INFORMATION**



Phase I Environmental Site Assessment User Form

In accordance with the Standard Practice for Environmental Site Assessments, per ASTM Designation E 1527-05, EE&G must obtain the following information from the User (Client) prior to performing an Environmental Site Assessment. This information is important to ensure the accuracy of the final deliverable, and identification of potential Recognized Environmental Conditions. This information may be included in the Phase I ESA Summary Report.

A. User/Client information:

Client Name: Issa Abu Aitah c/o Paul L. White  
Client Contact & Phone Number(s): (305) 270-0710  
Client Email Address: paulwhite@plw-biz  
Client Address: 7900 S.W. 67th Terrace, Miami, FL 33143  
(Street) (City) (State) (Zip Code)

B. Property Information:

B-1. Subject Property Name/Designation:

The Palms

B-2. Complete and correct address for the property (attach map & legal description if available):

7700 N. University Drive, Tamiami, FL 33321  
Survey attached

B-3. Please identify the Property Tax Folio ID Number(s): 494103150240  
494103150250

B-4. Please identify the approximate age of on-site structures: None

B-5. Please identify the following individuals (with phone number and/or email address), who may need to be contacted by EE&G to complete the Interview Section of the Phase I ESA:

- a) Key Site Manager, with good knowledge of the Property: Mark Hingston (954) 572-6900
- b) Current Owner/Operator of the Property: Joseph Vitale/County and Properties
- c) Past Owner/Operator of the Property: \_\_\_\_\_
- d) Knowledgeable Occupants: None

B-6. Does the User/Client possess any other knowledge or experience with the Property that may be pertinent to the Environmental Professional (for example, copies of any available prior environmental site assessment reports, documents, correspondence, etc., concerning the Property and its environmental condition).

No  Yes (If so, please provide EE&G with copies of that information)

Describe Information: \_\_\_\_\_

B-7. Other than the Client, Please identify all parties who will rely upon the Phase I ESA report.

None



Phase I Environmental Site Assessment User Form

C. User/Client Reporting Obligation:

The following are a series of questions from ASTM 1527-05 that must be answered in order to qualify for Landowner Liability Protection (LLP) under CERCLA. Please provide an answer to each question or attach pertinent information and identify a number for each attachment.

C-1. Please indicate the reason why a Phase I ESA is required:

- ☑ User Intends to Purchase the Property
☐ User Intends to Sell the Property
☐ User Intends to Lease the Property
☐ User Intends to Refinance the Property
☐ User Needs a Loan and Intends to Use Property as Collateral
☐ Other (Describe below):

C-2. Are you aware of any environmental cleanup liens against the property that are filed or recorded under federal, tribal, state or local law?

- ☑ No ☐ Yes (Describe or attach information) Attachment No. \_\_\_\_\_

C-3. Are you aware of any Activity and Use Limitations (AULs), such as Engineering Controls (e.g. engineered caps, foundations, liners, treatment methods, etc. that may have been installed to prevent direct exposure to affected soil, or used to prevent contamination from migrating to surrounding areas), land use restrictions, or Institutional Controls (e.g. deed restrictions, covenants, and/or administrative measures restricting the use of soils, groundwater, construction, redevelopment, or property use) that are in-place at the site, and/or have been filed or recorded in a registry under federal, tribal, state or local law?

- ☑ No ☐ Yes (Describe or attach information) Attachment No. \_\_\_\_\_

C-4. Do you have any specialized knowledge or experience related to the property or nearby properties? For example, are you involved in the same line of business as the current or former occupants of the property or an adjoining property so that you would have specialized knowledge of the chemicals and processes used by this type of business?

- ☑ No ☐ Yes (Describe or attach information) Attachment No. \_\_\_\_\_

C-5. Does the User/Client have actual knowledge that the purchase price of the Property has been reduced below comparable properties, due at least in part to environmental conditions associated with the Property?

- ☑ No ☐ Yes (If so, please explain or attach information) Attachment No. \_\_\_\_\_





---

C-6. Are you aware of commonly known or reasonably ascertainable information about the property that would help the Environmental Professional to identify conditions indicative of releases or threatened releases? For example, as User,

(a.) Do you know the past uses of the property?  No  Yes (Describe below)

Mountaintop

(b.) Do you know of specific chemicals that are present or once were present at the property?  
 No  Yes (Describe or attach information) Attachment No. \_\_\_\_\_

(c.) Do you know of spills or other chemical releases that have taken place at the property?   
No  Yes (Describe or attach information) Attachment No. \_\_\_\_\_

(d.) Do you know of any environmental cleanups that have taken place at the property?  
 No  Yes (Describe or attach information) Attachment No. \_\_\_\_\_

(e.) As the User of the ESA, based on your knowledge and experience related to the property are there any obvious indicators that point to the presence or likely presence of contamination at the property?  
 No  Yes (Describe or attach information) Attachment No. \_\_\_\_\_



Phase I Environmental Site Assessment User Form

**D. Additional Assessment Services:**

This Phase I ESA will be performed within requirements of ASTM Designation E 1527-05, which does not include the assessment for other potential Business Environmental Risks that may affect the impending commercial property transaction. As such, the User/Client may require an expanded scope of services, in addition to the Phase I ESA assessment.

**D-1.** Does the User/Client require EE&G to conduct additional environmental assessment activities (above and beyond the standard Phase I ESA scope, as defined in ASTM Designation E 1527-05)?


No       Yes (If Yes – Please respond to the following question)

**D-2.** Please indicate which of the following potential environmental concern(s) that you would like to have EE&G assess (EE&G will provide a separate proposal to address this request):

- Asbestos-Containing Materials Assessment
- Mold & Mildew Assessment
- Radon Assessment
- Lead-Based Paint Assessment
- Lead in Drinking Water Assessment
- Wetland Assessment
- Regulatory Compliance Audit
- Cultural and Historic Resources Assessment
- Endangered Species Assessment
- Indoor Air Quality or Industrial Hygiene Assessment
- Health and Safety Assessment
- Building Condition Assessment
- Other Environmental and/or Engineering Concerns (please describe):

**Authorization:**

I am the User, or have been authorized to complete this form on behalf of the User, and have completed it to the best of my knowledge and experience:

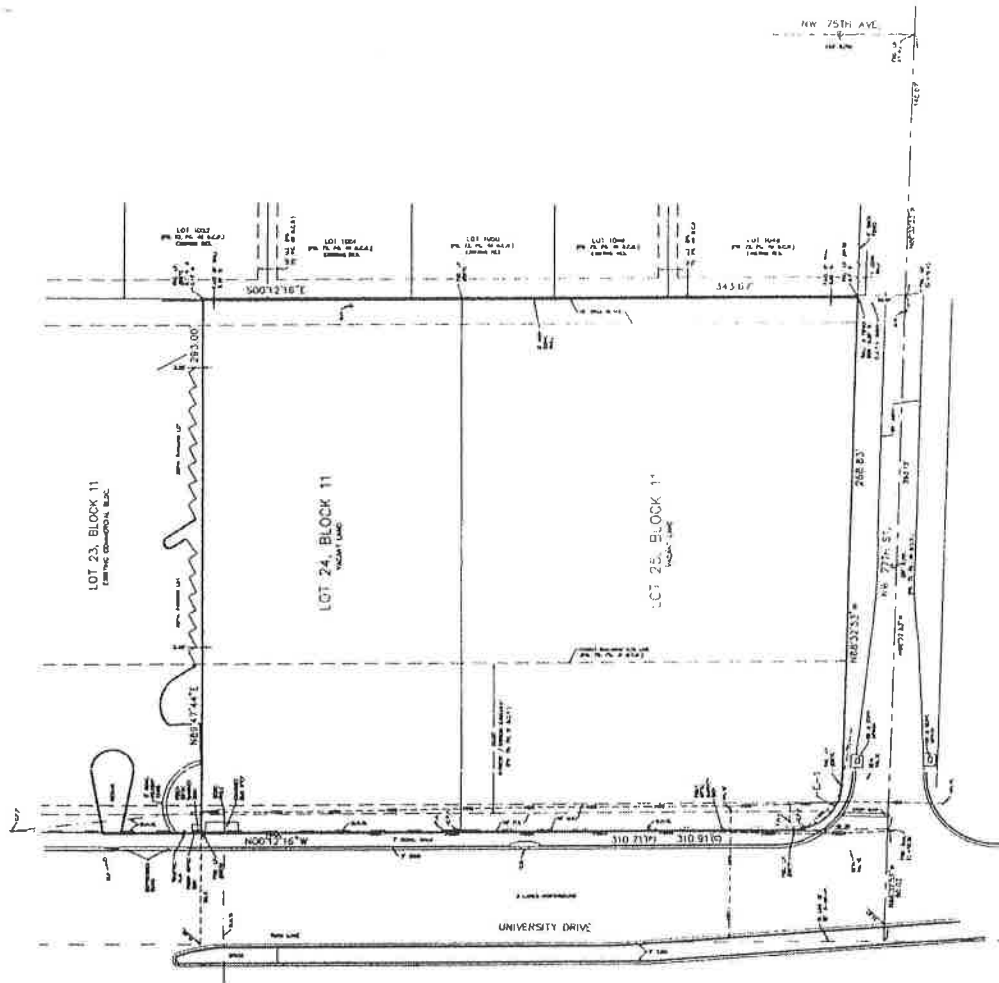
Signature: 
User/Client Name: Paul L. White
Date: 5/25/12

# MAP OF BOUNDARY SURVEY

FOR: COURTYARD PROPERTIES

DESCRIPTION:  
 LOTS 24 & 25, BLOCK 11, LYONS COMMERCIAL SUBDIVISION NO. 3, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 78, AT PAGE 31 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA, CONTAINING 93,327 SQUARE FEET MORE OR LESS.

(2.28 A-445)



NOTES:  
 1. ALL PROPERTY CORNERS ARE SET IRON ROD BATH UNLESS NOTED OTHERWISE.  
 2. ALL EASEMENTS ARE SHOWN AS DOTTED LINES.  
 3. BEARINGS SHOWN HEREON ARE BASED ON THE PLAT OF LYONS COMMERCIAL SUBDIVISION NO. 3 (PLAT BOOK 78, PAGE 31 B.C.R.).  
 4. DATUM (NAD 83) OF 1928.  
 5. THIS SURVEY IS NOT VALID UNLESS IT BEARS THE SIGNATURE AND EMBOSSED BENCHMARK OF CONNOR, BROWARD COUNTY ENGINEERING BENCHMARK #2942.  
 6. ELEVATION = 11.000.  
 7. TREES ON THE SUBJECT PROPERTY WERE NOT LOCATED.  
 8. POWER & LIGHT (P&L) LOCATIONS SHOWN HEREON ARE BASED ON FIELD LOCATION OF SURFACE MARKINGS THAT WERE PROVIDED BY OTHERS.  
 9. ALL EASEMENTS ARE PER THE PLAT OF LYONS COMMERCIAL SUBDIVISION NO. 3 (PB. 78, PG. 31 B.C.R.) UNLESS NOTED OTHERWISE.

CURVE TABLE

R=100.00'	Δ=30.00°	L=157.08°	T=51.76'
R=100.00'	Δ=45.00°	L=141.37°	T=67.08'
R=100.00'	Δ=60.00°	L=125.96°	T=81.85'
R=100.00'	Δ=75.00°	L=110.55°	T=96.12'
R=100.00'	Δ=90.00°	L=95.14°	T=110.00'

PAUL E. BREWER  
 SURVEYOR  
 13231 N.W. 25th Street  
 Coral Springs, FL 33043  
 Phone: (954) 755-8919  
 Fax: (954) 755-8919

NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL

	PAUL E. BREWER SURVEYOR 13231 N.W. 25th Street Coral Springs, FL 33043 Phone: (954) 755-8919 Fax: (954) 755-8919	DATE: 08/27/02 TIME: 10:00 AM SHEET: 1 OF 1
	LYONS COMMERCIAL SUBDIVISION NO. 3 (PB. 78, PG. 31 B.C.R.)	SCALE: 1" = 40' DATE: 08/27/02 TIME: 10:00 AM SHEET: 1 OF 1

NO. 1-12 HAVE BEEN APPROVED BY THE BOARD OF COUNTY COMMISSIONERS OF BROWARD COUNTY, FLORIDA, ON 08/27/02.



<b>Site Address</b>	N UNIVERSITY DRIVE , TAMARAC	<b>ID #</b>	4941 03 15 0240
<b>Property Owner</b>	COURTYARD JOINT VENTURE LLC	<b>Millage</b>	3112
<b>Mailing Address</b>	4577 NOB HILL RD #105 SUNRISE FL 33351	<b>Use</b>	49

<b>Abbreviated Legal Description</b>	LYONS COMMERCIAL SUB NO 3 76-31 B LOT 24 BLK 11
--------------------------------------	---

The just values displayed below were set in compliance with **Sec. 193.011, Fla. Stat.**, and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

<b>Property Assessment Values</b>					
<a href="#">Click here to see 2011 Exemptions and Taxable Values to be reflected on Nov. 1, 2011 tax bill.</a>					
Year	Land	Building	Just / Market Value	Assessed / SOH Value	Tax
2012	\$474,660	\$3,600	\$478,260	\$352,040	
2011	\$316,440	\$3,600	\$320,040	\$320,040	\$7,224.31
2010	\$316,440	\$3,600	\$320,040	\$320,040	\$7,289.41

**IMPORTANT:** The 2012 values currently shown are "roll over" values from 2011. These numbers will change frequently online as we make various adjustments until they are finalized on June 1. Please check back here AFTER June 1, 2012, to see the actual proposed 2012 assessments and portability values.

<b>2012 Exemptions and Taxable Values by Taxing Authority</b>				
	County	School Board	Municipal	Independent
<b>Just Value</b>	\$478,260	\$478,260	\$478,260	\$478,260
<b>Portability</b>	0	0	0	0
<b>Assessed/SOH</b>	\$352,040	\$478,260	\$352,040	\$352,040
<b>Homestead</b>	0	0	0	0
<b>Add. Homestead</b>	0	0	0	0
<b>Wid/Vet/Dis</b>	0	0	0	0
<b>Senior</b>	0	0	0	0
<b>Exempt Type</b>	0	0	0	0
<b>Taxable</b>	\$352,040	\$478,260	\$352,040	\$352,040

<b>Sales History</b>				
Date	Type	Price	Book	Page
8/1/2007	WD*-Q	\$1,300,000	44433	634
2/18/2003	SW*	\$450,000	34755	1189
5/28/2002	TD*	\$100	33349	300
11/1/1983	WD	\$105,000	11270	328

<b>Land Calculations</b>		
Price	Factor	Type
\$12.00	39,555	SF
<b>Adj. Bldg. S.F. (See Sketch)</b>		

\* Denotes Multi-Parcel Sale (See Deed)

<b>Special Assessments</b>								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
31								
L								
1								





<b>Site Address</b>	NW 77 STREET , TAMARAC	<b>ID #</b>	4941 03 15 0250
<b>Property Owner</b>	COURTYARD JOINT VENTURE LLC	<b>Millage</b>	3112
<b>Mailing Address</b>	4577 NOB HILL RD #105 SUNRISE FL 33351	<b>Use</b>	49
<b>Abbreviated Legal Description</b>	LYONS COMMERCIAL SUB NO 3 76-31 B LOT 25 BLK 11		

The just values displayed below were set in compliance with **Sec. 193.011, Fla. Stat.**, and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

<b>Property Assessment Values</b>					
<a href="#">Click here to see 2011 Exemptions and Taxable Values to be reflected on Nov. 1, 2011 tax bill.</a>					
Year	Land	Building	Just / Market Value	Assessed / SOH Value	Tax
2012	\$731,860	\$5,700	\$737,560	\$534,790	
2011	\$480,480	\$5,700	\$486,180	\$486,180	\$10,974.58
2010	\$480,480	\$5,700	\$486,180	\$486,180	\$11,073.47

**IMPORTANT:** The 2012 values currently shown are "roll over" values from 2011. These numbers will change frequently online as we make various adjustments until they are finalized on June 1. Please check back here AFTER June 1, 2012, to see the actual proposed 2012 assessments and portability values.

<b>2012 Exemptions and Taxable Values by Taxing Authority</b>				
	County	School Board	Municipal	Independent
<b>Just Value</b>	\$737,560	\$737,560	\$737,560	\$737,560
<b>Portability</b>	0	0	0	0
<b>Assessed/SOH</b>	\$534,790	\$737,560	\$534,790	\$534,790
<b>Homestead</b>	0	0	0	0
<b>Add. Homestead</b>	0	0	0	0
<b>Wid/Vet/Dis</b>	0	0	0	0
<b>Senior</b>	0	0	0	0
<b>Exempt Type</b>	0	0	0	0
<b>Taxable</b>	\$534,790	\$737,560	\$534,790	\$534,790

<b>Sales History</b>					<b>Land Calculations</b>		
Date	Type	Price	Book	Page	Price	Factor	Type
8/1/2007	WD*-Q	\$1,300,000	44433	634	\$12.25	59,744	SF
2/18/2003	SW*	\$450,000	34755	1189			
5/28/2002	TD*	\$100	33349	300			
11/1/1983	WD	\$160,000	11270	334			
					<b>Adj. Bldg. S.F. (See Sketch)</b>		

\* Denotes Multi-Parcel Sale (See Deed)

<b>Special Assessments</b>								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
31								
L								
1								



BR WARD

FORWARD

ENVIRONMENTAL PROTECTION DEPARTMENT – Biological Resources Division  
Mailing Address: 115 South Andrews Avenue, Room A-240 • Fort Lauderdale, Florida 33301  
954-519-1230 • FAX 954-519-1412

Via U.S. Mail

October 12, 2007

Joseph Vitolo  
4577 Nob Hill Road #105  
Sunrise, Florida 33351

**Re: Jurisdictional Determination – University Medical Campus  
7700 N. University Drive, Tamarac, Florida  
Folio No. 494103150240 & 50  
Section: 03 Township: 49 S Range: 41 E  
EPD File No. WD0709-005**

Dear Applicant:

The referenced site, outlined in black on the attached aerial photograph, was visited by the Broward County Environmental Protection Department (Department) on October 12, 2007. During that visit, it was determined that, at this time, there are no County jurisdictional wetlands on the site.

Based upon present conditions within the site, filling within the existing uplands will not require an Environmental Resource License. However, other activities such as excavation of a lake or canal, regulated under Article XI of the Natural Resource Protection Code, may require a license. The applicant is encouraged to contact the Department at the earliest convenient time to determine if, and what type of a license may be required prior to undertaking activities which may affect the existing surface water system. Additionally, this letter does not constitute a waiver of review by the Development Management Division of the Urban Planning and Redevelopment Department prior to clearing and grubbing.

This determination was made according to the Natural Resource Protection Code definition of *Regulated Aquatic and Wetland Resources* and Section 27-334(e), which incorporates the wetland delineation methodology ratified by the Florida Department of Environmental Protection or the South Florida Water Management District pursuant to 62-340 F.A.C. In the event of a conflict with a formal delineation conducted by the Florida Department of Environmental Protection or the South Florida Water Management District pursuant to 62-340 F.A.C. the determination of said Agency will be the controlling delineation. This County determination is valid for a period of no more than two (2) years from the date of this letter.

Please be advised that you may have wetlands and/or waters of the United States on your property, which would require receipt of a Department of Army (DA) permit prior to any dredging or filling activities. Please also be aware the receipt of state or local government permit does not obviate the need to obtain a DA permit prior to commencing work. For more information about the DA Regulatory Program, you may access the Corp's website at: <http://www.saj.usace.army.mil/permit/index.html>. You may also contact local Corps regulatory office for additional information at one of the following numbers: (561) 472-3508, (561) 472-3506 and (561) 472-3517.

Please contact me by phone at (954) 519-1228 or by e-mail at [rstgeorge@broward.org](mailto:rstgeorge@broward.org) if you have any questions.

Sincerely,

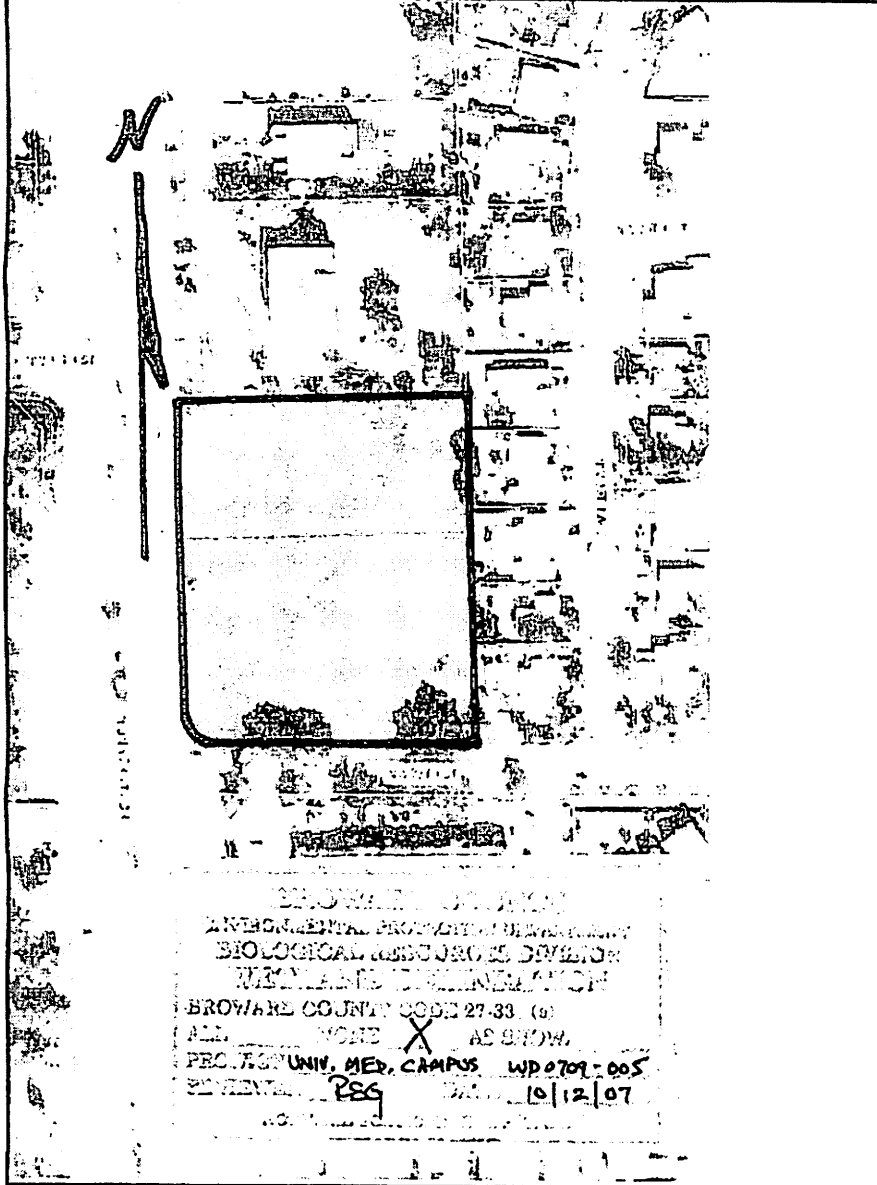


Ryan St. George  
Natural Resource Specialist II

Enc: Wetland Map  
cc: John Cain, Courtyard Properties  
Barb Conmy, SFWMD (via e-mail)



BR WARD  
COUNTY  
PROPERTY  
APPRAISER

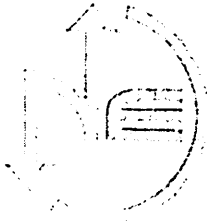


BROWARD COUNTY  
ENVIRONMENTAL PROTECTION DEPARTMENT  
BIOLOGICAL RESOURCES DIVISION  
WETLAND DETERMINATION  
BROWARD COUNTY CODE 27-33 (6)  
ALL WETLANDS  AS SHOWN.  
PEC FOR UNIV. MED. CAMPUS WD0709-005  
REVIEWED BY PEG DATE 10/12/07

Scale  
North Arrow  
Legend

University Medical Campus

0 61 ft



# Nutting Engineers

of Florida Inc. | Established 1967  
Your Project is Our Commitment

1310 Neptune Drive  
Boynton Beach, Florida 33426  
561-736-4900  
Toll Free: 877-NUTTING (688-8464)  
Fax: 561-737-9975  
Broward 954-941-8700  
St. Lucie 772-408-1050  
Miami-Dade 305-557-3083  
[www.nuttingengineers.com](http://www.nuttingengineers.com)

March 25, 2009

Courtyard Construction, Inc.  
Attn: Ms. Stacy Tufts  
4577 Nob Hill Road/ Suite #105  
Sunrise, FL 33351

Re: The Palms Medical Campus/ PO #3375CP  
Bldg. #1/ 7770-7780 University Drive  
Tamarac, FL

Gentlemen:

Based on field observations and randomly located density tests, results attached, it is our opinion that the foundation soils for the proposed building pad checked by us at the referenced test locations have been properly compacted to a minimum of 98 percent of the modified Proctor maximum dry density.

Further, based upon our review of the geotechnical engineering report prepared for the project by Nutting Engineers of Florida, Inc., it is our opinion that the soils beneath the building pad will support an allowable soil bearing pressure of 2500 psf as per the Florida Building Code, section 1818.2, 2004 edition, and ASTM standards.

The test results pertain to the specific test locations. Interpretation of these test results was accomplished in accordance with accepted standards of practice.

We appreciate this opportunity to work with you. Should you have any questions or require further service, please do not hesitate to contact the writer at your convenience.

Respectfully submitted,  
NUTTING ENGINEERS OF FLORIDA, INC.

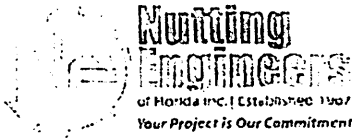
*RCW 3/26/09*

Richard C. Wohlfarth, P.E #50858  
Director of Engineering

Courtyard Palms Medical Campus #1 Pad RCW bb

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Geotechnical and Construction Materials | Engineering, Testing and Inspections | Environmental Services



**MOISTURE - DENSITY  
RELATIONSHIP REPORT**

PROJECT NO. Boynton-2708  
 CLIENT Courtyard Construction, Inc.  
 CC.

TO  
 Courtyard Construction, Inc.  
 4577 Nob Hill Road/ Ste 105  
 Sunrise, FL  
 33351

ATTN: Stacy Tufts

PROJECT The Palms Medical Campus  
 Building #1/PO #3375CP  
 CONTRACTOR

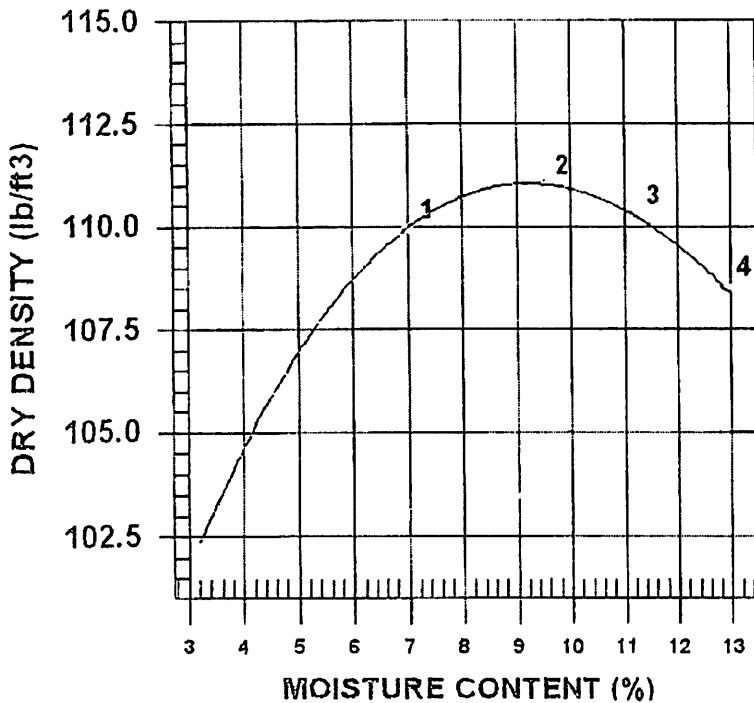
7770-7780 University Drive  
 Tamarac

PROCTOR NO. 1      DATE TESTED Mar 24, 2009      DATE RECEIVED Mar 24, 2009      DATE SAMPLED Mar 23, 2009

INSITU MOISTURE	N/A %	COMPACTION STANDARD	Modified Proctor,
SAMPLED BY	J. Molina		ASTM D1557
TESTED BY	C. Costantino	COMPACTION PROCEDURE	C: 6" Mold,
SUPPLIER	On-site Material		Passing 3/4"
SOURCE	Building Pad	RAMMER TYPE	Automatic

MATERIAL IDENTIFICATION  
 MAJOR COMPONENT Brown Sand  
 MINOR COMPONENT  
 ROCK TYPE

TOTAL NUMBER OF TRIALS      4



TRIAL NUMBER	WET DENSITY (lb/ft3)	DRY DENSITY (lb/ft3)	MOISTURE CONTENT (%)
1	117.6	109.9	7.0
2	121.5	111.0	9.5
3	122.5	110.2	11.2
4	122.5	108.5	12.9

	MAXIMUM DRY DENSITY (lb/ft3)	OPTIMUM MOISTURE CONTENT (%)
CALCULATED	111.0	9.0

COMMENTS

PER. Richard C. Wohlfarth 3/26/09  
 Richard C. Wohlfarth, P.E. #50858

PROJECT NO. Boynton-2708  
CLIENT Courtyard Construction, Inc.  
C.C.

TO [ Courtyard Construction, Inc.  
4577 Nob Hill Road/ Ste 105  
Sunrise, FL  
33351

ATTN: Stacy Tufts

PROJECT The Palms Medical Campus  
Building #1/PO #3375CP

LOCATION 7770-7780 University Drive  
Tamarac

REPORT NO. 1 NO. OF DENSITIES 5 TESTED BY J. Molina DATE TESTED Mar 23, 2009

CONTRACTOR AREA CONSTRUCTION TYPE			See Supporting Lab Testing Reports for Detailed Material Descriptions				
DENSITY NUMBER	LOCATION	Laboratory Soil Identifier	MOISTURE		DRY DENSITY		COMPACTION %
			FIELD	LAB	FIELD	LAB	
1	NE area of pad	Brown Sand	8.7	9.0	112.0	111.0	101
2	NW area of pad	Brown Sand	8.5	9.0	110.5	111.0	100
3	SE area of pad	Brown Sand	8.2	9.0	111.7	111.0	101
4	SE area of pad	Brown Sand	8.1	9.0	112.1	111.0	101
5	Approx. center of pad	Brown Sand	9.1	9.0	111.8	111.0	101

FIELD METHOD Nuclear ASTM D6938  
LABORATORY METHOD Modified Proctor ASTM D1557  
COMMENTS

SPECIFIED COMPACTION 98  
LOW DENSITIES INDICATED \*

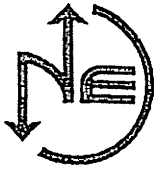
Page 1 of 1 Mar 25, 2009 Nutting Engineers of Florida, Inc.

PER Richard C. Wohlfarth 3/26/09  
Richard C. Wohlfarth, P.E. #50858

These test results only represent compaction measured at the location reported to a maximum depth of 12 inches below the surface tested. This report does not reflect bearing capacity or deeper soil conditions.







**Nutting Engineers**  
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 Geotechnical • Testing • Inspection

**NUCLEAR DENSITY REPORT**

Geotechnical & Construction Materials  
 Hydrogeology & Monitoring Wells  
 Engineering • Inspection • Testing

CLIENT: COURT YARD CONSTRUCTION

PROJECT: THE PALM MEDICAL

LEGAL: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

MATERIAL DESCRIPTION: \_\_\_\_\_

DATE: 3/23/09 TECHNICIAN: J. Medina PAD FILL DEPTH: \_\_\_\_\_

#	WET DENSITY	MOISTURE LBS.	DRY DENSITY	MOISTURE %	MAXIMUM DENSITY	% COMPACT
Bbs. #2 PAD DENS						
0-12" 98%						
@ 10' AREA			110.7	9.1	110.0 / 9.8	100%
			110.0	9.2	↓	99.7
			110.8	9.3		99.5
			110.1	9.4		99.2
			110.5	9.5		99.0
			110.2	9.6		98.8









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St. Lucie 772-408-1050  
Miami-Dade 305-557-3083  
[www.nuttingengineers.com](http://www.nuttingengineers.com)

Geotechnical and Construction Materials | Engineering, Testing and Inspections | Environmental Services

March 25, 2009

Courtyard Construction, Inc.  
Attn: Ms. Stacy Tufts  
4577 Nob Hill Road/ Suite #105  
Sunrise, FL 33351

Re: The Palms Medical Campus/ PO #3375CP  
Bldg. #2/ 7710-7720 University Drive  
Tamarac, FL

Gentlemen:

Based on field observations and randomly located density tests, results attached, it is our opinion that the foundation soils for the proposed building pad checked by us at the referenced test locations have been properly compacted to a minimum of 98 percent of the modified Proctor maximum dry density.

Further, based upon our review of the geotechnical engineering report prepared for the project by Nutting Engineers of Florida, Inc., it is our opinion that the soils beneath the building pad will support an allowable soil bearing pressure of 2500 psf as per the Florida Building Code, section 1818.2, 2004 edition, and ASTM standards.

The test results pertain to the specific test locations. Interpretation of these test results was accomplished in accordance with accepted standards of practice.

We appreciate this opportunity to work with you. Should you have any questions or require further service, please do not hesitate to contact the writer at your convenience.

Respectfully submitted,  
NUTTING ENGINEERS OF FLORIDA, INC.

Richard C. Wohlfarth, P.E #50858  
Director of Engineering

Courtyard Palms Medical Campus #2 Pad.RCW bb

OFFICES  
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Miami-Dade  
St. Lucie



# MOISTURE - DENSITY RELATIONSHIP REPORT

PROJECT NO. Boynton-2709

CLIENT Courtyard Construction, Inc.  
C.C

TO  
 Courtyard Construction, Inc.  
 4577 Nob Hill Road/ Ste 105  
 Sunrise, FL  
 33351

ATTN: Stacy Tufts

PROJECT The Palms Medical Campus  
 Building #2/ PO #3375CP

7710-7720 University Drive  
 Tamarac

CONTRACTOR

PROCTOR NO. 1      DATE TESTED Mar 24, 2009      DATE RECEIVED Mar 24, 2009      DATE SAMPLED Mar 23, 2009

INSITU MOISTURE	N/A %	COMPACTION STANDARD	Modified Proctor,
SAMPLED BY	J. Molina		ASTM D1557
TESTED BY	C. Costantino	COMPACTION PROCEDURE	C: 6" Mold,
SUPPLIER	On-site Material		Passing 3/4"
SOURCE	Building Pad	RAMMER TYPE	Automatic

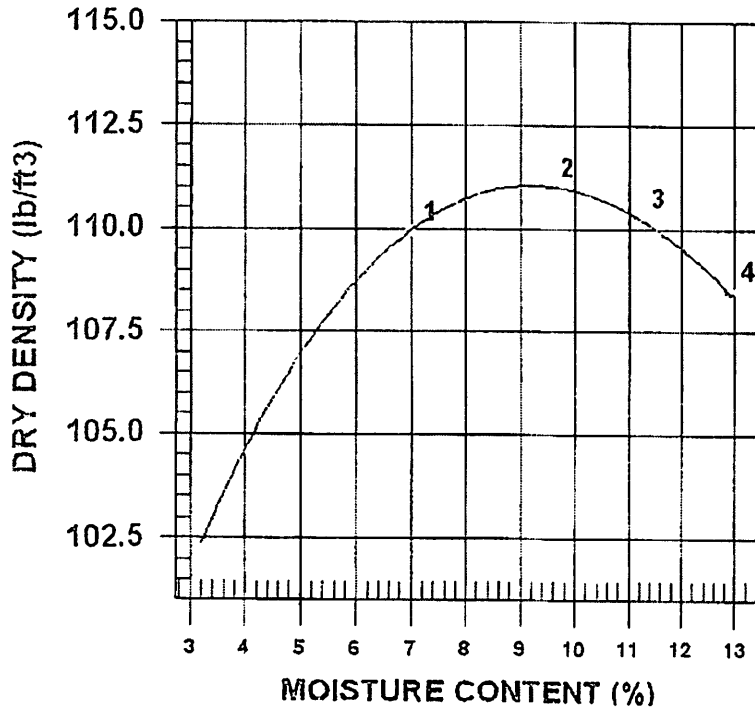
**MATERIAL IDENTIFICATION**

MAJOR COMPONENT Brown Sand

MINOR COMPONENT

ROCK TYPE

TOTAL NUMBER OF TRIALS      4



TRIAL NUMBER	WET DENSITY (lb/ft3)	DRY DENSITY (lb/ft3)	MOISTURE CONTENT (%)
1	117.6	109.9	7.0
2	121.5	111.0	9.5
3	122.5	110.2	11.2
4	122.5	108.5	12.9

	MAXIMUM DRY DENSITY (lb/ft3)	OPTIMUM MOISTURE CONTENT (%)
CALCULATED	111.0	9.0

COMMENTS

PER. Richard C. Wohlfarth 3/24/09  
 Richard C. Wohlfarth, P.E. #50858

PROJECT NO. Boynton-2709  
CLIENT Courtyard Construction, Inc.  
C.C.

TO  
Courtyard Construction, Inc.  
4577 Nob Hill Road/ Ste 105  
Sunrise, FL  
33351

ATTN: Stacy Tufts

PROJECT The Palms Medical Campus  
Building #2/ PO #3375CP

LOCATION 7710-7720 University Drive  
Tamarac

REPORT NO. 1      NO. OF DENSITIES 5      TESTED BY J. Molina      DATE TESTED Mar 23, 2009

CONTRACTOR AREA CONSTRUCTION TYPE	Medical Building Pad (0-12")	See Supporting Lab Testing Reports for Detailed Material Descriptions
---	------------------------------	---

DENSITY NUMBER	LOCATION	Laboratory Soil Identifier	MOISTURE		DRY DENSITY		COMPACTION %
			FIELD	LAB	FIELD	LAB	
1	NE area of pad	Brown Sand	9.1	9.0	111.7	111.0	101
2	NW area of pad	Brown Sand	9.2	9.0	110.7	111.0	100
3	SE area of pad	Brown Sand	8.5	9.0	110.8	111.0	100
4	SW area of pad	Brown Sand	8.3	9.0	112.1	111.0	101
5	Approx. center of pad	Brown Sand	8.1	9.0	111.5	111.0	101

FIELD METHOD	Nuclear ASTM D6938	SPECIFIED COMPACTION	98
LABORATORY METHOD	Modified Proctor ASTM D1557	LOW DENSITIES INDICATED	*
COMMENTS			

Page 1 of 1      Mar 25, 2009      Nutting Engineers of Florida, Inc.

PER. Richard C. Wohlfarth 3/26/09  
Richard C. Wohlfarth, P.E. #50858

These test results only represent compaction measured at the location reported to a maximum depth of 12 inches below the surface tested. This report does not reflect bearing capacity or deeper soil conditions.





# Nutting Engineers

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Boynton Beach, Florida 33426  
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Miami-Dade 305-557-3083  
[www.nuttingengineers.com](http://www.nuttingengineers.com)

Geotechnical and Construction Materials | Engineering, Testing and Inspections | Environmental Services

March 25, 2009

Courtyard Construction, Inc.  
Attn: Ms. Stacy Tufts  
4577 Nob Hill Road/ Suite #105  
Sunrise, FL 33351

Re: The Palms Medical Campus/ PO #3375CP  
Bldg. #3/ 7750-7760 University Drive  
Tamarac, FL

Gentlemen:

Based on field observations and randomly located density tests, results attached, it is our opinion that the foundation soils for the proposed building pad checked by us at the referenced test locations have been properly compacted to a minimum of 98 percent of the modified Proctor maximum dry density.

Further, based upon our review of the geotechnical engineering report prepared for the project by Nutting Engineers of Florida, Inc., it is our opinion that the soils beneath the building pad will support an allowable soil bearing pressure of 2500 psf as per the Florida Building Code, section 1818.2, 2004 edition, and ASTM standards.

The test results pertain to the specific test locations. Interpretation of these test results was accomplished in accordance with accepted standards of practice.

We appreciate this opportunity to work with you. Should you have any questions or require further service, please do not hesitate to contact the writer at your convenience.

Respectfully submitted,  
NUTTING ENGINEERS OF FLORIDA, INC.

Richard C. Wohlfarth, P.E #50858  
Director of Engineering

Courtyard Palms Medical Campus #3 Pad.RCW bb

OFFICES

Palm Beach

Miami-Dade

St. Lucie

**MOISTURE - DENSITY  
 RELATIONSHIP REPORT**

PROJECT NO. Boynton-2710  
 CLIENT Courtyard Construction, Inc.  
 C.C.

TO  
 Courtyard Construction, Inc.  
 4577 Nob Hill Road/ Ste 105  
 Sunrise, FL  
 33351

ATTN: Stacy Tufts

PROJECT The Palms Medical Campus  
 Building #3/ PO #3375CP

7750-7760 University Drive  
 Tamarac

CONTRACTOR

PROCTOR NO. 1      DATE TESTED Mar 24, 2009      DATE RECEIVED Mar 24, 2009      DATE SAMPLED Mar 23, 2009

INSITU MOISTURE	N/A %	COMPACTION STANDARD	Modified Proctor,
SAMPLED BY	J. Molina		ASTM D1557
TESTED BY	C. Costantino	COMPACTION PROCEDURE	C: 6" Mold,
SUPPLIER	On-site Material		Passing 3/4"
SOURCE	Building Pad	RAMMER TYPE	Automatic

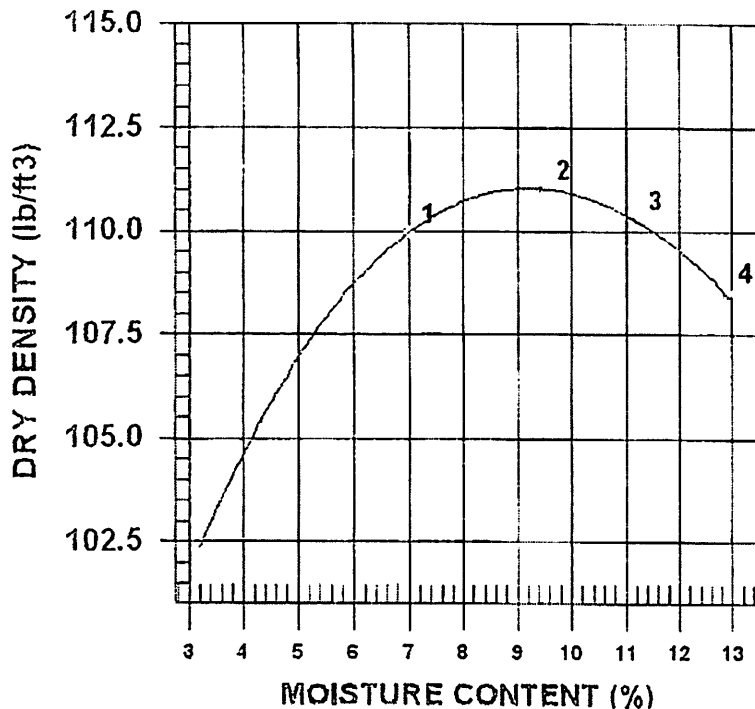
**MATERIAL IDENTIFICATION**

MAJOR COMPONENT Brown Sand

MINOR COMPONENT

ROCK TYPE

TOTAL NUMBER OF TRIALS      4



TRIAL NUMBER	WET DENSITY (lb/ft3)	DRY DENSITY (lb/ft3)	MOISTURE CONTENT (%)
1	117.6	109.9	7.0
2	121.5	111.0	9.5
3	122.5	110.2	11.2
4	122.5	108.5	12.9

	MAXIMUM DRY DENSITY (lb/ft3)	OPTIMUM MOISTURE CONTENT (%)
CALCULATED	111.0	9.0

COMMENTS

PER Richard C. Wohlfarth 3/26/09  
 Richard C. Wohlfarth, P.E. #50858

PROJECT NO. Boynton-2710  
CLIENT Courtyard Construction, Inc.  
C.C.

TO  
[  
Courtyard Construction, Inc.  
4577 Nob Hill Road/ Ste 105  
Sunrise, FL  
33351  
]

ATTN: Stacy Tufts

PROJECT The Palms Medical Campus  
Building #3/ PO #3375CP

LOCATION 7750-7760 University Drive  
Tamarac

REPORT NO 1      NO. OF DENSITIES 5      TESTED BY J. Molina      DATE TESTED Mar 23, 2009

CONTRACTOR AREA CONSTRUCTION TYPE			See Supporting Lab Testing Reports for Detailed Material Descriptions				
DENSITY NUMBER	LOCATION	Laboratory Soil Identifier	MOISTURE		DRY DENSITY		COMPACTION %
			FIELD	LAB	FIELD	LAB	
1	NE area of pad	Brown Sand	7.8	9.0	110.3	111.0	99
2	NW area of pad	Brown Sand	9.1	9.0	110.8	111.0	100
3	SE area of pad	Brown Sand	8.2	9.0	110.0	111.0	99
4	SW area of pad	Brown Sand	8.5	9.0	111.0	111.0	100
5	Approx. center of pad	Brown Sand	8.0	9.0	110.7	111.0	100

FIELD METHOD Nuclear ASTM D6938      SPECIFIED COMPACTION 98  
LABORATORY METHOD Modified Proctor ASTM D1557      LOW DENSITIES INDICATED \*

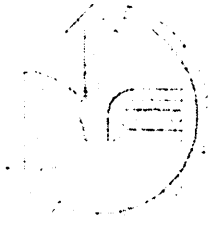
Page 1 of 1      Mar 25, 2009      Nutting Engineers of Florida, Inc

PER. Ray 3/26/09  
Richard C. Wohlforth, P.E. #50858

These test results only represent compaction measured at the location reported to a maximum depth of 12 inches below the surface tested. This report does not reflect bearing capacity or deeper soil conditions.







# Nutting Engineers

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Your Project is Our Commitment

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Toll Free: 877-NUTTING (688-8464)  
Fax: 561-737-9975  
Broward 954-941-8700  
St. Lucie 772-408-1050  
Miami-Dade 305-557-3083  
[www.nuttingengineers.com](http://www.nuttingengineers.com)

Geotechnical and Construction Materials | Engineering, Testing and Inspections | Environmental Services

March 25, 2009

Courtyard Construction, Inc.  
Attn: Ms. Stacy Tufts  
4577 Nob Hill Road/ Suite #105  
Sunrise, FL 33351

Re: The Palms Medical Campus/ PO #3375CP  
Bldg. #4/ 7730-7740 University Drive  
Tamarac, FL

Gentlemen:

Based on field observations and randomly located density tests, results attached, it is our opinion that the foundation soils for the proposed building pad checked by us at the referenced test locations have been properly compacted to a minimum of 98 percent of the modified Proctor maximum dry density.

Further, based upon our review of the geotechnical engineering report prepared for the project by Nutting Engineers of Florida, Inc., it is our opinion that the soils beneath the building pad will support an allowable soil bearing pressure of 2500 psf as per the Florida Building Code, section 1818.2, 2004 edition, and ASTM standards.

The test results pertain to the specific test locations. Interpretation of these test results was accomplished in accordance with accepted standards of practice.

We appreciate this opportunity to work with you. Should you have any questions or require further service, please do not hesitate to contact the writer at your convenience.

Respectfully submitted,  
NUTTING ENGINEERS OF FLORIDA, INC.

Richard C. Wohlfarth, P.E #50858  
Director of Engineering

Courtyard Palms Medical Campus #4 Pad.RCW bb

OFFICES  
Palm Beach  
Miami-Dade



# MOISTURE - DENSITY RELATIONSHIP REPORT

TO  
 Courtyard Construction, Inc.  
 4577 Nob Hill Road/ Ste 105  
 Sunrise, FL  
 33351

PROJECT NO. Boynton-2711  
 CLIENT Courtyard Construction, Inc.  
 CC.

ATTN: Stacy Tufts

PROJECT The Palms Medical Campus  
 Building #4/ PO #3375CP  
 CONTRACTOR

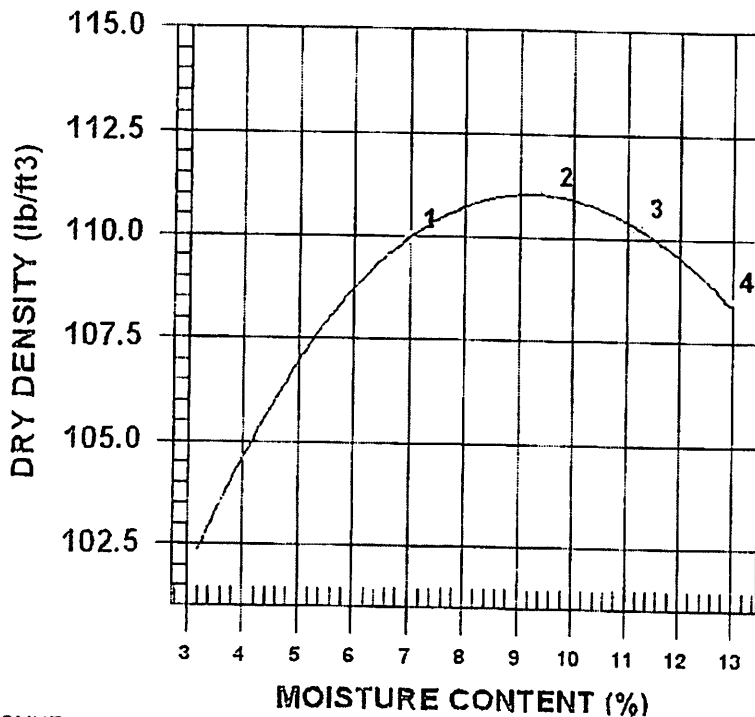
7730-7740 University Drive  
 Tamarac

PROCTOR NO. 1      DATE TESTED Mar 24, 2009      DATE RECEIVED Mar 24, 2009      DATE SAMPLED Mar 23, 2009

INSITU MOISTURE	N/A %	COMPACTION STANDARD	Modified Proctor,
SAMPLED BY	J. Molina		ASTM D1557
TESTED BY	C. Costantino	COMPACTION PROCEDURE	C: 6" Mold,
SUPPLIER	On-site Material		Passing 3/4"
SOURCE	Building Pad	RAMMER TYPE	Automatic

MATERIAL IDENTIFICATION  
 MAJOR COMPONENT Brown Sand  
 MINOR COMPONENT  
 ROCK TYPE

TOTAL NUMBER OF TRIALS      4



TRIAL NUMBER	WET DENSITY (lb/ft3)	DRY DENSITY (lb/ft3)	MOISTURE CONTENT (%)
1	117.6	109.9	7.0
2	121.5	111.0	9.5
3	122.5	110.2	11.2
4	122.5	108.5	12.9

	MAXIMUM DRY DENSITY (lb/ft3)	OPTIMUM MOISTURE CONTENT (%)
CALCULATED	111.0	9.0

COMMENTS

PER. Richard C. Wohlfarth 3/26/09  
 Richard C. Wohlfarth, P.E. #50858

TO  
 Courtyard Construction, Inc.  
 4577 Nob Hill Road/ Ste 105  
 Sunrise, FL  
 33351

PROJECT NO. Boynton-2711  
 CLIENT Courtyard Construction, Inc.  
 CC.

ATTN: Stacy Tufts

PROJECT The Palms Medical Campus  
 Building #4/ PO #3375CP

LOCATION 7730-7740 University Drive  
 Tamarac

REPORT NO. 1      NO. OF DENSITIES 5      TESTED BY J. Molina      DATE TESTED Mar 23, 2009

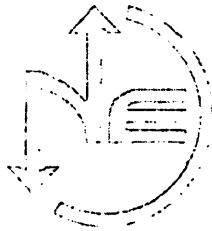
DENSITY NUMBER	LOCATION	Laboratory Soil Identifier	MOISTURE		DRY DENSITY		COMPACTION %
			FIELD	LAB	FIELD	LAB	
			1	NE area of pad	Brown Sand	8.8	
2	NW area of pad	Brown Sand	7.2	9.0	111.0	111.0	100
3	SE area of pad	Brown Sand	8.3	9.0	111.8	111.0	101
4	SW area of pad	Brown Sand	8.7	9.0	110.0	111.0	99
5	Approx. center of pad	Brown Sand	8.1	9.0	111.7	111.0	101

See Supporting Lab Testing Reports for Detailed Material Descriptions

FIELD METHOD Nuclear ASTM D6938      SPECIFIED COMPACTION 98  
 LABORATORY METHOD Modified Proctor ASTM D1557      LOW DENSITIES INDICATED \*  
 COMMENTS

Page 1 of 1      Mar 25, 2009      Nutting Engineers of Florida, Inc.      PER. Richard C. Wohlfarth  
 These test results only represent compaction measured at the location reported to a maximum depth of 12 inches below the surface tested.  
 This report does not reflect bearing capacity or deeper soil conditions.  
 Richard C. Wohlfarth, P.E. #50858





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Geotechnical and Construction Materials | Engineering, Testing and Inspections | Environmental Services

March 27, 2008

Mr. John Cain  
Courtyard Construction  
4577 Nob Hill Road, Suite 105  
Sunrise, Florida 33351      Phone: 954-572-5451      Fax: 954-572-2678

Subject:      Addendum to the Report of Geotechnical Exploration  
                 **The Palms Medical Campus**  
                 NE Corner of University Drive & NW 77<sup>th</sup> Street  
                 Tamarac, Florida

Dear Mr. Cain:

Nutting Engineers of Florida, Inc. has performed a geotechnical exploration for the proposed buildings to be located at the above referenced site in Tamarac, Florida. This letter is an addendum to the Report of Geotechnical Exploration dated July 11, 2007.

The soil survey maps for Broward County revealed that at the time the survey was conducted, the soils at the site were described as Plantation Muck. However, the project site was located along the border with the Hallandale-Urban land complex soil series. Based on the soil boring test results performed for this project, it is our opinion that this site more closely resembles the Hallandale-Urban land complex.

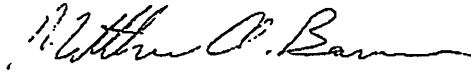
Hallandale-Urban land complex consists of nearly level, poorly drained, Hallandale sand that has been graded and leveled in many places for urban development. Approximately 40 percent of the complex is open land, such as lawns, vacant lots, and undeveloped areas. Sidewalks, streets, parking lots, and buildings cover the remaining 60 percent of the complex. The Hallandale series is underlain by limestone at depths ranging from 7 to 20 inches, but has solution holes as deep as 50 inches or more.

Surface organics to a depth of two feet was encountered in test boring B-1 only. All other test borings did not encounter surface organics. All surface organics in the area of test boring B-1 should be removed and replaced with clean structural fill as described in the Report of Geotechnical Exploration. We recommend that this removal process be performed in the presence of a Nutting Geotechnical Engineer.

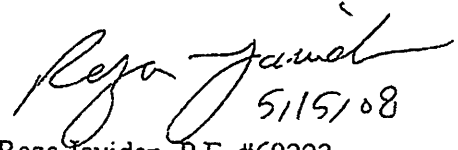
OFFICES  
Palm Beach  
Miami-Dade  
St. Lucie

We appreciate the opportunity to provide these services for you. If we can be of any further assistance, or if you need additional information, please feel free to contact us.

Sincerely,  
NUTTING ENGINEERS OF FLORIDA, INC.

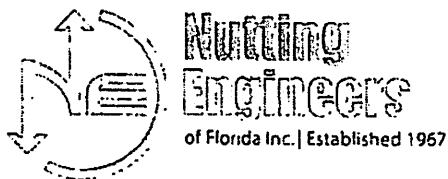


Matthew A. Barnes, E.I.  
Project Engineer



Reza Javidan, P.E. #60223  
Sr. Geotechnical Engineer

LTR COURTYARD CONST UNIV MED CAMPUS 10757 14 MAB



**COPY**

**REPORT OF  
GEOTECHNICAL EXPLORATION**

**THE PALMS MEDICAL CAMPUS  
NE CORNER OF UNIVERSITY DRIVE & NW 77<sup>TH</sup> STREET  
TAMARAC, FLORIDA**

**FOR**

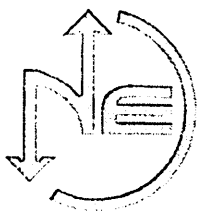
**COURTYARD CONSTRUCTION  
10260 NW 47<sup>TH</sup> STREET  
SUNRISE, FLORIDA 33351**

**PREPARED BY**

**NUTTING ENGINEERS OF FLORIDA, INC.  
1310 NEPTUNE DRIVE  
BOYNTON BEACH, FLORIDA 33426**

**ORDER NO: 10757.14**

**JULY 2007**



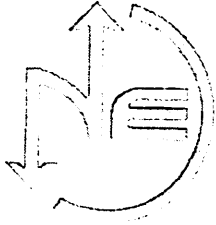
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*Offices throughout the state of Florida*

[www.nuttingengineers.com](http://www.nuttingengineers.com) [info@nuttingengineers.com](mailto:info@nuttingengineers.com)





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Miami-Dade 305-557-3083  
[www.nuttingengineers.com](http://www.nuttingengineers.com)

Geotechnical and Construction Materials | Engineering, Testing and Inspections | Environmental Services

July 11, 2007

Mr. Stacey Tufts  
Courtyard Construction  
10260 NW 47<sup>th</sup> Street  
Sunrise, Florida 33351      Phone: 954-572-5451      Fax: 954-572-2678

Subject:      Report of Geotechnical Exploration  
                  **The Palms Medical Campus**  
                  NE Corner of University Drive & NW 77<sup>th</sup> Street  
                  Tamarac, Florida

Dear Mr. Tufts:

Nutting Engineers of Florida, Inc. has performed a geotechnical exploration for the proposed buildings to be located at the above referenced site in Tamarac, Florida. The purpose of this exploration was to obtain information concerning the site and subsurface conditions in order to provide site preparation and foundation design recommendations for support of the proposed construction. This report presents our findings and recommendations.

**PROJECT INFORMATION**

We understand that plans include the construction of medical buildings consisting of four individual units two in the front and two at the back of the subject site, as located on the attached test boring location plan. Based on discussions with Mr. John Cain we understand that all buildings are one story in height, the front two units of each approximately 4625 square feet in area and the rear units of each 4300 square feet in area. Additional improvements for the subject site will also contain asphalt paved parking and roadways. We were provided a sketch of the site showing the proposed location of the building and the asphalt paved parking lots and roadways. We also understand that the proposed construction will be of reinforced concrete block masonry with #5 rebars at 4 feet center to center vertically spaced.

Based on existing elevations approximately one to two feet of fill may be required to bring the site up to construction grade, however final elevations should be determined by a Professional Architect.

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St. Lucie

Any changes in the above-discussed details and any information not discussed and found relevant to this project should be brought to our attention in order to potentially amend our analysis and recommendations with in this report.

## GENERAL SUBSURFACE CONDITIONS

### Soil Survey Maps

The soil survey maps for Broward County revealed that at the time the survey was conducted, the soils at the site were described as Plantation Muck. This is a nearly level, very poorly drained soil that has a muck surface layer over sandy mineral material. It is in broad flats along the eastern edge of the Everglades. The organic surface layer is subject to oxidation, which decreases its amount of organic material each year. We note that the maximum depth of the survey is approximately 6 feet.

In order to explore the subsurface conditions at the site, three Standard Penetration Test (SPT) borings were performed to a depth of 15 feet below ground surface in the area of the proposed building.

The drill technician maintained a field boring report, which indicates depth of each stratum, material type, blow counts, groundwater levels and other pertinent information. All samples were inspected in our laboratory and final test boring reports prepared. A copy of this report is included in the appendix.

### Test Boring Results

In general the borings revealed a surface layer of loose to medium dense brown to light tan quartz fine sand and limestone fragments to depths in the range of 2 to 5 feet underlain by soft to hard tan limestone and some light tan quartz fine sand to a depth of 15 feet, the maximum depth explored. Boring B-1 indicated Organic silt and sand material from the surface to a depth of 2 feet.

## Ground Water Information

The immediate depth to water referenced to adjoining surface grade at the time the soil borings were performed was approximately 3.5 feet. Groundwater elevations may vary substantially over time due to many area specific parameters such as rainfall, droughts, storm events, flood control activities, nearby surface water bodies, tidal activity, construction dewatering, wellfield activity, pumping and other factors. Given these factors and other considerations, the groundwater depth information provided in this report should be considered approximate with substantial variations from those values possible. For these reasons, this immediate depth to water data **should not** be relied upon alone for project design considerations. If more accurate static groundwater elevation data is needed, piezometers should be installed, survey of the project area for evidence of current groundwater elevation influences such as wellfields, and depth to water measurements performed over time to develop additional groundwater elevational data.

## ANALYSIS AND RECOMMENDATIONS

**Prior to any construction test pits must be performed utilizing a backhoe within the area of the boring B-1 in the presence of a Nutting Geotechnical Engineer to delineate the organic area.**

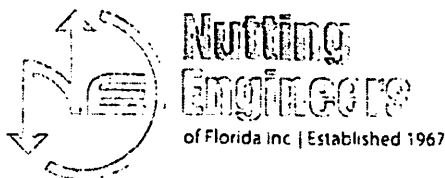
The borings performed for this project revealed that once the site has been prepared in accordance with our site preparation recommendations presented in this report, the proposed building may be supported on a shallow foundation system using an allowable bearing pressure of 2,500 pounds per square foot. Once plans are more finalized for the proposed construction, we should review the plans to determine whether additional details or changes to our recommendations are warranted.

We recommend a minimum width of 18 inches for continuous footings and 30 inches for individual footings, even though the soil bearing pressure may not be fully developed in all cases. We recommend that the bottom of footings be at least 18 inches below the lowest adjacent finished grade.

It is our opinion that the floor slab system may be constructed as a slab on grade. We recommend that a vapor barrier be placed between the soil and concrete. We also recommend that the reinforcing steel mesh be placed at the approximate center of the slab for tensile support.

### Settlement Analysis

Settlement analysis was performed using the Schmertmann method. It was determined that upon completion, long-term total settlements should be on the order of less than approximately one inch. Differential settlements should be approximately one-half of the total settlement. Distortions that occur along wall footings should not be more than 1 in 500. Most of this settlement should occur upon the application of the dead load during construction.



## Existing Pavements

Where the proposed building will be located over the existing pavement areas, the asphalt, base course, and subbase course will need to be removed beneath the building footprint and to a lateral distance of five feet outside the construction limits. The purpose is to provide a uniform base beneath the building.

## Site Preparation

All grass, weeds, and root zones should be stripped and removed from the construction area to a lateral distance of at least 5 feet beyond the proposed construction limits where practical. **Prior to any construction test pits must be performed utilizing a backhoe within the area of the boring B-1 in the presence of a Nutting Geotechnical Engineer to delineate the organic area.**

Upon approval by the geotechnical engineer, the stripped surface should be wetted, and then compacted with at least ten passes of a vibratory roller having a minimum dynamic force of 10 tons. Also, the surface should be compacted until a density equivalent to at least 95 percent of the modified Proctor maximum dry density (ASTM D-1557) is achieved to a depth of at least 12 inches below the compacted surface.

Structural fill placed above the proof rolled surface may then consist of clean granular soils, free of debris and organics, and shall have no more than 10 percent passing the No. 200 sieve, with a maximum particle size of 3 inches. Fill be placed in lifts not exceeding 6 inches in loose thickness when using the vibratory compaction equipment described previously. Each lift should be thoroughly compacted until densities equivalent to at least 98 percent of the modified Proctor maximum dry density are uniformly obtained.

Following site and building pad construction as discussed above, the foundation area should be excavated and the footings formed.

The bottom of foundation excavations should be compacted after excavation to develop a minimum density requirement of 98 percent of the maximum modified Proctor dry density, for a minimum depth of one (1) foot below the bottom of the footing depth, as determined by field density compaction tests. The floor slab area should also be compacted in the same manner.

## Pavements

Pavement areas should be compacted to a minimum of 98 percent of the modified Proctor maximum dry density to a depth of at least 12 inches below the subgrade level. We recommend that stabilized subgrade having a minimum Limerock Bearing Ratio (LBR) of 40 be placed to a depth of approximately one foot below the base course. The base course will range from approximately 6 to 8 inches, and should have a minimum LBR of 100. We can provide more detailed pavement design recommendations including material types and thickness. However, it would be necessary to provide us with the anticipated traffic loading characteristics and pavement design life.

## General

Our client for this geotechnical evaluation was:

Courtyard Construction  
10260 NW 47<sup>th</sup> Street  
Sunrise, Florida 33351

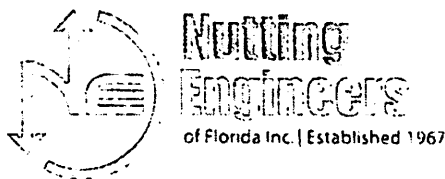
The contents of this report are for the exclusive use of the client, the client's design & construction team and governmental authorities for this specific project exclusively. Information conveyed in this report shall not be used or relied upon by other parties or for other projects without the expressed written consent of NUTTING ENGINEERS OF FLORIDA, INC.

This report discusses geotechnical considerations for this site based upon observed conditions and our understanding of proposed construction for foundation support. Environmental issues including (but not limited to), soil and/or groundwater contamination are beyond our scope of service for this project.

Prior to initiating compaction operations, we recommend that representative samples of the structural fill material to be used and acceptable in-place soils be collected and tested to determine their compaction and classification characteristics. The maximum dry density, optimum moisture content, gradation and plasticity characteristics should be determined. These tests are needed for compaction quality control of the structural fill and existing soils, and to determine if the fill material is acceptable.

A representative number of in-place field density tests should be performed in the compacted existing soils and in each lift of structural fill or backfill to confirm that the required degree of compaction has been obtained.


If conditions are encountered which are not consistent with the findings presented in this report, or if proposed construction is moved from the location studied, this office shall be notified immediately so that the condition or change can be evaluated and appropriate action taken.



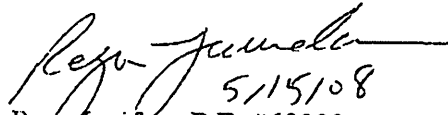
The vibratory compaction equipment could cause vibrations that could be felt by persons within adjacent buildings. The contractor should exercise due care during the performance of the vibratory compaction work. If such vibrations are not considered tolerable, then alternate foundation modification techniques should be considered.

We appreciate the opportunity to provide these services for you. If we can be of any further assistance, or if you need additional information, please feel free to contact us.

Sincerely,  
NUTTING ENGINEERS OF FLORIDA, INC.

for 

Divakar R. Reddy  
Project Manager

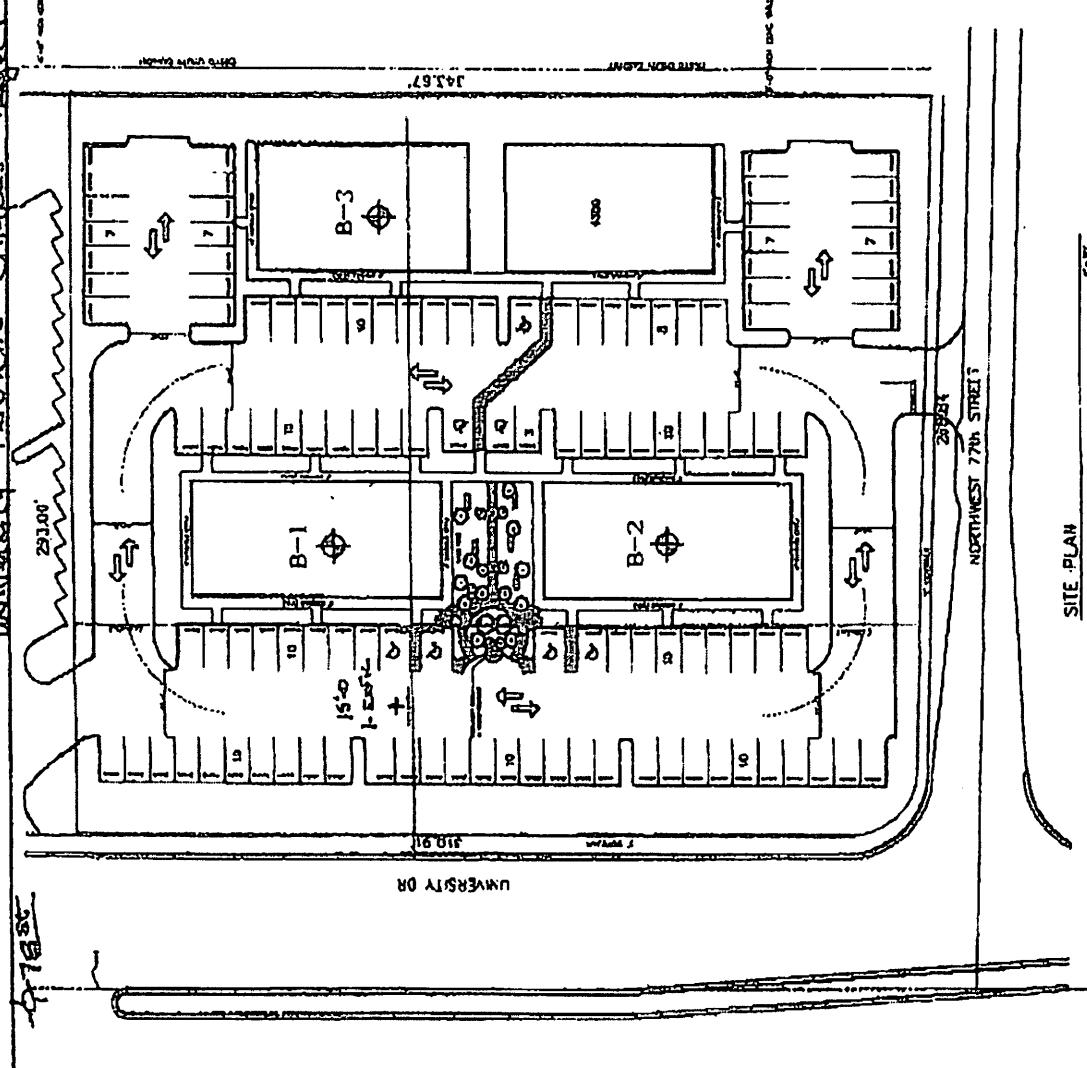
  
5/15/08  
Reza Javidan, P.E. #60223  
Sr. Geotechnical Engineer

Attachments: Test Boring Site Plan  
Test Boring Reports (1-3)  
Limitations of Liability  
Soil Classification Criteria

REP COURTYARD CONST UNIV MED CAMPUS 10757.14 DRED



# UNIVERSITY MEDICAL CAMPUS PROJECT



**LEGAL DESCRIPTION:**  
 LOT 24 & 25 BLOCK 11 OF LYONS COMMERCIAL SUBDIVISION OF TAMARAC, FLORIDA  
 LYONS COMMERCIAL SUBDIVISION  
 TAMARAC, FLORIDA

**CURRENT & PROPOSED ZONING:**  
 CURRENT: B-3  
 PROPOSED: B-3

**FLOOD ZONE:**  
 BASE FLOOD ELEVATION: 11.00 M.S.L.

**SITE DATA:**  
 GROSS SITE AREA: 94,100 SQ FT  
 NET SITE AREA: 67,250 SQ FT  
 TOTAL USABLE BUILDING FOOTPRINT: 17,850 SQ FT  
 W.A.: 45,320 SQ FT  
 W.A.S.: 4,481 SQ FT  
 TOTAL LOT AREA: 94,100 SQ FT

**TOTAL UNRECOVERED/OPEN SPACE:** 76,250 SQ FT  
**TOTAL LOT AREA:** 94,100 SQ FT

**SETBACKS:**  
 FRONT SETBACK: 25 FT  
 SIDE SETBACK: 5 FT  
 REAR SETBACK: 25 FT

**SURROUNDING ZONING & LAND USE:**  
 NORTH: B-3 (COMMERCIAL BUSINESS DISTRICT)  
 SOUTH: B-3 (COMMERCIAL BUSINESS DISTRICT)  
 EAST: B-3 (COMMERCIAL BUSINESS DISTRICT)  
 WEST: B-3 (COMMERCIAL BUSINESS DISTRICT)

**PARKING SPACES:** 119  
 17,850 SF / 150 = 119  
 HANDICAPPED: 6  
 TOTAL PARKING: 119  
 MAX BUILDING HEIGHT: 28'-4"

**SITE NOTES:**  
 THIS PROJECT IS TO PROVIDE A TOTAL OF 119 PARKING SPACES TO BE PROVIDED AS PER CITY CODE SECTION 10-10-000. THE PARKING SPACES SHALL BE PROVIDED AS PER CITY CODE SECTION 10-10-000. THE PARKING SPACES SHALL BE PROVIDED AS PER CITY CODE SECTION 10-10-000. THE PARKING SPACES SHALL BE PROVIDED AS PER CITY CODE SECTION 10-10-000.

**THIS PROJECT IS TO PROVIDE A TOTAL OF 119 PARKING SPACES TO BE PROVIDED AS PER CITY CODE SECTION 10-10-000. THE PARKING SPACES SHALL BE PROVIDED AS PER CITY CODE SECTION 10-10-000. THE PARKING SPACES SHALL BE PROVIDED AS PER CITY CODE SECTION 10-10-000. THE PARKING SPACES SHALL BE PROVIDED AS PER CITY CODE SECTION 10-10-000.**

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SITE PLAN

P.01

SITE PLAN

UNIVERSITY MEDICAL CAMPUS  
 LOT 24 & 25 BLOCK 11  
 LYONS COMMERCIAL SUBDIVISION  
 TAMARAC, FLORIDA

SP-1



1310 Neptune Drive  
 Boynton Beach, 33426  
 Telephone: 561-738-4900  
 Fax: 561-737-9975

PROJECT NUMBER 10757.14  
 CLIENT Courtyard Construction PROJECT NAME University Medical Campus  
 PROJECT LOCATION NE Corner of University Drive & NW 77th Street, Tamarac, Florida

DATE STARTED 7/5/07 COMPLETED 7/6/07 SURFACE ELEVATION REFERENCE @ Road Crown  
 DRILLING METHOD Standard Penetration Boring GROUND WATER LEVELS:  
 LOGGED BY L. Capanna CHECKED BY Reddy  AT TIME OF DRILLING 3.5 ft  
 APPROXIMATE LOCATION OF BORING Approx. 116' E. and 80' S. of the NW Property Corner

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	Blown	N-Value	A SPT N VALUE A													
						10	20	30	40										
						PL — MC — LL 20 — 40 — 60 — 80													
						<input type="checkbox"/> FINES CONTENT (%) <input type="checkbox"/> 20 40 60 80													
0		Brown organic SILT, little sand	SS 1	2-3-2-3	5														
		Brown quartz fine SAND Light tan quartz fine SAND	SS 2	5-4-4-5	8														
		Light tan clayey SAND																	
5		Light tan LIMESTONE, some sand	SS 3	8-8-8-6	16														
			SS 4	8-5-5-5	10														
			SS 5	10-7-11-11	18														
10																			
			SS 6	26-30-39	56														>>>
15		Bottom of hole at 15.0 feet.																	

TEST NUTTING BOREHOLE 10757.14 COURTYARD CONSTRUCTION- UNIVERSITY MEDICAL CAMPUS GP. J. GINT. US. GDT. 7/6/07

Disclaimer Nutting Engineers of Florida, Inc. accepts no liability for the consequences of the independent interpretation of drilling logs by others.





1310 Neptune Drive  
 Boynton Beach, 33426  
 Telephone: 561-736-4900  
 Fax: 561-737-9975

PROJECT NUMBER 10757.14  
 CLIENT Courtyard Construction PROJECT NAME University Medical Campus  
 PROJECT LOCATION NE Corner of University Drive & NW 77th Street, Tamarac, Florida

DATE STARTED 7/5/07 COMPLETED 7/5/07 SURFACE ELEVATION REFERENCE @ Road Crown  
 DRILLING METHOD Standard Penetration Boring GROUND WATER LEVELS:  
 LOGGED BY L. Capanna CHECKED BY Reddy  $\nabla$  AT TIME OF DRILLING 3.6 ft  
 APPROXIMATE LOCATION OF BORING Approx. 115' E. and 220' S. of the NW Property Corner

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	Blows	N-Value	Δ SPT N VALUE Δ					
						10	20	30	40		
						PL MC LL					
						□ FINES CONTENT (%) □					
						20	40	60	80		
0		Brown to light tan quartz fine SAND and limestone fragments	SS 1	2-6-7-6	13						
		LIMESTONE, trace of tan quartz fine sand	SS 2	2-3-5-5	8						
5		Tan LIMESTONE, some light tan quartz fine sand	SS 3	7-7-8-7	15						
			SS 4	8-7-7-6	14						
			SS 5	9-6-7-10	13						
10											
			SS 6	36-41-37	77						>>Δ
15		Bottom of hole at 15.0 feet.									

Disclaimer Nutting Engineers of Florida, Inc. accepts no liability for the consequences of the independent interpretation of drilling logs by others.



1310 Neptune Drive  
 Boynton Beach, 33426  
 Telephone: 561-736-4900  
 Fax: 561-737-9975

**BORING NUMBER B-3**  
 PAGE 1 OF 1

PROJECT NUMBER 10757.14

CLIENT Courtyard Construction

PROJECT NAME University Medical Campus

PROJECT LOCATION NE Corner of University Drive & NW 77th Street, Tamarac, Florida

DATE STARTED 7/5/07 COMPLETED 7/5/07 SURFACE ELEVATION REFERENCE @ Road Crown

DRILLING METHOD Standard Penetration Boring GROUND WATER LEVELS:

LOGGED BY L. Capanna CHECKED BY Reddy  $\nabla$  AT TIME OF DRILLING 3.5 ft

APPROXIMATE LOCATION OF BORING Approx. 110' S. and 50' W. of the NE Property Corner

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	Blows	N-Value	Δ SPT N VALUE Δ			
						10	20	30	40
						PL	MC	LL	
						20	40	60	80
						□ FINES CONTENT (%) □			
						20	40	60	80
0		Brown to tan quartz fine SAND and limestone fragments	SS 1	1-5-8-8	18				
		Brown quartz fine SAND and limestone fragments	SS 2	10-8-7-5	15				
5		Light tan LIMESTONE, some sand	SS 3	4-6-16-18	22				
			SS 4	14-14-17-19	31				
			SS 5	20-16-14-18	30				
10									
			SS 6	14-10-11	24				
15		Bottom of hole at 15.0 feet.							

Disclaimer Nutting Engineers of Florida, Inc. accepts no liability for the consequences of the independent interpretation of drilling logs by others.

## RELATIVE DENSITY SAND

SPT N-VALUE (blows/ft.)	RELATIVE DENSITY
0 - 4	Very loose
5 - 10	Loose
11 - 29	Medium
30 - 49	Dense
> 50	Very Dense

### PRACTICE SIZE

Boulder	> 12 in.
Cobble	3 to 12 in.
Gravel	4.75 mm to 3 in.
Sand	0.074 mm to 4.76 mm
Silt	0.005 mm to 0.07 mm
Clay	< 0.005 mm

## SHEAR STRENGTH CLAY

SPT N-Value (blows/ft.)	UNCONFINED COMP. STRENGTH (tons/ft <sup>2</sup> )	CONSISTENCY
< 2	< 0.25	Very soft
2 - 4	0.25-0.50	Soft
5 - 8	0.50-1.00	Medium
9 - 13	1.00-2.00	Stiff
16 - 30	2.00-4.00	Very Stiff
> 30	> 4.00	Hard

### DISCUSSION MODIFIERS

0 - 5%	Slight trace
6 - 10%	Trace
11 - 20%	Little
21 - 35%	Some
> 35%	And

Moisture Content	Group Symbols (%)	Typical Names	Laboratory Classification Criteria
<p>More than half of material is larger than No. 200 sieve.</p> <p>Coarse-grained soils</p>	7	4	6
<p>More than half of coarse particles smaller than No. 4 sieve and less than 4.75 mm.</p> <p>Sandy</p>	GW, GP, GM, GC, SW, SP, SM, SC	<p>Well graded gravel, sand and fine gravel</p> <p>Poorly graded gravel, sand and fine gravel</p> <p>Silty gravel, sand and fine gravel</p> <p>Coarse gravel, sand and fine gravel</p> <p>Well graded sand, gravel, silt and fine sand</p> <p>Poorly graded sand, gravel, silt and fine sand</p> <p>Silty sand and silt</p> <p>Clayey sand and clay</p>	<p><math>C_u = \frac{D_{60}}{D_{10}}</math> greater than 4</p> <p><math>C_c = \frac{(D_{30})^2}{D_{10} \cdot D_{60}}</math> between 1 and 3</p> <p>Not missing at gradation requirements for GW</p> <p>Atterberg limits below A line or <math>P_L</math> less than 4</p> <p>Atterberg limits above A line with <math>P_L</math> greater than 4</p> <p>Atterberg limits below A line or <math>P_L</math> less than 6</p> <p><math>C_u = \frac{D_{60}}{D_{10}}</math> greater than 6</p> <p><math>C_c = \frac{(D_{30})^2}{D_{10} \cdot D_{60}}</math> between 1 and 3</p> <p>Not missing at gradation requirements for SW</p> <p>Atterberg limits below A line or <math>P_L</math> less than 6</p> <p>Atterberg limits above A line with <math>P_L</math> greater than 7</p>
<p>More than half of material is smaller than No. 200 sieve.</p> <p>Fine-grained soils</p>	MH, CL, OL, MW, MC, OM, PI	<p>Inorganic silts and silty fine sands, clayey silts or clayey fine sands or sandy silts with slight plasticity</p> <p>Inorganic clays of low to medium plasticity</p> <p>Organic silts and organic silts of low plasticity</p> <p>Inorganic silts - various or disintegrated fine sands or silty silty plastic silts</p> <p>Inorganic clays of high plasticity</p> <p>Organic clays of medium to high plasticity</p> <p>Organic clays of medium to high plasticity</p> <p>Peat and other highly organic soils</p>	<p>Plasticity Chart</p> <p>For laboratory classification of fine-grained soils</p> <p>Compressing soils at equal void ratios, toughness and strength increase with increasing plasticity index.</p>



## LIMITATIONS OF LIABILITY

### WARRANTY

We warrant that the services performed by Nutting Engineers of Florida, Inc. are conducted in a manner consistent with that level of care and skill ordinarily exercised by members of the profession currently practicing under similar conditions. **No other warranties, expressed or implied, are made.** While the services of Nutting Engineers of Florida, Inc. are a valuable and integral part of the design and construction teams, we do not warrant, guarantee or insure the quality, completeness, or satisfactory performance of construction plans and specifications which we have not prepared, nor the ultimate performance of building site materials.

### SUBSURFACE EXPLORATION

Subsurface exploration is normally accomplished by test borings; test pits are sometimes employed. The method of determining the boring location and the surface elevation at the boring is noted in the report. This information is represented on a drawing or on the boring log. The location and elevation of the borings should be considered accurate only to the degree inherent with the method used.

The soil boring log includes sampling information, description of the materials recovered, approximate depths of boundaries between soil and rock strata and groundwater data. The log represents conditions specifically at the location where the boring was made. The boundaries between different soil strata are indicated at specific depths; however, these depths are in fact approximate and dependent upon the frequency of sampling. The transition between soil strata is often gradual. Water level readings are made at the time and under conditions stated on the boring logs. Water levels change with time, precipitation, canal level, local well drawdown and other factors.

### LABORATORY AND FIELD TESTS

Tests are performed in accordance with specific ASTM Standards unless otherwise indicated. All criteria included in a given ASTM Standard are not always required and performed. Each test report indicates the measurement and determination actually made.

### ANALYSIS AND RECOMMENDATIONS

The geotechnical report is prepared primarily to aid in the design of site work and structural foundations. Although the information in the report is expected to be sufficient for these purposes, it is not intended to determine the cost of construction or to stand alone as a construction specification.

Report recommendations are based primarily on data from test borings made at the locations shown on the test boring reports. Soil variations may exist between borings and may not become evident until construction. If variations are then noted, the geotechnical engineer should be contacted so that field conditions can be examined and recommendations revised if necessary.

The geotechnical report states our understanding as to the location, dimensions and structural features proposed for the site. **Any significant changes in the nature, design, or location of the site improvements must be communicated to the geotechnical engineer** so that the geotechnical analysis, conclusions, and recommendations can be appropriately adjusted.

### CONSTRUCTION OBSERVATION

Construction observation and testing is an important element of geotechnical services. The geotechnical engineer's field representative (G.E.F.R.) is the "owner's representative" observing the work of the contractor, performing tests and reporting data from such tests and observations. **The geotechnical engineer's field representative does not direct the contractor's construction means, methods, operations or personnel.** The G.E.F.R. does not interfere with the relationship between the owner and the contractor and, except as an observer, does not become a substitute owner on site. The G.E.F.R. is responsible for his/her safety, but has no responsibility for the safety of other personnel at the site. The G.E.F.R. is an important member of a team whose responsibility is to observe and test the work being done and report to the owner whether that work is being carried out in general conformance with the plans and specifications.



**APPENDIX D**  
**AERIAL PHOTOGRAPHS**



**The Palms**  
7700 N. University Drive  
Tamarac, FL 33321  
Project #: 2012-3204.JPH1

**1947 AERIAL PHOTOGRAPH**

**FIGURE  
D1**



The Palms  
7700 N. University Drive  
Tamarac, FL 33321  
Project #: 2012-3204.JPH1

*1957 AERIAL PHOTOGRAPH*

**FIGURE  
D2**



**The Palms**  
7700 N. University Drive  
Tamarac, FL 33321  
Project #: 2012-3204.JPH1

**1968 AERIAL PHOTOGRAPH**

**FIGURE  
D3**

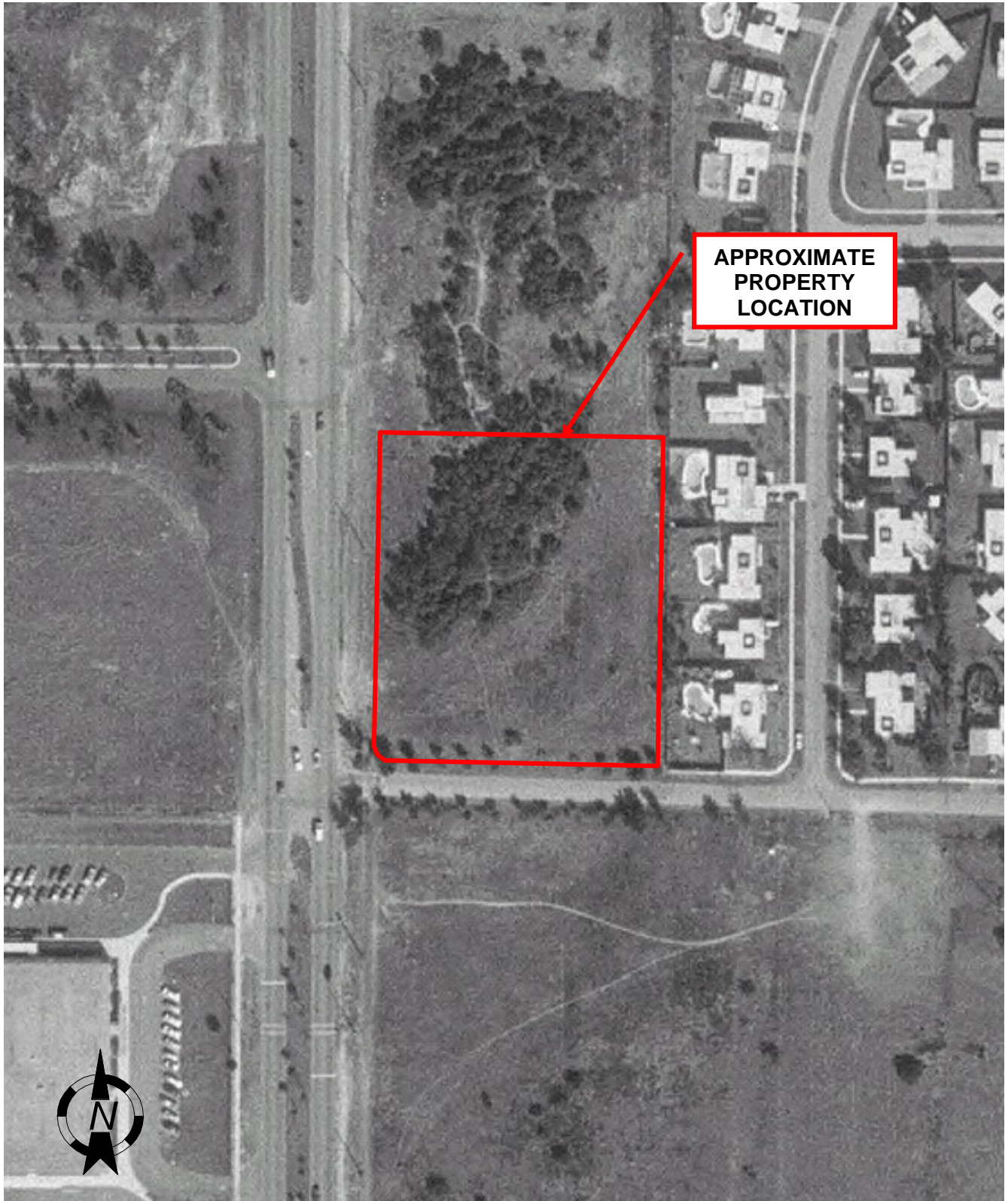




The Palms  
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Project #: 2012-3204.JPH1

1971 AERIAL PHOTOGRAPH

FIGURE  
D4



**The Palms**  
7700 N. University Drive  
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Project #: 2012-3204.JPH1

**1976 AERIAL PHOTOGRAPH**

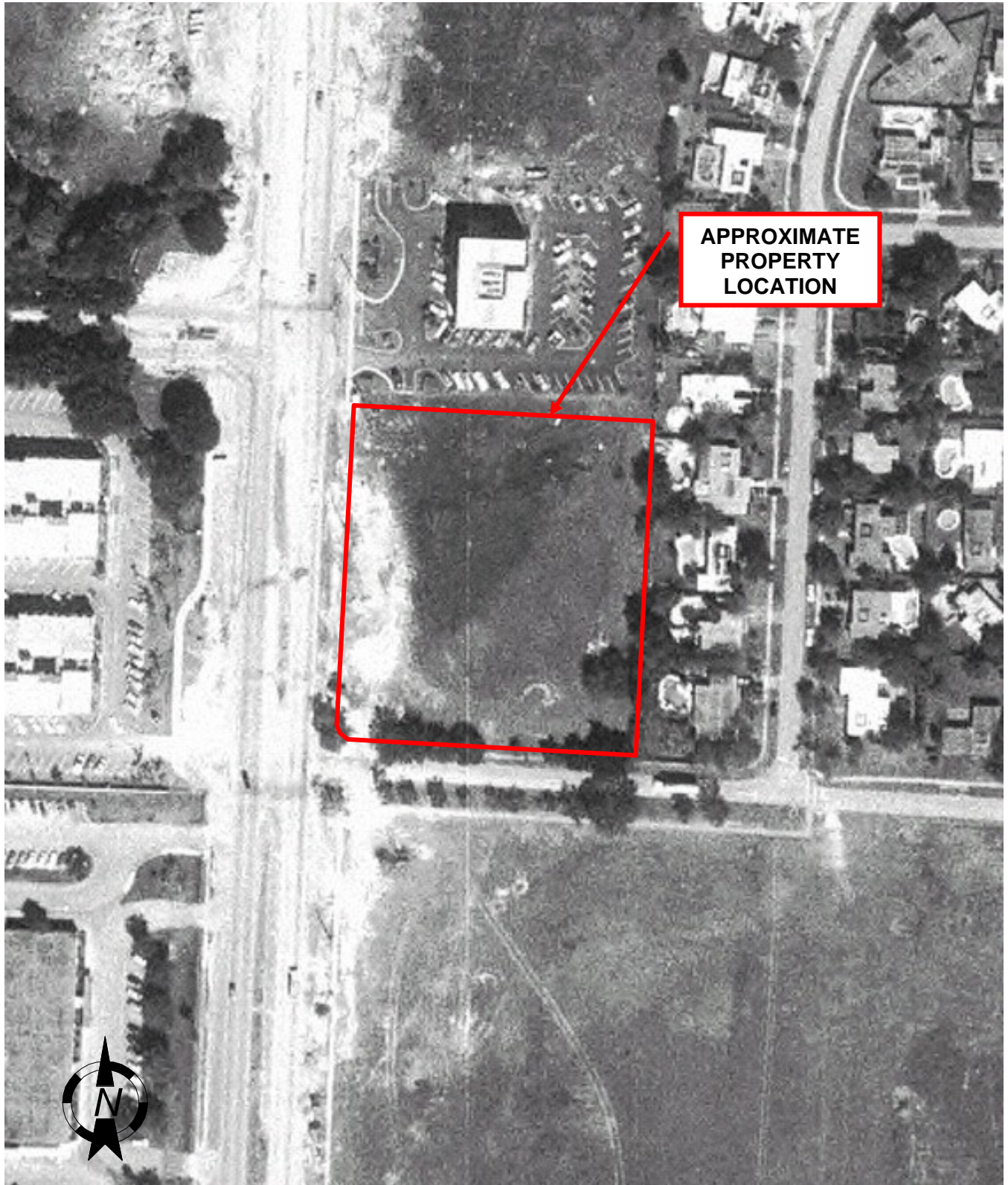
**FIGURE  
D5**



**The Palms**  
7700 N. University Drive  
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Project #: 2012-3204.JPH1

**1981 AERIAL PHOTOGRAPH**

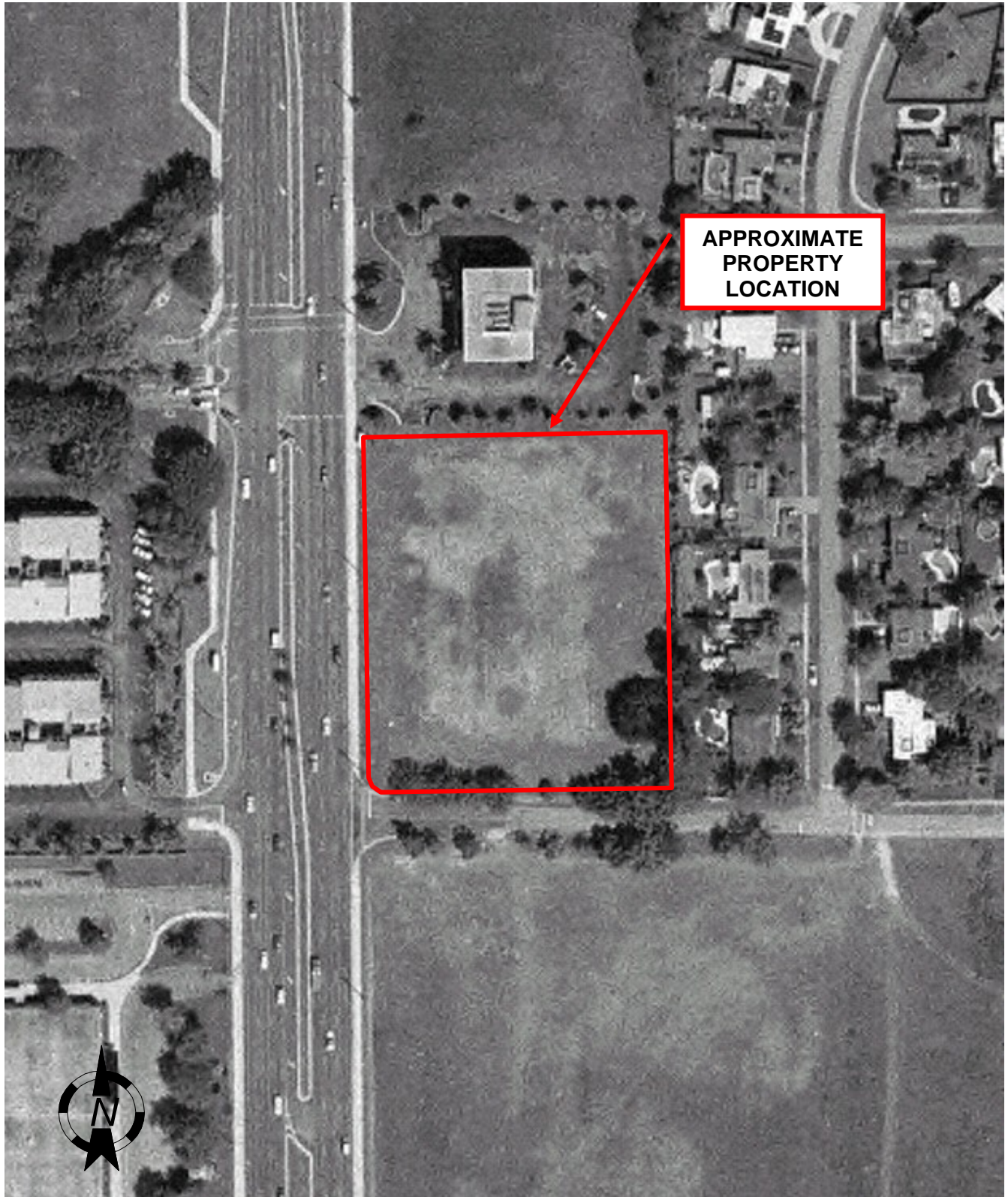
**FIGURE  
D6**



**The Palms**  
7700 N. University Drive  
Tamarac, FL 33321  
Project #: 2012-3204.JPH1

**1988 AERIAL PHOTOGRAPH**

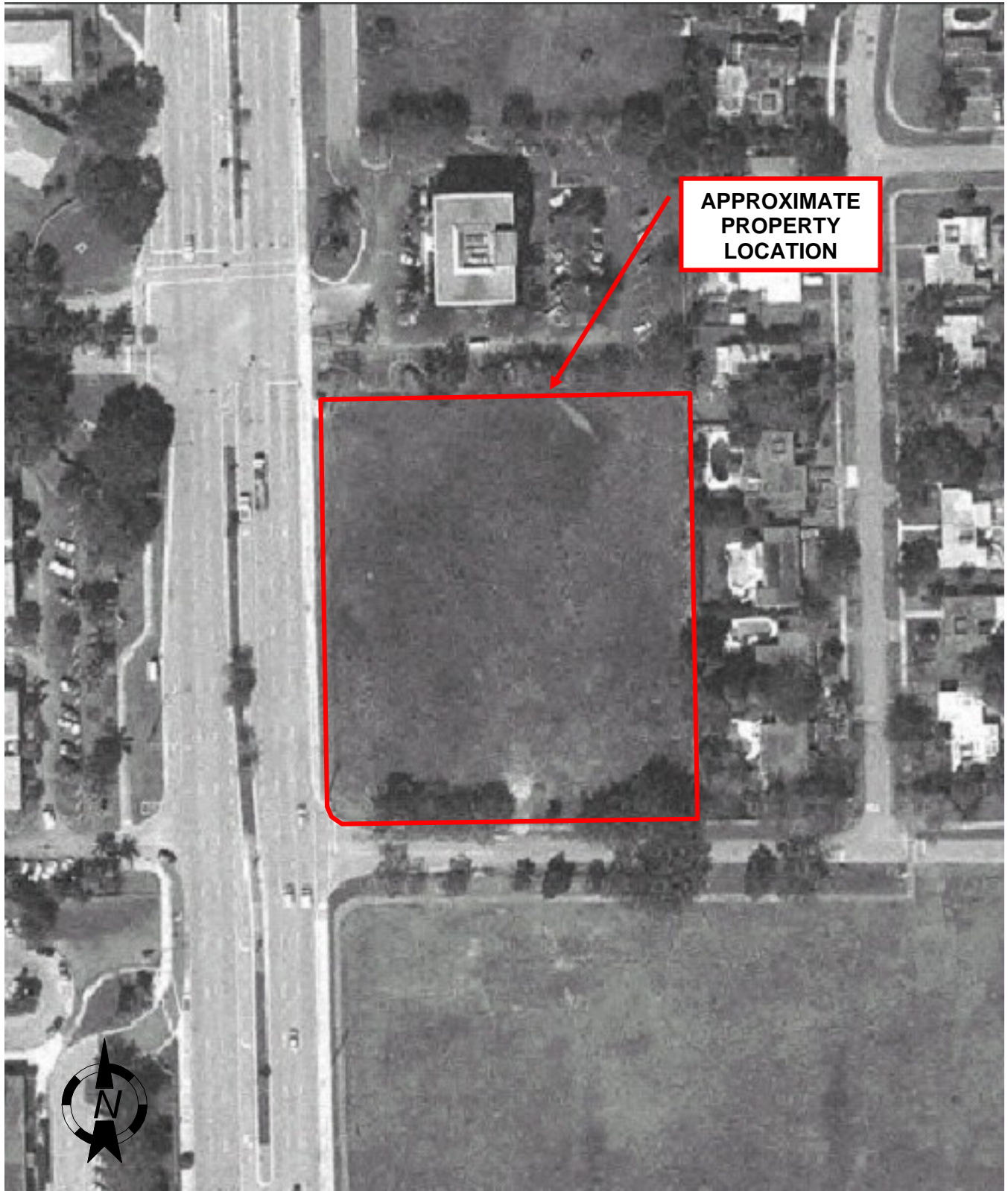
**FIGURE  
D7**



**The Palms**  
7700 N. University Drive  
Tamarac, FL 33321  
Project #: 2012-3204.JPH1

**1992 AERIAL PHOTOGRAPH**

**FIGURE  
D8**



**The Palms**  
7700 N. University Drive  
Tamarac, FL 33321  
Project #: 2012-3204.JPH1

**1998 AERIAL PHOTOGRAPH**

**FIGURE  
D9**



**The Palms**  
7700 N. University Drive  
Tamarac, FL 33321  
Project #: 2012-3204.JPH1

**2006 AERIAL PHOTOGRAPH**

**FIGURE  
D10**



**The Palms**  
7700 N. University Drive  
Tamarac, FL 33321  
Project #: 2012-3204.JPH1

*2012 AERIAL PHOTOGRAPH*

**FIGURE  
D11**



**APPENDIX E**  
**SANBORN FIRE INSURANCE MAPS**



**The Palms**

7700 N. University Drive  
Fort Lauderdale, FL 33321

Inquiry Number: 3332188.2  
May 29, 2012

## Certified Sanborn® Map Report

# Certified Sanborn® Map Report

5/29/12

**Site Name:**

The Palms  
7700 N. University Drive  
Fort Lauderdale, FL 33321

**Client Name:**

EE&G Environmental Services,  
5751 Miami Lakes Drive East  
Miami Lakes, FL 33014-0000



EDR Inquiry # 3332188.2

Contact: Nydia Carrasquillo

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## Certified Sanborn Results:

**Site Name:** The Palms  
**Address:** 7700 N. University Drive  
**City, State, Zip:** Fort Lauderdale, FL 33321  
**Cross Street:**  
**P.O. #** NA  
**Project:** 2012-3204  
**Certification #** F9CE-40E1-9B21



Sanborn® Library search results  
Certification # F9CE-40E1-9B21

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- University Publications of America
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**APPENDIX F**  
**CITY DIRECTORY RESEARCH**

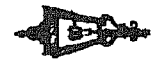
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- 202a Rhodes John M 484-4704
- 203e Glickel Jacob 484-5804
- 204e Ordieno F
- 205e Sevoyer D 484-5965
- 207e Spasaro T M 484-7537
- 4021 Apartments
- 101c Freedman Ellen 735-9519
- 102c Franklin Harold 484-9127
- 103c Weech Rod 484-2592
- 104c Brumfield Charles M 739-1104
- 105c Sheckler R 485-3284
- 106c Cambio D 484-0807
- 107c Pietrobono John 739-8848
- 109c Peel E 484-8849
- 110c Ahringer Barry 739-1073
- 111c Matheny Shannon L Jr 739-3684
- 112c Baird J
- 201c Levy David 484-6840
- 202c Spiewak R 484-0561
- 203c Lowry Ruby L 484-3635
- 204c Kaplan E
- 205c Anson J 741-2278
- 206c Karpinski J 741-2671
- 208c Barany Ben 741-2423
- 211c Bondurant Harold 484-6182
- 212c Leonhart Charles 484-7725
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532

## UNIVERSITY DR N (TAMARAC) FROM W COMMERCIAL BLVD NORTH

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- 6400 Donut City Sandwich Shop 721-6710
- 6402 Bargain Bed & Patio Furniture 721-9400
- 6406 Leslie Florist Cards & Gifts 721-7020
- 6408 University Shops Dry Cleaners 721-6760
- 6410 Thurston's Shoes 722-6040
- 14 Hamilton Tatum & Heston lwyr 721-7800
- 101 Golding Stephen M & Co bkpg 721-8230
- 103 S & C Electric Co mfrs agts 721-8010
- 104 Vacant
- 6412 Berg Joel A Insurance Inc 722-0260
- 111 Liebman Associates Inc 722-1010
- 112 Mc Cracken & Co 722-0590
- 114 Cadillac Dry Wall Corp 721-9463
- 116 Stefi Ann Sportswear womens clo 722-0070
- 125 Suburban Meats (Stge)
- 126 State Farm Insurance 722-0920
- 129 Kinney Robt W Jr bkpg 721-4541
- 130 Du-Best Inc appl serv 722-0430
- 132 Speech & Language Therapy Clinic
- 133 Vacant
- 134 Modern Real Estate Corp 739-6644
- 135 Marcus Maurice Import Export 721-7939
- 137 Dove Realty
- 139 Five Towns Men's Shoppe 722-0770
- 6414 Nero Jewelry Inc 721-6750
- 6416 Uniarts Inc ofc sup 721-7460
- 6418 University Galleries 722-6060
- 6422 Knit-N-Stitch 721-6060
- 6424 Suburban Meats II 722-0528

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- 2200 Johnny's Cycle bicycles sls & serv 484-2015
- 2240 Pizza Hut 739-6071
- 2260 Mc Donald's 739-1280
- 2280 Mario's 484-8888
- 2291 Sunoco Tire Store
- NW 23D ST INTERSECTS
- 2310 University Plaza
- 2320 Western Auto 739-3970
- 2360 Eagle Family Discount Stores 739-0868
- 2400 Sherwin-Williams paints 739-3290
- 2401 D C A Housing Authority Information 735-5111
- 2404 Sultan & Sons drapery 735-8758
- 2408 Vacant
- 2410 University Animal Clinic 731-0900
- 2412 Vacant
- 2414 Sir Pizza 739-0000
- 2422 Suburban Dessert Shop Inc 739-3941
- 2454 International House Of Pancakes The restr 733-7880
- 2500 University Medical & Professional Building

## ROOMS

- 1 Ring John F Realtor 739-3700
- 2 Frankford S W & Associates acct 735-1704
- 3 Morris James B phys 739-2757
- 3 Sachs Joseph M phys 739-2757
- 4 Loss Michl R phys 739-5155
- 5 Lipnack Martin I lwyr 735-9800
- 6 Perez Robt M podiatrist 739-2480
- 8 Smoley Melvin phys 735-9595
- 9 Devack S L dentist 735-9977
- 9 Cartledge J P dentist 735-9977
- 9 Rechter Marvin dentist 735-9977
- 10 Schlam Edw H phys 733-7600
- Fernandez Manuel A phys 741-7400
- 12 Silberman Joel H dentist
- 13 Kaplan Marshall M phys 484-1220
- 14 Rous Stanley phys 739-5555
- 15 Adams Optical Center 739-7766
- 2501 D C A Realty Corp 735-2550
- 2510 Sunrise Plaza
- 2520 Frankie's Farmers Market 741-0088
- 2530 Vacant
- 2540 Frank Of New York Beauty Salon 484-0280
- 2550 Paperwalls By Contempo 731-6551
- 2560 Pool Supply People The 739-7000
- 2570 Mister Grocer 731-9788
- 201 State Farm Insurance 587-9035
- 2580 Ichiban electronic sup
- 2620 Big Red Q Quick Print 741-0770
- 2630 Universal Florida Realty Inc 739-6033
- 2640 Lou's Sub Shop 731-9639
- 2650 Home Servicer Inc 484-8800

## UNIVERSITY DR S (PLANTATION) FROM 7901 W BROWARD BLVD SOUTH

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- 1 State Dept Of Trans (Constn Ofc) 776-4711
- 2 Gerlyn Builders Corp field ofc 791-7990
- Plantation Community Plaza

540

- 166 American Savings & Loan Assn Of Fla 792-7550
- 214 Li'l Giant Food Store 792-5530
- 218 Beds Unlimited 792-1012
- 222 Ark Pool Co 581-5601
- 224 Vacant
- 228 Country Britches clo store 792-5565
- 230 Official Reservation Centers Inc 791-7110
- 232 Decorators Row Ltd 583-4700
- 234 Elcasa Hairstyles 791-0110
- 236 Wallpaper Den 792-2418
- 238 Tuerkheimer Barry D optom 792-4050
- 240 Plantation Community Pharmacy 581-7790
- 244 Luv'n Oven 587-3900
- 248 Hot Bagels & Coffee Shop 791-9581
- 250 Carvel 36-60 Ice Cream Store 583-9827
- 252 John's Prime Meats 792-5506
- 254 Step By Step shoes 792-7474
- 256 Stuart's Stride Rite Shoes 581-2570
- 258 Shaw's Jewelers 792-7800
- 260 Projections Clothing Boutique 792-7777
- 262 Kalil Gene Inc oriental carpets & rgs 791-8650
- 264 Country Gentleman Hair Styles 792-5870
- 266 Spanish & Mexican Imports 792-2839
- 266a Philip's Beauty & Barber Supplies Inc
- 270 Plantation Executive Building
- 274 Caplen Jay D dentist 792-5000
- Michaels Steven podiatrist 791-9500
- Tanner Donald S podiatrist 722-1000
- 294 Cukier Arnold M dentist 792-6000
- Montag Barry M dentist 792-6000
- 302 Fenster & Windsor lwyr 792-7360
- 1300 Jacaranda Exon 581-2510
- 1333 First Federal Savings & Loan Assn Of Broward 791-8610
- 200 State Farm Insurance Companies 587-7070

516

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ZIP CODE 33312

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- 208 Currie Douglas E © 791-9299
- 211 Williston Floyd ©
- 216 Diego Gil ©
- 221 Holbein Fred W © 581-0589
- 224 Turco Jack © 791-2416
- 231 Cotner Wm E © 791-3676
- 232 Sebaugh John H © 581-7128
- 240 Thornton Joseph P © 583-8565
- 241 Shanks Lucile B Mrs © 583-8164
- 248 Ogden Wm E © 583-6071
- 251 Reid Contracting Co Inc sand blasting & pntg 581-1610
- Reid Alex © 581-1610
- 300 Wilson Johnny F © 587-5142
- 301 Galbreath Frank E © 581-0156
- 308 Shafer Leonard © 791-9337
- 311 Kozla Louis G © 581-5970
- 316 Hammond Gertrude Mrs © 791-8324
- 321 Eggleston Annette Mrs © 583-1708
- 324 Ostartag Harlan F © 587-2242
- 331 Price Norman M © 583-9469
- Price J L 584-7278
- 340 Poston Geo H © 581-6759
- 341 Gerand Orest © 791-8681
- 351 Head Michl W © 584-4077
- 360 Wilson James L © 583-0953
- 361 Winters M Chris © 791-7404
- 373 Head Edith M © 791-0632
- 378 La Rosa Frank J © 587-4712

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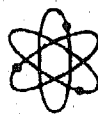
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1/2 Mile West of Federal Highway  
536-2646



572

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- 108c Kahn Carol 741-5755
- 109c Raybuck Kenneth L 741-1210
- 110c Culbertson Michl
- 111c Ford Rolland G 741-1435
- 112c\*Wood Rodney H 742-9840
- 201c Levy Norman 741-8261
- 202c Kohn Robt 741-1978
- 203c Transient
- 204c Starr Stanley 741-7851
- 205c Transient
- 206c\*Jackson Doris 741-0244
- 207c Transient
- 208c\*Sanchez Ileana 741-4541
- 209c Transient
- 210c Sosa Angela 741-2025
- 211c Transient
- 212c Leonhart Charles 741-6969

### ZIP CODE 33319

- 4925 Vacant
- 4927 Me & She Inc jewelers ret 742-8002
- 4929 Sportrends womens clo 741-8969
- 4931 K-Four Wide Width Shoes 741-0773
- 4933 Nova Carpet Inc ret 742-0557
- OFFICE BUILDING SUITES**
- 18c Hand Martin mus tchr (guitar & bass) 742-8106
- 20 American Cancer Society
- 24 Peirce R A Construction Inc 741-3404
- 18a Concordia Engineering Contractors contrg eng 742-8018
- 31 State Farm Ins 741-2170
- 13b Store Equipment Co fixtures 741-1108
- 32 George Harvey Music bands & orchestras 472-7232
- 20b Quality Business Brokers 742-6601
- 20a Taranco & Associates Anesthesiology Group P A 741-4272
- 18b Guoochy Maid & Janitorial Services 741-0600
- 22 Ark Associates sell paper prods whol 741-2038
- 4975a Lapidus Sol H Inc land development 741-1660
- 4983 Data-Bookkeeping 741-3366
- 4987 Los Maderas Shopping Plaza 741-3692
- 29 Vick Robt archt designer 741-0082
- 29 Russo Tania int designer-planner 741-0509
- 4991 Clock Restaurant 741-3309
- 5000 Crown Liquors 741-7070  
Royal Lounge 741-7070
- 5511 Wag's restr 741-8605
- 5556 Shelter The cocktail lounge 741-1300
- 5569 J's Hallmark Shop greeting cards 742-2273
- 5571 Toy Time toy shop 742-5093
- 5573 Super Sports Inc sports apparel 741-5739
- 5575 Canon Joan Inc clo ret 742-0555
- 5577 Real-Way Realty Inc 742-8000
- 5579 Command Performance beauty shop 742-2292
- 5581 Leisure World furn store 742-2444
- 5583 Jeannery The jeans & accessories 741-1999
- 5585 Universal Plaza shopping cntr  
Solomon Sam Co dept store 742-0770
- 5587 Gypsy's Botique gift shop 741-6511
- 5600 Atlantic Federal Savings & Loan Assn Of Ft L 721-0100
- 5609 Shoe Town shoe store 741-9518
- 5710 Denny's restr 721-7980
- 5714 Guzy Danl L chiro 722-4550
- 5716 Kessler Lawrence H optom 722-1340
- 5718 Trigg's restr 722-7110
- 5825 Steak Place restr 722-8380
- 6000 Summit Bank 721-4900

- 1 Biscayne Engineering Co plant survey & design 721-4400
- 2 Vacant
- 3 Nation Motor Club sls contracts serv co 722-3250
- 4 Vacant
- 6012 Golding Steph M acct 721-8230

## UNIVERSITY DR N (TAMARAC) FROM W COMMERCIAL BLVD NORTH

### ZIP CODE 33321

- 6400 Orange Tree Breakfast Lunch 722-2130
- 6402 Years Ahead Hair Studio 722-3220
- 6406 Leslie Florist Cards & Gifts 721-7020
- 6408 University Shops Dry Cleaners 721-6760
- 6410 K Audio T V sls & serv 722-0230
- 6412 Office Bldg SUITES
- 14 Vacant
- 101 Berg Joel A Insurance Inc 722-0260
- 102 Berg Joel A Ins Overflow (4 Suites 102-05)
- 106 Corbett Dennis Realty Inc
- 107 Marcus Maurice Import Export 721-7939
- 110 Vacant
- 111 Acorn Contractors Inc genl contrs 721-8400
- 112 P & M Air Conditioning & Refrigeration contrs 721-3110
- 119 Stefie Ann Sportswear clo-ret 722-0070
- 120 Action Electronic Systems burglar alarms 721-4360
- 121 Vacant
- 122 A B C Signs pntrs 741-4567
- 126 Accurate Bookkeeping Service Inc 722-4863
- 129 C G C Marketing Inc mkt research & analysis 722-8030
- 131 Shutterbug Photographers 486-3836
- 133 Ed's Carpet Cleaning 721-0549
- 6414 State Farm Ins 722-0920
- 6418 Pasha Appliances Inc reprs 721-0330
- 6418 Green Martin chiro 722-6050
- 6422 University Shoe Repair 722-1109
- 6424 Dixie Meats West meats ret 722-0010

- 7100 Family Mart Plaza  
Family Mart The gro 722-8605
- 7110 International Jewelry Exchange jwlrs
- 7140 Show Offs hairstylists
- 7201 University Community Hospital 721-2200
- 7301 University Medical Plaza West  
Tamarac Pharmacy 721-3600
- SUITE**
- 101 Feldman Mark podiatrist 721-5050
- 102 Vacant
- 104 Bernal Roland V phys 722-0990
- 105 Vacant
- 200 Spievogel Henry real est broker
- 201 Glaser Charles J phys 722-2300
- 202 Tamarac Answering Service 771-2900
- 204 Vacant
- 205 Ashworth James H pediatrician 722-0300
- 205 Caplan Joseph phys 722-0300
- 205 Litvak Baris pediatrician 722-0300
- 206 University Gynecology Associates 721-7100
- 207 Vacant
- 208 Scime Saml G ophthalmologist 721-8330
- 210 Streisand Warren J urologist 722-0150
- 301 Gun Isidoro phys 722-1020

- 302 Vacant
- 303 Schnirman Gilbert A urologist 722-2000
- 304 Vacant
- 306 Vacant
- 7401 Univ Med Plaza med bldg SUITES

- 1 Villalba Joss C phys 722-0220
- 6 Mishkin Michl S phys 722-0130
- 6 Richter Stanley E cardiologist 721-6200
- 102 Garvar Lanny R facial surgeon 721-7990
- 102 Stewart Stanley facial surgeon 721-7990
- 104 Vacant (3 Suites 104-08)
- 106 Frank Richd phys 722-2000
- 207 Nottingham Charles D dentist 721-6950
- 7550 All Saints Lutheran Church 721-3560
- 7601 Tamarac Elementary School 722-6400
- 7910 Tropical Garden Nursery 721-2720  
Distinctive Landscape Designs nurserymn 721-2720
- 8110 Sunflower Shopping Plaza
- 8112 Blue Dolphin Restaurant 722-2200
- 8114 Vacant
- 8118 Shapiro Jeffrey chiro 722-3920
- 8126 Sunburst Interiors Inc draperies 722-0270
- 8128 Marty's Meats & Deli Inc 722-2070
- 8130 First Sentry Real Est 722-8000
- 8134 Total Look Hair Stylists beauty shop 722-0520
- 8136 All Country Music instruments 722-3424
- 8138 Craft Care Inc art & craft 721-8870
- 8142 Hollywood Federal Savings & Loan Assn 722-1600
- 8146 Mary's Italian Restaurant & Pizza 722-3444
- 8150 Everglades Electric Supply Inc 722-5000
- 8154 G B C Travel travel agcy 722-5400
- 8164 Vacant
- 8174 Holiday Flooring carpet sls 722-6363
- 8182 A-One Hour Cleaners 721-9914
- 8186 Farm & Food Store Inc gro 721-4199
- 8291 University Amoco 722-0291
- 8299 Food Spot No 45 722-2860
- 8501 Carter's Don Tamarac Lanes bowling 722-2700

626

## UNIVERSITY DR NW (SUNRISE)—A CONTINUATION OF NW UNIVERSITY DR FROM SUNRISE CITY LIMIT NORTH

### ZIP CODE 33325

- 1800 University At Sunrise Exxon 473-5538
- 1801 Mayhue's Liquor Store 472-4141
- 1802 Mercedes Executive Park ofc bldg  
200 Schneider Hershohorn & Poole 473-6633
- 202 Life Insurance Co Of Virginia 472-6306
- Bell Steph M lwyrr 473-1600
- Kugell Karen lwyrr 473-1204
- Sherwood Stanley C lwyrr 473-2411
- Donna's Flowers 473-6666
- 1804 Lai Lai Restaurant 473-5534  
Studio One jwlry repr 472-1188  
Linen Tree The kitchen bath bedrm accessories 472-1330
- 1808 Diamond Martin J phys 473-5900  
Sachs Barrett E phys 473-5900
- 1810a Swimsuit Fcty (Overflow)
- 1811 Arby's Roast Beef Restaurant 472-5069
- 1812a Swimsuit Factory The clo-ret 473-4133
- 1814 Vacant
- 1814a Vacant

576







FORT LAUDERDALE, FL

UNIVERSITY DR N 33321 Contd TAMARAC

7421 UNIVERSITY PHYSICIANS PAVILLION Contd
Schneider R M MD FACC
Shilton A MD PA
Sibersweg Ronnie MLHC
Simkins Lance MD FACC
Sinclair Lawrence MD
Strelsand Warren J MD FACS DABU
Tanner D S DPM FAFCS
University Cardiology Consultants PA
Wakid Geo MD PA ABQA
Werner B M MD PA FACC
University Pavilion
Btman Stewart W MD
Carpenter Anne LCSW
Cherovny Daniel E MD
Diamond Kenneth L MD
GI Consultants Of N Broward PA
GI Consultants Of N Broward PA
Halpern Elias MD
Kaiman Alford MD
Kimmel Steven C MD PA
Oncology Hematology Assoc Of West Broward
Ronan Avai MD
Rosenberg Abraham MD
Ross Barry S MD
Sawhney Sumi MD
Schwarz Edward W MD
Stone Kevin E MD
Weinreb Neil J MD FACP PA
Weissberg Jeffrey I DO
Weiss Steven MD
Bello Augustine A DPM
DeSimone Alfred A MD
Fellon Patrick M DPM
Hass Andrew L MD
Moya Fernando MD
Scheinberg Robt H DPM
South Florida Inst Of Sports Medicine
Acevedo Carmen
Deutsch Edward S MD
Digestive Disease Associates PA
Digestive Disease Associates
Fuchs Scott M MD FACC
Katz Nicholas C MD
Schneider Jeffrey H MD
Sternthal Michl B MD
Digestive Disease Endoscopy Center
Digestive Disease Endo Center
Digestive Disease Endoscopy Center
Battancourt Oscar MD
Children's Medical Association PA
Lihak Boris I MD
Panson Laurence D
Panson Laurence D MD
Sirots Lisa J MD
Spout Gerald A MD
Stavitsky Mark MD
Tamarac Parks & Recreation
Tamarac Parks & Recreation Recreation Center
Tamarac City Of Fire Dept Parks & Rec Multi-Purpose Ctr
Tamarac City Of Parks & Recreation Multi-Purpose Center
Eltzman Seventh Day Adventist
BellSouth
Bullet Enterprises
Campoli Dennis
Fla Nutritional Ctr
Greenwave Mgt Sys Inc
H & S Major Appliances Service Inc
Hershorn Michael
Huggo George
Impenisi Fencio
Integrity Plus Home Inspections
Moses Plummer
Orkin Financial Services
Rosentbaum Martin S Atty
Royal Building Inspections

UNIVERSITY DR N 33321 Contd TAMARAC

Rubin A
Safelite Auto Glass
Shane Le Mar Entertainment
Simmons Robert
South Florida Paging
Tamarac Little League
Tollaksen
TBN Industries Inc
Warren Donald J
Schools Public
Tamarac Elem School
7650 MERRILL GARDENS AT TAMARAC
Alexander Benjamin
Alper Henry
Anzel H
Auerbach Irving
Barot Max
Berman Arnold
Berman Irving
Burke William
Burns Elizabeth
Callan Enos
Chasan Lee
Cohen E
Cohen Helen
Cook Carl
Coy Lopez
DiCristino Albert
Dority K M
Engelman A
Escott L
Fairman E
Friedman Mildred
Foreman M
Friedman Ilsa
Gershbein Harry
Gerson Mark
Gassner Betty
Goldberg Martin E
Goldberg Marjorie E
Goldberg William
Goldfarb William
Goldman Diane
Graf Jackie
Greenwald J S
Greenwald Jack
Hirschowitz F S
Hoch Tille
Kares Vera S
Klein W
Kleinberg Ida
Kramer Yetta
Krauss D M
Lancow F
Leichter Marion
Levin Nathan
Levine Pearl
Lippman Herbert
Lohman David
Mandy M
Marcin George S
Marken Mildred
Martin Avery D
Mayoff Ada
Mendelson Herbert
Mendelson Irving
Merrill Gardens At Tamarac
Michael Harold
Muenzier F
Murphy Diana
Nash Buehah Mrs
Palopai Frank
Panya T
Pearl David
Pevar David
Physical Therapy & Rehabilitation
Price J A
Psachie Eddy
Radin B J
Reiziss Norman
Ribak Dora
Ronnevig E J
Rosenkrantz H
Salvatore Anthony
Sandak Sol
Schleser Eva
Schwartz Alex J
Sheffield Plety J
Smith Bernard
Sobel Lewis C
Sobelman Esther
Sonsky Sam
Stam Mike
Sykes Herman T
Tabish I
Tenzer S Mrs
Tishman B
Velleux F
Weinberg Blanche
Wolf Marie
Zagarow David
7707-97 CENTRE AT WOODMONT
Ahmad Farida Z MD
Alegre Cesar A MD
Allied Clinical Labs
Avila Mario H MD FACS PA
Bender Kevin MD FACC

UNIVERSITY DR N 33321 Contd TAMARAC

7707-97 CENTRE AT WOODMONT Contd
Benjamin Michael MD FACOG
Braunstein Alan L PhD
Bumgardner & Assoc PA
Bumgardner Donna A
BSSI
Central Medical Group
Comprehensive Psychological & Psychiatric Services PA
O'Neil Thomas R DDS
Sanchez Gabriel MD
Sanco Management
Skincare By Karen
Warren Mary H PhD LCSW
Woodmont Eyewear Fashions
Zakdivar Luis R PhD
Adelson Harvey J DMD FAGD PA
Cantor Robyn K Esq attorney
Dental-Legal Advisors Inc
Fish Robt J DDS FAGD
Geotech Environml Inc
Glick Richard I atty
Hernandez Mabel MD PA
Hyman Amy Atty
Lewis Daniel J Esq attorney
Lewis Rhonda atty
Worthman Kenneth M DDS
Advanced Cosmetic Laser Center
Anesthesia Pain Care Consultants Inc
Bonis George C MD
Fox Ira MD
Kaltz Phyllis
Lasser Jay E MD
Ludwig Martin MSW
Messa Charles A III MD
Neurological Rehab Center
Nutrition Resars Inc
Ponratt Humberto MD
Rehab Team Spcists
Salaman Joel MD
Steinberg Janee MD
Steinberg Seth MD
Wachman Chiroprc Ctr
Amarral Chiroprc Ctr
Amarral Michelle Dr
Bayne Karin A Esq
Cane Steven DC PA
Cherry Robert DDS FAGD
Goodman S J DDS PA
Hensel Karin B Esq
Holzman Robert PA
Homko Judith A Atty
Homko Judith A Esq
Joseph Kelley A Atty
Kornblum Carl
Lankford Courtney Insurance Agency Inc
Neuchowicz Michael
Paradigm Application Solutions Inc
Pollock Richard C CPA
Property com Inc
Reinfeld Stuart G Esq Atty
Select Therapy & Rehabilitation Svcs
Springam Jos H DDS PA
State Farm Insurance Companies Agent
University Health Center PA
Vakharia CPA PA
Zimmerman E Ross atty
Zimmerman Joseph & Bayne PA
Abich Julian MD
Accounting To Go Inc
Century 21 Elite
Century 21 Elite
Elsayed M Hoary Dr MD PA
Florida First Financial Inc
Florida Kidney Ctrs
Markrob Depurment Services
Naucores Associates
Stefan Rosaly Inc
Strulowitz Buren & Co
Strulowitz Harold CPA

UNIVERSITY DR N 33321 Contd TAMARAC

Wilson & Levine CPA
Tamarac Haircuts
21st Century Crockery Components
Kramer And Levine Insurance
Law Offices Of Stuart R Morris PA
Linda Max Inc
Manatee Mortgage Corp
Rosen James L CPA
Southeast Mortgage
Taylan Aris A & Company CPA
Blum & Blum CPAs
Blum Stuart R CPA
C Squared Ctr
Egobal Media Com
Executive Career Strategies Inc
Herna Lending
Hoffman Offices Of Gordon Schwab
Oakland Mortgage Center
Tropic Plants
Socilio Blara
McMillan & Joyce CPA PA
Business Advantage Group
Cleaning Mgt Systems
Farbstein David R
J P Marketing Group
Lettman Robert D PA
Rabin Bruce D CLU ChFC Insurance
Southern Cross Home Health Inc
CitiFinancial
CitiFinancial
CitiFinancial
Cytrn Dan Irving Law Offices
Cytrn Can Irving PA
Demeo Ronald MD
Film The Bible Ministries
First Federated Funding
Nicossia & Assoc PA
Safeguard Health Systems
Wolfe Beth Helen atty
Sholokan Karate Dojo
J B Locals Spoorstou
8112-82 SUNFLOWER SHOPPING PLAZA (Even Nos)
Chiropractic Center
Sunflower Chiropractic Center
Wolff Stephen C DC
Cynthia's Fine Fabrics & Nations Inc
Cd Hems
ERA Hms Realty
Bowman Richardson & Tynan Pic Esq Atty
Eisele Ingeborg
Jackson Kendrick
Kirkallus Julie A
Mahaffee Stephen
Madina Doris
Metellus Rachel
Riversa Ron
Rodrquez Salvador
Rogers William
Southard J
Torres Jeanette
Everglades Elic Supl
Alvarez Flavio S
Delapiani Carlos
Fountain A W
Gonzalez Felipe
Muller Lou
Nameroff Jason
Oloya Oswaldo J
Polansky
Tolentino Roberto
Welden Donn
Wheaton Michael
Yehye Doran
University Club Apts

2002

UNIVER TAMARAC 8173



**APPENDIX G**  
**ENVIRONMENTAL DATABASE SEARCH REPORT**

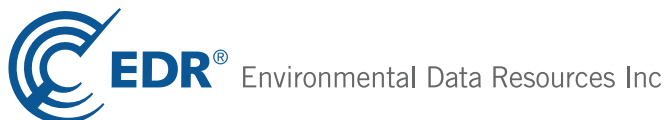


**The Palms**

7700 N. University Drive  
Fort Lauderdale, FL 33321

Inquiry Number: 3332188.1s  
May 29, 2012

**The EDR Radius Map™ Report with GeoCheck®**



440 Wheelers Farms Road  
Milford, CT 06461  
Toll Free: 800.352.0050  
[www.edrnet.com](http://www.edrnet.com)

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***Thank you for your business.***  
Please contact EDR at 1-800-352-0050  
with any questions or comments.

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## EXECUTIVE SUMMARY

A search of available environmental records was conducted by Environmental Data Resources, Inc (EDR). The report was designed to assist parties seeking to meet the search requirements of EPA's Standards and Practices for All Appropriate Inquiries (40 CFR Part 312), the ASTM Standard Practice for Environmental Site Assessments (E 1527-05) or custom requirements developed for the evaluation of environmental risk associated with a parcel of real estate.

### TARGET PROPERTY INFORMATION

#### ADDRESS

7700 N. UNIVERSITY DRIVE  
FORT LAUDERDALE, FL 33321

#### COORDINATES

Latitude (North): 26.2178000 - 26° 13' 4.08"  
Longitude (West): 80.2520000 - 80° 15' 7.20"  
Universal Transverse Mercator: Zone 17  
UTM X (Meters): 574722.2  
UTM Y (Meters): 2899856.0  
Elevation: 6 ft. above sea level

### USGS TOPOGRAPHIC MAP ASSOCIATED WITH TARGET PROPERTY

Target Property Map: 26080-B3 COOPER CITY NE, FL  
Most Recent Revision: 1983  
  
East Map: 26080-B2 FORT LAUDERDALE NORTH, FL  
Most Recent Revision: 1995

### AERIAL PHOTOGRAPHY IN THIS REPORT

Photo Year: 2010  
Source: USDA

### TARGET PROPERTY SEARCH RESULTS

The target property was identified in the following records. For more information on this property see page 7 of the attached EDR Radius Map report:

<u>Site</u>	<u>Database(s)</u>	<u>EPA ID</u>
UNIVERSITY MEDICAL CAMPUS 7700 N UNIVERSITY DR TAMARAC, FL 33321	FINDS	N/A
UNIVERSITY MEDICAL CAMPUS 7700 N UNIVERSITY DR TAMARAC, FL	NPDES	N/A

# EXECUTIVE SUMMARY

## **DATABASES WITH NO MAPPED SITES**

No mapped sites were found in EDR's search of available ("reasonably ascertainable ") government records either on the target property or within the search radius around the target property for the following databases:

## **STANDARD ENVIRONMENTAL RECORDS**

### ***Federal NPL site list***

NPL..... National Priority List  
Proposed NPL..... Proposed National Priority List Sites  
NPL LIENS..... Federal Superfund Liens

### ***Federal Delisted NPL site list***

Delisted NPL..... National Priority List Deletions

### ***Federal CERCLIS list***

CERCLIS..... Comprehensive Environmental Response, Compensation, and Liability Information System  
FEDERAL FACILITY..... Federal Facility Site Information listing

### ***Federal CERCLIS NFRAP site List***

CERC-NFRAP..... CERCLIS No Further Remedial Action Planned

### ***Federal RCRA CORRACTS facilities list***

CORRACTS..... Corrective Action Report

### ***Federal RCRA non-CORRACTS TSD facilities list***

RCRA-TSDF..... RCRA - Treatment, Storage and Disposal

### ***Federal RCRA generators list***

RCRA-LQG..... RCRA - Large Quantity Generators  
RCRA-SQG..... RCRA - Small Quantity Generators  
RCRA-CESQG..... RCRA - Conditionally Exempt Small Quantity Generator

### ***Federal institutional controls / engineering controls registries***

US ENG CONTROLS..... Engineering Controls Sites List  
US INST CONTROL..... Sites with Institutional Controls

### ***Federal ERNS list***

ERNS..... Emergency Response Notification System

### ***State- and tribal - equivalent CERCLIS***

SHWS..... Florida's State-Funded Action Sites

## EXECUTIVE SUMMARY

### **State and tribal landfill and/or solid waste disposal site lists**

SWF/LF..... Solid Waste Facility Database

### **State and tribal leaking storage tank lists**

LUST..... Petroleum Contamination Detail Report  
LAST..... Leaking Aboveground Storage Tank Listing  
INDIAN LUST..... Leaking Underground Storage Tanks on Indian Land

### **State and tribal registered storage tank lists**

INDIAN UST..... Underground Storage Tanks on Indian Land  
FF TANKS..... Federal Facilities Listing  
FEMA UST..... Underground Storage Tank Listing

### **State and tribal institutional control / engineering control registries**

ENG CONTROLS..... Institutional Controls Registry  
INST CONTROL..... Institutional Controls Registry

### **State and tribal voluntary cleanup sites**

VCP..... Voluntary Cleanup Sites  
INDIAN VCP..... Voluntary Cleanup Priority Listing

### **State and tribal Brownfields sites**

BROWNFIELDS..... Brownfield Areas

### **ADDITIONAL ENVIRONMENTAL RECORDS**

#### **Local Brownfield lists**

US BROWNFIELDS..... A Listing of Brownfields Sites

#### **Local Lists of Landfill / Solid Waste Disposal Sites**

ODI..... Open Dump Inventory  
DEBRIS REGION 9..... Torres Martinez Reservation Illegal Dump Site Locations  
SWRCY..... Recycling Centers  
INDIAN ODI..... Report on the Status of Open Dumps on Indian Lands

#### **Local Lists of Hazardous waste / Contaminated Sites**

US CDL..... Clandestine Drug Labs  
FI Sites..... Sites List  
US HIST CDL..... National Clandestine Laboratory Register

#### **Local Land Records**

LIENS 2..... CERCLA Lien Information  
LUCIS..... Land Use Control Information System



## EXECUTIVE SUMMARY

### **Records of Emergency Release Reports**

HMIRS..... Hazardous Materials Information Reporting System  
SPILLS..... Oil and Hazardous Materials Incidents

### **Other Ascertainable Records**

RCRA-NonGen..... RCRA - Non Generators  
DOT OPS..... Incident and Accident Data  
DOD..... Department of Defense Sites  
FUDS..... Formerly Used Defense Sites  
CONSENT..... Superfund (CERCLA) Consent Decrees  
ROD..... Records Of Decision  
UMTRA..... Uranium Mill Tailings Sites  
MINES..... Mines Master Index File  
TRIS..... Toxic Chemical Release Inventory System  
TSCA..... Toxic Substances Control Act  
FTTS..... FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)  
HIST FTTS..... FIFRA/TSCA Tracking System Administrative Case Listing  
SSTS..... Section 7 Tracking Systems  
ICIS..... Integrated Compliance Information System  
PADS..... PCB Activity Database System  
MLTS..... Material Licensing Tracking System  
RADINFO..... Radiation Information Database  
RAATS..... RCRA Administrative Action Tracking System  
UIC..... Underground Injection Wells Database Listing  
DRYCLEANERS..... Drycleaning Facilities  
DEDB..... Ethylene Dibromide Database Results  
AIRS..... Permitted Facilities Listing  
BROWARD CO. NOV..... Notice Of Violations Sites  
TIER 2..... Tier 2 Facility Listing  
FL Cattle Dip. Vats..... Cattle Dipping Vats  
INDIAN RESERV..... Indian Reservations  
SCRD DRYCLEANERS..... State Coalition for Remediation of Drycleaners Listing  
FINANCIAL ASSURANCE..... Financial Assurance Information Listing  
COAL ASH DOE..... Sleam-Electric Plan Operation Data  
EPA WATCH LIST..... EPA WATCH LIST  
COAL ASH EPA..... Coal Combustion Residues Surface Impoundments List  
PCB TRANSFORMER..... PCB Transformer Registration Database

### **EDR PROPRIETARY RECORDS**

#### ***EDR Proprietary Records***

Manufactured Gas Plants..... EDR Proprietary Manufactured Gas Plants  
EDR Historical Auto Stations... EDR Proprietary Historic Gas Stations  
EDR Historical Cleaners..... EDR Proprietary Historic Dry Cleaners

### **SURROUNDING SITES: SEARCH RESULTS**

Surrounding sites were identified in the following databases.

## EXECUTIVE SUMMARY

Elevations have been determined from the USGS Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified. Sites with an elevation equal to or higher than the target property have been differentiated below from sites with an elevation lower than the target property.

Page numbers and map identification numbers refer to the EDR Radius Map report where detailed data on individual sites can be reviewed.

Sites listed in ***bold italics*** are in multiple databases.

Unmappable (orphan) sites are not considered in the foregoing analysis.

### STANDARD ENVIRONMENTAL RECORDS

#### ***State and tribal registered storage tank lists***

UST: The Underground Storage Tank database contains registered USTs. Shortly after the September 11 event, the DEP was instructed to remove the detail about some of the storage tank facilities in the state from their reports. Federal-owned facilities and bulk storage facilities are included in that set.

A review of the UST list, as provided by EDR, and dated 01/05/2012 has revealed that there are 2 UST sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b><i>B S T-TAMARAC E-8438 AT&amp;T</i></b>	<b><i>7600 N UNIVERSITY DR</i></b>	<b><i>S 1/8 - 1/4 (0.180 mi.)</i></b>	<b><i>B4</i></b>	<b><i>8</i></b>
<b><i>SOUTHERN BELL-TAMARAC E8438</i></b>	<b><i>7600 UNIVERSITY DR</i></b>	<b><i>S 1/8 - 1/4 (0.183 mi.)</i></b>	<b><i>B5</i></b>	<b><i>8</i></b>

AST: Shortly after the Sept 11 event, the DEP was instructed to remove the detail about some of the storage tank facilities in the state from their reports. Federal-owned facilities and bulk storage facilities are included in that set.

A review of the AST list, as provided by EDR, and dated 01/05/2012 has revealed that there are 2 AST sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b><i>B S T-TAMARAC E-8438 AT&amp;T</i></b>	<b><i>7600 N UNIVERSITY DR</i></b>	<b><i>S 1/8 - 1/4 (0.180 mi.)</i></b>	<b><i>B3</i></b>	<b><i>8</i></b>
<b><i>SOUTHERN BELL-TAMARAC E8438</i></b>	<b><i>7600 UNIVERSITY DR</i></b>	<b><i>S 1/8 - 1/4 (0.183 mi.)</i></b>	<b><i>B5</i></b>	<b><i>8</i></b>

### ADDITIONAL ENVIRONMENTAL RECORDS

#### ***Local Lists of Hazardous waste / Contaminated Sites***

Florida Priority Cleaners list comes from the Department of Environmental Protection.

A review of the PRIORITYCLEANERS list, as provided by EDR, and dated 01/31/2012 has revealed that there is 1 PRIORITYCLEANERS site within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b><i>A 1 CLEANERS</i></b>	<b><i>8182 N UNIVERSITY DR</i></b>	<b><i>N 1/4 - 1/2 (0.372 mi.)</i></b>	<b><i>8</i></b>	<b><i>14</i></b>

## EXECUTIVE SUMMARY

### ***Other Ascertainable Records***

Broward Co. EDIEAR: Broward County Ediear.

A review of the Broward Co. EDIEAR list, as provided by EDR, and dated 03/05/2012 has revealed that there is 1 Broward Co. EDIEAR site within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b><i>A 1 CLEANERS</i></b>	<b><i>8182 N UNIVERSITY DR</i></b>	<b><i>N 1/4 - 1/2 (0.372 mi.)</i></b>	<b><i>8</i></b>	<b><i>14</i></b>

HM Sites use or store greater than 25 Gallons of hazardous materials per month.

A review of the BROWARD CO. HM list, as provided by EDR, and dated 03/14/2012 has revealed that there are 3 BROWARD CO. HM sites within approximately 0.25 miles of the target property.

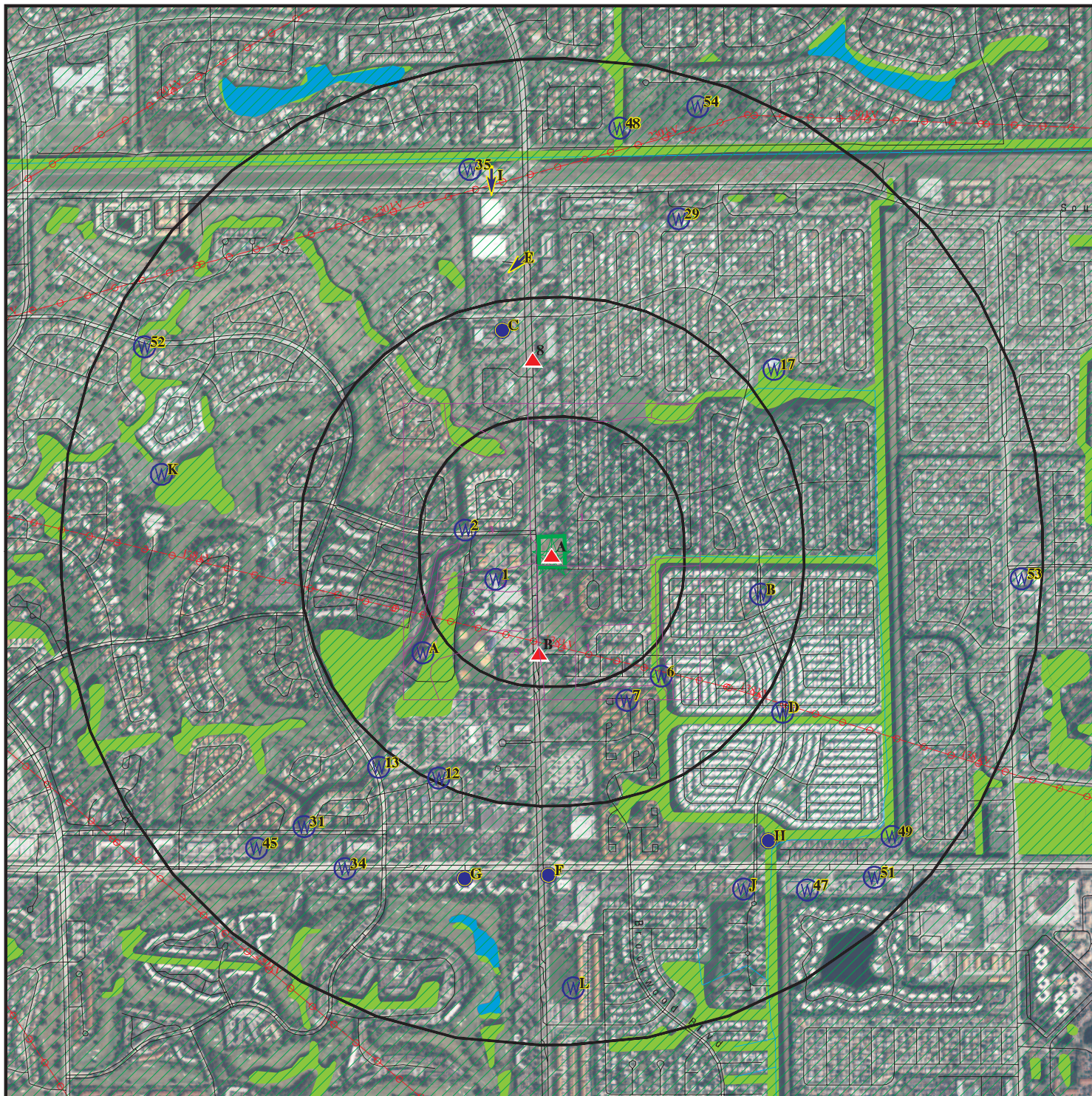
<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b><i>B S T-TAMARAC E-8438 AT&amp;T</i></b>	<b><i>7600 N UNIVERSITY DR</i></b>	<b><i>S 1/8 - 1/4 (0.180 mi.)</i></b>	<b><i>B4</i></b>	<b><i>8</i></b>
<b><i>SPRINT NEXTEL FL 3675-WOODMONT</i></b>	<b><i>7501 N UNIVERSITY DR</i></b>	<b><i>S 1/8 - 1/4 (0.206 mi.)</i></b>	<b><i>B6</i></b>	<b><i>14</i></b>
<b><i>DIGESTIVE DISEASE ENDOSCOPY CE</i></b>	<b><i>7481 N UNIVERSITY DR</i></b>	<b><i>S 1/8 - 1/4 (0.211 mi.)</i></b>	<b><i>B7</i></b>	<b><i>14</i></b>

## EXECUTIVE SUMMARY

Due to poor or inadequate address information, the following sites were not mapped. Count: 11 records.

<u>Site Name</u>	<u>Database(s)</u>
OCEAN PALMS	UIC
SFWMD S-124 DEBRIS SITE	SWF/LF
BROWARD CO.SOUTH RESOURCE RECOVERY	SWF/LF, FINANCIAL ASSURANCE
PORT EVERGLADES DISPOSAL SITE	SWF/LF
SFWMD- WEEKLY EX-ASPHALT PLANT DEB	SWF/LF
PLANTATION TRASH DUMP 2	SWF/LF
MOTIVA TANKER TRUCK SPILL	UST
JET STAR ROAD SPILL	UST
FL DEPT OF TRANSPORTATION-ROW	UST
PUBLIX STORE #1311	AST
THE PALMS MEDICAL CAMPUS	FINDS

# OVERVIEW MAP - 3332188.1s



Target Property

Sites at elevations higher than or equal to the target property

Sites at elevations lower than the target property

Manufactured Gas Plants

National Priority List Sites

Dept. Defense Sites

Indian Reservations BIA

Power transmission lines

Oil & Gas pipelines from USGS

100-year flood zone

500-year flood zone

National Wetland Inventory

State Wetlands

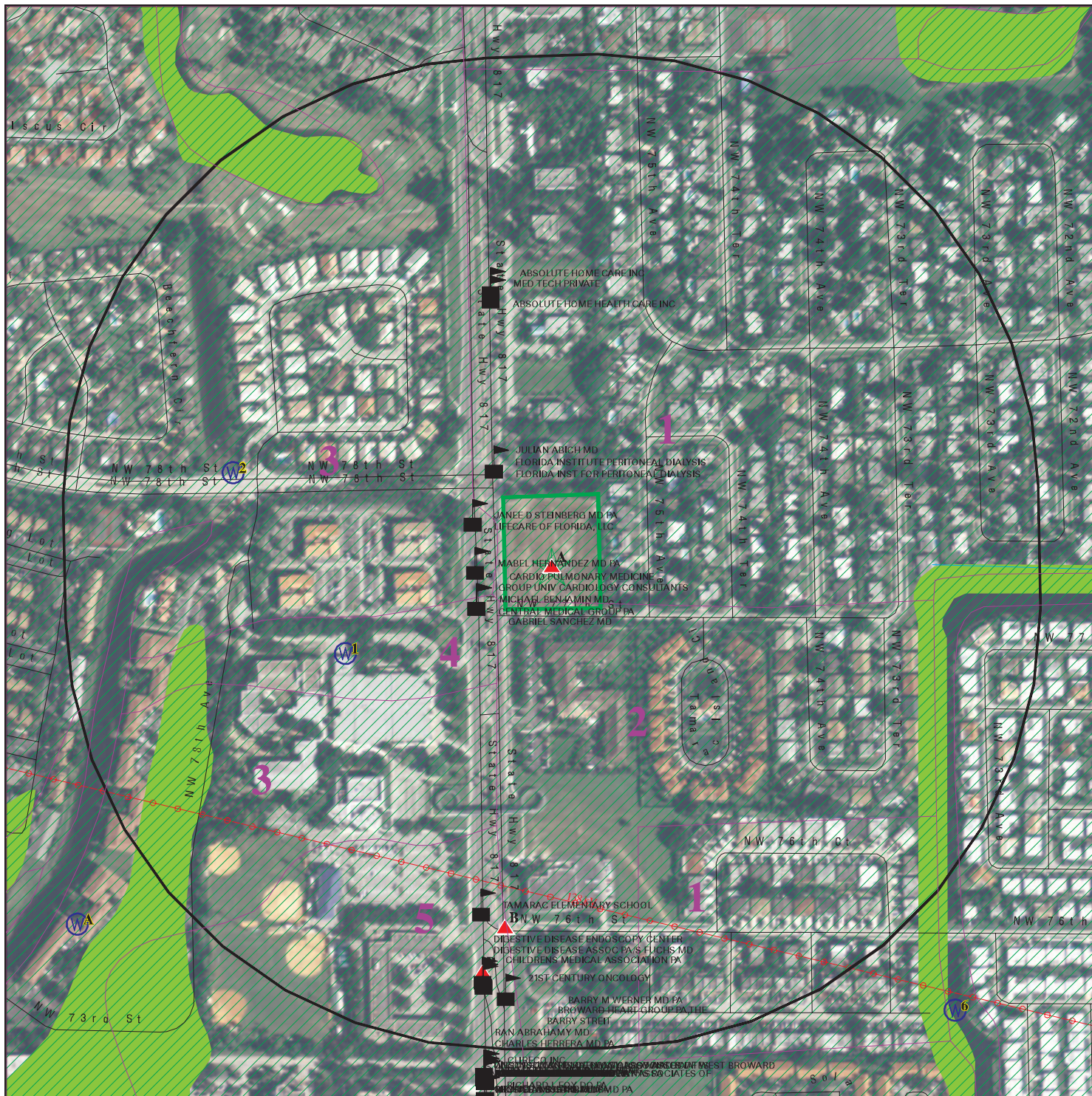
FL Brownfield








This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

SITE NAME: The Palms  
 ADDRESS: 7700 N. University Drive  
 Fort Lauderdale FL 33321  
 LAT/LONG: 26.2178 / 80.252

CLIENT: EE&G Environmental Services, LLC  
 CONTACT: Nydia Carrasquillo  
 INQUIRY #: 3332188.1s  
 DATE: May 29, 2012 12:33 pm

# DETAIL MAP - 3332188.1s



-  Target Property
-  Sites at elevations higher than or equal to the target property
-  Sites at elevations lower than the target property
-  Manufactured Gas Plants
-  Sensitive Receptors
-  National Priority List Sites
-  Dept. Defense Sites

-  Indian Reservations BIA
-  Power transmission lines
-  Oil & Gas pipelines from USGS
-  100-year flood zone
-  500-year flood zone
-  National Wetland Inventory
-  State Wetlands

 FL Brownfield

This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

SITE NAME: The Palms  
 ADDRESS: 7700 N. University Drive  
 Fort Lauderdale FL 33321  
 LAT/LONG: 26.2178 / 80.252

CLIENT: EE&G Environmental Services, LLC  
 CONTACT: Nydia Carrasquillo  
 INQUIRY #: 3332188.1s  
 DATE: May 29, 2012 12:34 pm

## MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
<b>STANDARD ENVIRONMENTAL RECORDS</b>								
<b><i>Federal NPL site list</i></b>								
NPL	1.000		0	0	0	0	NR	0
Proposed NPL	1.000		0	0	0	0	NR	0
NPL LIENS	TP		NR	NR	NR	NR	NR	0
<b><i>Federal Delisted NPL site list</i></b>								
Delisted NPL	1.000		0	0	0	0	NR	0
<b><i>Federal CERCLIS list</i></b>								
CERCLIS	0.500		0	0	0	NR	NR	0
FEDERAL FACILITY	1.000		0	0	0	0	NR	0
<b><i>Federal CERCLIS NFRAP site List</i></b>								
CERC-NFRAP	0.500		0	0	0	NR	NR	0
<b><i>Federal RCRA CORRACTS facilities list</i></b>								
CORRACTS	1.000		0	0	0	0	NR	0
<b><i>Federal RCRA non-CORRACTS TSD facilities list</i></b>								
RCRA-TSDF	0.500		0	0	0	NR	NR	0
<b><i>Federal RCRA generators list</i></b>								
RCRA-LQG	0.250		0	0	NR	NR	NR	0
RCRA-SQG	0.250		0	0	NR	NR	NR	0
RCRA-CESQG	0.250		0	0	NR	NR	NR	0
<b><i>Federal institutional controls / engineering controls registries</i></b>								
US ENG CONTROLS	0.500		0	0	0	NR	NR	0
US INST CONTROL	0.500		0	0	0	NR	NR	0
<b><i>Federal ERNS list</i></b>								
ERNS	TP		NR	NR	NR	NR	NR	0
<b><i>State- and tribal - equivalent CERCLIS</i></b>								
SHWS	1.000		0	0	0	0	NR	0
<b><i>State and tribal landfill and/or solid waste disposal site lists</i></b>								
SWF/LF	0.500		0	0	0	NR	NR	0
<b><i>State and tribal leaking storage tank lists</i></b>								
LUST	0.500		0	0	0	NR	NR	0
LAST	0.500		0	0	0	NR	NR	0
INDIAN LUST	0.500		0	0	0	NR	NR	0
<b><i>State and tribal registered storage tank lists</i></b>								
UST	0.250		0	2	NR	NR	NR	2

## MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
AST	0.250		0	2	NR	NR	NR	2
INDIAN UST	0.250		0	0	NR	NR	NR	0
FF TANKS	0.250		0	0	NR	NR	NR	0
FEMA UST	0.250		0	0	NR	NR	NR	0
<b>State and tribal institutional control / engineering control registries</b>								
ENG CONTROLS	0.500		0	0	0	NR	NR	0
INST CONTROL	0.500		0	0	0	NR	NR	0
<b>State and tribal voluntary cleanup sites</b>								
VCP	0.500		0	0	0	NR	NR	0
INDIAN VCP	0.500		0	0	0	NR	NR	0
<b>State and tribal Brownfields sites</b>								
BROWNFIELDS	0.500		0	0	0	NR	NR	0
<b>ADDITIONAL ENVIRONMENTAL RECORDS</b>								
<b>Local Brownfield lists</b>								
US BROWNFIELDS	0.500		0	0	0	NR	NR	0
<b>Local Lists of Landfill / Solid Waste Disposal Sites</b>								
ODI	0.500		0	0	0	NR	NR	0
DEBRIS REGION 9	0.500		0	0	0	NR	NR	0
SWRCY	0.500		0	0	0	NR	NR	0
INDIAN ODI	0.500		0	0	0	NR	NR	0
<b>Local Lists of Hazardous waste / Contaminated Sites</b>								
US CDL	TP		NR	NR	NR	NR	NR	0
FI Sites	1.000		0	0	0	0	NR	0
PRIORITYCLEANERS	0.500		0	0	1	NR	NR	1
US HIST CDL	TP		NR	NR	NR	NR	NR	0
<b>Local Land Records</b>								
LIENS 2	TP		NR	NR	NR	NR	NR	0
LUCIS	0.500		0	0	0	NR	NR	0
<b>Records of Emergency Release Reports</b>								
HMIRS	TP		NR	NR	NR	NR	NR	0
SPILLS	TP		NR	NR	NR	NR	NR	0
<b>Other Ascertainable Records</b>								
RCRA-NonGen	0.250		0	0	NR	NR	NR	0
DOT OPS	TP		NR	NR	NR	NR	NR	0
DOD	1.000		0	0	0	0	NR	0
FUDS	1.000		0	0	0	0	NR	0
CONSENT	1.000		0	0	0	0	NR	0



## MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
ROD	1.000		0	0	0	0	NR	0
UMTRA	0.500		0	0	0	NR	NR	0
MINES	0.250		0	0	NR	NR	NR	0
TRIS	TP		NR	NR	NR	NR	NR	0
TSCA	TP		NR	NR	NR	NR	NR	0
FTTS	TP		NR	NR	NR	NR	NR	0
HIST FTTS	TP		NR	NR	NR	NR	NR	0
SSTS	TP		NR	NR	NR	NR	NR	0
ICIS	TP		NR	NR	NR	NR	NR	0
PADS	TP		NR	NR	NR	NR	NR	0
MLTS	TP		NR	NR	NR	NR	NR	0
RADINFO	TP		NR	NR	NR	NR	NR	0
FINDS	TP	1	NR	NR	NR	NR	NR	1
RAATS	TP		NR	NR	NR	NR	NR	0
Broward Co. EDIEAR	0.500		0	0	1	NR	NR	1
UIC	TP		NR	NR	NR	NR	NR	0
DRYCLEANERS	0.250		0	0	NR	NR	NR	0
DEDB	0.500		0	0	0	NR	NR	0
BROWARD CO. HM	0.250		0	3	NR	NR	NR	3
NPDES	TP	1	NR	NR	NR	NR	NR	1
AIRS	TP		NR	NR	NR	NR	NR	0
BROWARD CO. NOV	0.250		0	0	NR	NR	NR	0
TIER 2	TP		NR	NR	NR	NR	NR	0
FL Cattle Dip. Vats	0.500		0	0	0	NR	NR	0
INDIAN RESERV	1.000		0	0	0	0	NR	0
SCRD DRYCLEANERS	0.500		0	0	0	NR	NR	0
FINANCIAL ASSURANCE	TP		NR	NR	NR	NR	NR	0
COAL ASH DOE	TP		NR	NR	NR	NR	NR	0
EPA WATCH LIST	TP		NR	NR	NR	NR	NR	0
COAL ASH EPA	0.500		0	0	0	NR	NR	0
PCB TRANSFORMER	TP		NR	NR	NR	NR	NR	0

### EDR PROPRIETARY RECORDS

#### *EDR Proprietary Records*

Manufactured Gas Plants	1.000		0	0	0	0	NR	0
EDR Historical Auto Stations	0.250		0	0	NR	NR	NR	0
EDR Historical Cleaners	0.250		0	0	NR	NR	NR	0

#### NOTES:

TP = Target Property

NR = Not Requested at this Search Distance

Sites may be listed in more than one database

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**A1**            **UNIVERSITY MEDICAL CAMPUS**  
**Target**        **7700 N UNIVERSITY DR**  
**Property**      **TAMARAC, FL 33321**

**FINDS**      **1011427063**  
                 **N/A**

**Site 1 of 2 in cluster A**

**Actual:**  
**6 ft.**

FINDS:

Registry ID:                      110035530967

Environmental Interest/Information System  
Florida Environmental System Today Application (FIESTA) Data  
Maintenance (FDM) system maintains entity, environmental interest and  
affiliation data for the State of Florida.

**A2**            **UNIVERSITY MEDICAL CAMPUS**  
**Target**        **7700 N UNIVERSITY DR**  
**Property**      **TAMARAC, FL**

**NPDES**      **S108517082**  
                 **N/A**

**Site 2 of 2 in cluster A**

**Actual:**  
**6 ft.**

WASTEWATER:

District Office:                      TLST  
Facility ID:                              FLR10ER03  
NPDES Permitted Site:                Not reported  
Environmental Interest:                Not reported  
Facility Type:                            Construction Stormwater GP  
Status:                                    Active - Existing, permitted facility/site for which effluent,  
reclaimed water or wastewater residual discharge into the environment  
and/or monitoring is taking place.

Facility Address:                      Not reported  
Owner Type:                              Private  
Permit Capacity:                        Not reported  
Party Name:                              Not reported  
Company Name:                         Not reported  
RP Address:                               Not reported  
RP Address 2:                            Not reported  
PR City,Stat,Zip:                       Not reported  
Telephone:                               Not reported  
Email:                                      Not reported  
Issue Date:                               Not reported  
Expiration Date:                         Not reported  
DOC Description:                        Not reported  
Latitude Degrees:                        80  
Latitude Minutes:                        13  
Latitude Seconds:                        3  
Longitude Degrees:                       26  
Longitude Minutes:                       15  
Longitude Seconds:                       9  
Treatment:                                Not reported

MAP FINDINGS

Map ID  
 Direction  
 Distance  
 Elevation

Site

Database(s)

EDR ID Number  
 EPA ID Number

**B3** **B S T-TAMARAC E-8438 AT&T** **AST** **A100290434**  
**South** **7600 N UNIVERSITY DR** **N/A**  
**1/8-1/4** **TAMARAC, FL 33321**  
**0.180 mi.**  
**953 ft.** **Site 1 of 5 in cluster B**

**Relative:** BROWARD CO AST:  
**Higher** Facility ID: 01736  
 Storage Tank ID: 01736-01  
**Actual:** Tank Status: U. In-Service  
**8 ft.** Inatallation Date: 11/04/1997  
 Tank Size: 3000  
 DEP Site ID: 068734213  
 Tank Construction: C. Steel  
 Tank Content: G. Diesel; Emergency Generator  
 Location: Above ground  
 Alternate Location: Not reported

**B4** **B S T-TAMARAC E-8438 AT&T** **UST** **U003657734**  
**South** **7600 N UNIVERSITY DR** **BROWARD CO. HM** **N/A**  
**1/8-1/4** **TAMARAC, FL 33321**  
**0.180 mi.**  
**953 ft.** **Site 2 of 5 in cluster B**

**Relative:** UST:  
**Higher** DEP Site Id: 068734213  
 Facility ID: 01736  
**Actual:** Storage Tank #: 01736-02  
**8 ft.** Tank Construction: F. Fiberglass-clad steel  
 Tank Size: 3000  
 Tank Type: Underground  
 Tank Status: B. Removed From Site  
 Tank Contents: G. Diesel; Emergency Generator  
 Install Date: 01/01/1985  
 Alt Location: Not reported

BROWARD CO. HM:  
 Facility ID: 01736  
 Alt Location: Not reported

**B5** **SOUTHERN BELL-TAMARAC E8438** **UST** **U002220528**  
**South** **7600 UNIVERSITY DR** **AST** **N/A**  
**1/8-1/4** **TAMARAC, FL 33060** **FINANCIAL ASSURANCE**  
**0.183 mi.**  
**965 ft.** **Site 3 of 5 in cluster B**

**Relative:** UST:  
**Higher** Facility Id: 8734213  
 Facility Phone: (305) 826-8731  
**Actual:** Facility Status: OPEN  
**8 ft.** Type Description: Fuel user/Non-retail  
 Lat/Long (dms): 26 12 53 / 80 15 8  
 Positioning Method: AGPS  
 Region: STATE  
 RN: 1

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SOUTHERN BELL-TAMARAC E8438 (Continued)**

**U002220528**

Owner:

Facility Id: 8734213  
Owner Id: 26036  
Owner Name: BELLSOUTH TELECOMMUNICATIONS INC  
Owner Address: 308 S AKARD ST #1700  
Owner Address 2: ATTN: PAUL ORR  
Owner City,St,Zip: DALLAS, TX 75202  
Owner Contact: PAUL ORR | SE REGION TANK MGR (800-566-9347)  
Owner Phone: (770) 967-4549

Tank Info:

Facility ID: 8734213  
Tank Id: 1  
Type Description: Fuel user/Non-retail  
DEP Contractor: No  
Tank Id: 1  
Tank Location: UNDERGROUND  
Substance: Diesel-emergen generator  
Content Description: Emerg Generator Diesel  
Vessel Indicator: TANK  
Gallons: 3000  
Install Date: 01-JAN-1971  
Status: Removed  
Status Date: 01-OCT-1997

Construction:

Construction Category: Not reported  
Construction Description: Not reported

Monitoring:

Monitoring Description: Not reported

Piping:

Piping Category: Not reported  
Piping Description: Not reported

AST:

Facility ID: 8734213  
Facility Phone: (305) 826-8731  
Facility Status: OPEN  
Type Description: Fuel user/Non-retail  
DEP Contrctr Own: No  
Lat/Long (dms): 26 12 53 / 80 15 8  
Positioning Method: AGPS  
Region: STATE

Owner:

Facility Id: 8734213  
Owner Id: 26036  
Owner Name: BELLSOUTH TELECOMMUNICATIONS INC  
Owner Address: 308 S AKARD ST #1700  
Owner Address 2: ATTN: PAUL ORR  
Owner City,St,Zip: DALLAS, TX 75202

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SOUTHERN BELL-TAMARAC E8438 (Continued)**

**U002220528**

Owner Contact: PAUL ORR | SE REGION TANK MGR (800-566-9347)  
Owner Phone: (770) 967-4549

Tank Id: 2  
Gallons: 3000  
Tank Location: ABOVEGROUND  
Substance: Diesel-emergen generator  
Content Description: Emerg Generator Diesel  
Install Date: 01-NOV-1997  
Status: In service  
Status Date: In service

Construction:

Construction Category: Primary Construction  
Construction Description: Steel

Construction Category: Secondary Containment  
Construction Description: AST containment

Construction Category: Overfill/Spill  
Construction Description: Spill containment bucket

Construction Category: Overfill/Spill  
Construction Description: Tight fill

Construction Category: Primary Construction  
Construction Description: Concrete

Monitoring:

Monitoring Description: Monitor dbl wall tank space

Monitoring Description: Automatic tank gauging - USTs

Monitoring Description: Not required

Piping:

Piping Category: Secondary Containment  
Piping Description: Pipe trench liner

Piping Category: Miscellaneous Attributes  
Piping Description: Suction piping system

Piping Category: Primary Construction  
Piping Description: Steel/galvanized metal

Piping Category: Miscellaneous Attributes  
Piping Description: Abv, no soil contact

FL FINANCIAL ASSURANCE 3:

Region: 3  
Facility ID: 8734213  
Facility Phone: (305) 826-8731  
Facility Status: OPEN  
Facility Type: C  
Type Description: Fuel user/Non-retail

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SOUTHERN BELL-TAMARAC E8438 (Continued)**

**U002220528**

DEP CO: N  
Financial Responsibility: SELF-INSURANCE - LETTER FROM CHIEF FINANCIAL OFFIC  
Insurance Company: Not reported  
Effective Date: 30-APR-2008  
Expire Date: 30-APR-2009  
Owner ID: 26036  
Owner Name: BELLSOUTH TELECOMMUNICATIONS INC  
Owner Address: 308 S AKARD ST #1700  
Owner Address2: ATTN: PAUL ORR  
Owner City,St,Zip: DALLAS, TX 75202  
Contact: PAUL ORR | SE REGION TANK MGR (800-566-9347)  
Resp Party Phone: (770) 967-4549

Region: 3  
Facility ID: 8734213  
Facility Phone: (305) 826-8731  
Facility Status: OPEN  
Facility Type: C  
Type Description: Fuel user/Non-retail

DEP CO: N  
Financial Responsibility: INSURANCE  
Insurance Company: OLD DOMINION  
Effective Date: 01-JUN-2009  
Expire Date: 01-JUN-2010  
Owner ID: 26036  
Owner Name: BELLSOUTH TELECOMMUNICATIONS INC  
Owner Address: 308 S AKARD ST #1700  
Owner Address2: ATTN: PAUL ORR  
Owner City,St,Zip: DALLAS, TX 75202  
Contact: PAUL ORR | SE REGION TANK MGR (800-566-9347)  
Resp Party Phone: (770) 967-4549

Region: 3  
Facility ID: 8734213  
Facility Phone: (305) 826-8731  
Facility Status: OPEN  
Facility Type: C  
Type Description: Fuel user/Non-retail

DEP CO: N  
Financial Responsibility: INSURANCE  
Insurance Company: OLD REPUBLIC  
Effective Date: 01-JUN-2010  
Expire Date: 01-JUN-2012  
Owner ID: 26036  
Owner Name: BELLSOUTH TELECOMMUNICATIONS INC  
Owner Address: 308 S AKARD ST #1700  
Owner Address2: ATTN: PAUL ORR  
Owner City,St,Zip: DALLAS, TX 75202  
Contact: PAUL ORR | SE REGION TANK MGR (800-566-9347)  
Resp Party Phone: (770) 967-4549

**FL FINANCIAL ASSURANCE 3:**

Region: 3  
Facility ID: 8734213  
Facility Phone: (305) 826-8731  
Facility Status: OPEN  
Facility Type: C

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SOUTHERN BELL-TAMARAC E8438 (Continued)**

**U002220528**

Type Description: Fuel user/Non-retail  
DEP CO: N  
Financial Responsibility: SELF-INSURANCE - LETTER FROM CHIEF FINANCIAL OFFIC  
Insurance Company: Not reported  
Effective Date: 30-APR-2008  
Expire Date: 30-APR-2009  
Owner ID: 26036  
Owner Name: BELLSOUTH TELECOMMUNICATIONS INC  
Owner Address: 308 S AKARD ST #1700  
Owner Address2: ATTN: PAUL ORR  
Owner City,St,Zip: DALLAS, TX 75202  
Contact: PAUL ORR | SE REGION TANK MGR (800-566-9347)  
Resp Party Phone: (770) 967-4549

Region: 3  
Facility ID: 8734213  
Facility Phone: (305) 826-8731  
Facility Status: OPEN  
Facility Type: C  
Type Description: Fuel user/Non-retail  
DEP CO: N  
Financial Responsibility: INSURANCE  
Insurance Company: OLD DOMINION  
Effective Date: 01-JUN-2009  
Expire Date: 01-JUN-2010  
Owner ID: 26036  
Owner Name: BELLSOUTH TELECOMMUNICATIONS INC  
Owner Address: 308 S AKARD ST #1700  
Owner Address2: ATTN: PAUL ORR  
Owner City,St,Zip: DALLAS, TX 75202  
Contact: PAUL ORR | SE REGION TANK MGR (800-566-9347)  
Resp Party Phone: (770) 967-4549

Region: 3  
Facility ID: 8734213  
Facility Phone: (305) 826-8731  
Facility Status: OPEN  
Facility Type: C  
Type Description: Fuel user/Non-retail  
DEP CO: N  
Financial Responsibility: INSURANCE  
Insurance Company: OLD REPUBLIC  
Effective Date: 01-JUN-2010  
Expire Date: 01-JUN-2012  
Owner ID: 26036  
Owner Name: BELLSOUTH TELECOMMUNICATIONS INC  
Owner Address: 308 S AKARD ST #1700  
Owner Address2: ATTN: PAUL ORR  
Owner City,St,Zip: DALLAS, TX 75202  
Contact: PAUL ORR | SE REGION TANK MGR (800-566-9347)  
Resp Party Phone: (770) 967-4549

**FL FINANCIAL ASSURANCE 3:**

Region: 3  
Facility ID: 8734213  
Facility Phone: (305) 826-8731  
Facility Status: OPEN

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SOUTHERN BELL-TAMARAC E8438 (Continued)**

**U002220528**

Facility Type: C  
Type Description: Fuel user/Non-retail  
DEP CO: N  
Financial Responsibility: SELF-INSURANCE - LETTER FROM CHIEF FINANCIAL OFFIC  
Insurance Company: Not reported  
Effective Date: 30-APR-2008  
Expire Date: 30-APR-2009  
Owner ID: 26036  
Owner Name: BELLSOUTH TELECOMMUNICATIONS INC  
Owner Address: 308 S AKARD ST #1700  
Owner Address2: ATTN: PAUL ORR  
Owner City,St,Zip: DALLAS, TX 75202  
Contact: PAUL ORR | SE REGION TANK MGR (800-566-9347)  
Resp Party Phone: (770) 967-4549

Region: 3  
Facility ID: 8734213  
Facility Phone: (305) 826-8731  
Facility Status: OPEN  
Facility Type: C  
Type Description: Fuel user/Non-retail  
DEP CO: N  
Financial Responsibility: INSURANCE  
Insurance Company: OLD DOMINION  
Effective Date: 01-JUN-2009  
Expire Date: 01-JUN-2010  
Owner ID: 26036  
Owner Name: BELLSOUTH TELECOMMUNICATIONS INC  
Owner Address: 308 S AKARD ST #1700  
Owner Address2: ATTN: PAUL ORR  
Owner City,St,Zip: DALLAS, TX 75202  
Contact: PAUL ORR | SE REGION TANK MGR (800-566-9347)  
Resp Party Phone: (770) 967-4549

Region: 3  
Facility ID: 8734213  
Facility Phone: (305) 826-8731  
Facility Status: OPEN  
Facility Type: C  
Type Description: Fuel user/Non-retail  
DEP CO: N  
Financial Responsibility: INSURANCE  
Insurance Company: OLD REPUBLIC  
Effective Date: 01-JUN-2010  
Expire Date: 01-JUN-2012  
Owner ID: 26036  
Owner Name: BELLSOUTH TELECOMMUNICATIONS INC  
Owner Address: 308 S AKARD ST #1700  
Owner Address2: ATTN: PAUL ORR  
Owner City,St,Zip: DALLAS, TX 75202  
Contact: PAUL ORR | SE REGION TANK MGR (800-566-9347)  
Resp Party Phone: (770) 967-4549



MAP FINDINGS

Map ID  
 Direction  
 Distance  
 Elevation

Site

Database(s)

EDR ID Number  
 EPA ID Number

**B6**  
 South  
 1/8-1/4  
 0.206 mi.  
 1090 ft.

**SPRINT NEXTEL FL 3675-WOODMONT**  
 7501 N UNIVERSITY DR  
 TAMARAC, FL 33321

**BROWARD CO. HM**

**S107676072**  
 N/A

**Site 4 of 5 in cluster B**

**Relative:**  
**Higher**

BROWARD CO. HM:  
 Facility ID: 06206  
 Alt Location: Not reported

**Actual:**  
**8 ft.**

**B7**  
 South  
 1/8-1/4  
 0.211 mi.  
 1112 ft.

**DIGESTIVE DISEASE ENDOSCOPY CENTER**  
 7481 N UNIVERSITY DR  
 TAMARAC, FL 33321

**BROWARD CO. HM**

**S107674722**  
 N/A

**Site 5 of 5 in cluster B**

**Relative:**  
**Higher**

BROWARD CO. HM:  
 Facility ID: 07463  
 Alt Location: Not reported

**Actual:**  
**8 ft.**

**8**  
 North  
 1/4-1/2  
 0.372 mi.  
 1962 ft.

**A 1 CLEANERS**  
 8182 N UNIVERSITY DR  
 TAMARAC, FL 33321

**Broward Co. EDIEAR**  
**PRIORITYCLEANERS**  
**DRYCLEANERS**  
**BROWARD CO. HM**

**S107673639**  
 N/A

**Relative:**  
**Higher**

Broward Co. EDIEAR:  
 Facility ID: 3627  
 Facility Department: 069502181  
 Program Type: DRY-CLEAN  
 Facility Type: DRY-CLEANER  
 Pollutant Type: CHLORINATED  
 Lead Agency: DEP

**Actual:**  
**8 ft.**

**PRIORITYCLEANERS:**  
 Rank: 860  
 Facility ID: 9502181  
 Score: 28  
 Voluntary Cleanup: Not reported

**DRY CLEANERS:**  
 Facility ID: 9502181  
 Facility Tel: (305)721-9994  
 Facility Status: CLOSED  
 Facility Type: Drycleaner  
 Type Desc: Drycleaner  
 Owner ID: 40886  
 Owner Role: ACCOUNT OWNER  
 Owner Name: A 1 CLEANERS  
 Owner Address: 31045 SW 189 AVE  
 Owner Addr2: Not reported  
 Owner City,St,Zip: HOMESTEAD, FL 33030  
 Owner Contact: SAGER, STEVEN  
 RP Phone: (305)721-9994  
 Start Date: 07/18/1995  
  
 Facility ID: 9502181

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**A 1 CLEANERS (Continued)**

**S107673639**

Facility Tel: (305)721-9994  
Facility Status: CLOSED  
Facility Type: Drycleaner  
Type Desc: Drycleaner  
Owner ID: 40886  
Owner Role: FACILITY OWNER  
Owner Name: A 1 CLEANERS  
Owner Address: 31045 SW 189 AVE  
Owner Addr2: Not reported  
Owner City,St,Zip: HOMESTEAD, FL 33030  
Owner Contact: SAGER, STEVEN  
RP Phone: (305)721-9994  
Start Date: 07/18/1995

Facility ID: 9502181  
Facility Tel: (305)721-9994  
Facility Status: CLOSED  
Facility Type: Drycleaner  
Type Desc: Drycleaner  
Owner ID: 40888  
Owner Role: PROPERTY OWNER  
Owner Name: SAUL STRACHMAN  
Owner Address: 1111 FAME CIRCLE  
Owner Addr2: Not reported  
Owner City,St,Zip: BAY HARBOR, FL 33157  
Owner Contact: STRACHMAN, SAUL  
RP Phone: (305)866-3747  
Start Date: 07/18/1995

**BROWARD CO. HM:**

Facility ID: 00409  
Alt Location: Not reported

Count: 11 records.

ORPHAN SUMMARY

City	EDR ID	Site Name	Site Address	Zip	Database(s)
BROWARD COUNTY	S110334417	OCEAN PALMS	3101 SOUTH OCEAN DRIVE		UIC
CORAL SPRINGS	A100350032	PUBLIX STORE #1311	2201 UNIVERSITY DR	33071	AST
FORT LAUDERDALE	S110472317	SFWMD S-124 DEBRIS SITE	NORTH & PARK		SWF/LF
FORT LAUDERDALE	S102013689	BROWARD CO.SOUTH RESOURCE RECOVERY	ST 441 &		SWF/LF, FINANCIAL ASSURANCE
FORT LAUDERDALE	U004146660	MOTIVA TANKER TRUCK SPILL	I 595 INTERSECTION & USHY 441		UST
FORT LAUDERDALE	U004146152	JET STAR ROAD SPILL	HWY 84 & FEDERAL HWY		UST
FORT LAUDERDALE	U001344155	FL DEPT OF TRANSPORTATION-ROW	2080 S HWY 7		UST
FORT LAUDERDALE	S110698162	PORT EVERGLADES DISPOSAL SITE	E OF MCINTOSH SOUTH OF ELLER D		SWF/LF
FORT LAUDERDALE	S110472318	SFWMD- WEEKLY EX-ASPHALT PLANT DEB	USHY 27 & GRIFFIN NORTH OF 26		SWF/LF
PLANTATION	S110698192	PLANTATION TRASH DUMP 2	NULL	33071	SWF/LF
TAMARAC	1011398033	THE PALMS MEDICAL CAMPUS	7710 - 7780 UNIVERSITY DR	33321	FINDS

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

To maintain currency of the following federal and state databases, EDR contacts the appropriate governmental agency on a monthly or quarterly basis, as required.

**Number of Days to Update:** Provides confirmation that EDR is reporting records that have been updated within 90 days from the date the government agency made the information available to the public.

## STANDARD ENVIRONMENTAL RECORDS

### ***Federal NPL site list***

#### **NPL: National Priority List**

National Priorities List (Superfund). The NPL is a subset of CERCLIS and identifies over 1,200 sites for priority cleanup under the Superfund Program. NPL sites may encompass relatively large areas. As such, EDR provides polygon coverage for over 1,000 NPL site boundaries produced by EPA's Environmental Photographic Interpretation Center (EPIC) and regional EPA offices.

Date of Government Version: 05/08/2012	Source: EPA
Date Data Arrived at EDR: 05/10/2012	Telephone: N/A
Date Made Active in Reports: 05/15/2012	Last EDR Contact: 05/10/2012
Number of Days to Update: 5	Next Scheduled EDR Contact: 07/23/2012
	Data Release Frequency: Quarterly

#### **NPL Site Boundaries**

##### **Sources:**

EPA's Environmental Photographic Interpretation Center (EPIC)  
Telephone: 202-564-7333

EPA Region 1  
Telephone 617-918-1143

EPA Region 6  
Telephone: 214-655-6659

EPA Region 3  
Telephone 215-814-5418

EPA Region 7  
Telephone: 913-551-7247

EPA Region 4  
Telephone 404-562-8033

EPA Region 8  
Telephone: 303-312-6774

EPA Region 5  
Telephone 312-886-6686

EPA Region 9  
Telephone: 415-947-4246

EPA Region 10  
Telephone 206-553-8665

#### **Proposed NPL: Proposed National Priority List Sites**

A site that has been proposed for listing on the National Priorities List through the issuance of a proposed rule in the Federal Register. EPA then accepts public comments on the site, responds to the comments, and places on the NPL those sites that continue to meet the requirements for listing.

Date of Government Version: 03/30/2012	Source: EPA
Date Data Arrived at EDR: 04/05/2012	Telephone: N/A
Date Made Active in Reports: 05/15/2012	Last EDR Contact: 04/05/2012
Number of Days to Update: 40	Next Scheduled EDR Contact: 07/23/2012
	Data Release Frequency: Quarterly

#### **NPL LIENS: Federal Superfund Liens**

Federal Superfund Liens. Under the authority granted the USEPA by CERCLA of 1980, the USEPA has the authority to file liens against real property in order to recover remedial action expenditures or when the property owner received notification of potential liability. USEPA compiles a listing of filed notices of Superfund Liens.

Date of Government Version: 10/15/1991	Source: EPA
Date Data Arrived at EDR: 02/02/1994	Telephone: 202-564-4267
Date Made Active in Reports: 03/30/1994	Last EDR Contact: 08/15/2011
Number of Days to Update: 56	Next Scheduled EDR Contact: 11/28/2011
	Data Release Frequency: No Update Planned

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## ***Federal Delisted NPL site list***

DELISTED NPL: National Priority List Deletions

The National Oil and Hazardous Substances Pollution Contingency Plan (NCP) establishes the criteria that the EPA uses to delete sites from the NPL. In accordance with 40 CFR 300.425.(e), sites may be deleted from the NPL where no further response is appropriate.

Date of Government Version: 03/30/2012	Source: EPA
Date Data Arrived at EDR: 04/05/2012	Telephone: N/A
Date Made Active in Reports: 05/15/2012	Last EDR Contact: 04/05/2012
Number of Days to Update: 40	Next Scheduled EDR Contact: 07/23/2012
	Data Release Frequency: Quarterly

## ***Federal CERCLIS list***

CERCLIS: Comprehensive Environmental Response, Compensation, and Liability Information System

CERCLIS contains data on potentially hazardous waste sites that have been reported to the USEPA by states, municipalities, private companies and private persons, pursuant to Section 103 of the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA). CERCLIS contains sites which are either proposed to or on the National Priorities List (NPL) and sites which are in the screening and assessment phase for possible inclusion on the NPL.

Date of Government Version: 12/27/2011	Source: EPA
Date Data Arrived at EDR: 02/27/2012	Telephone: 703-412-9810
Date Made Active in Reports: 03/12/2012	Last EDR Contact: 04/05/2012
Number of Days to Update: 14	Next Scheduled EDR Contact: 06/11/2012
	Data Release Frequency: Quarterly

FEDERAL FACILITY: Federal Facility Site Information listing

A listing of National Priority List (NPL) and Base Realignment and Closure (BRAC) sites found in the Comprehensive Environmental Response, Compensation and Liability Information System (CERCLIS) Database where EPA Federal Facilities Restoration and Reuse Office is involved in cleanup activities.

Date of Government Version: 12/10/2010	Source: Environmental Protection Agency
Date Data Arrived at EDR: 01/11/2011	Telephone: 703-603-8704
Date Made Active in Reports: 02/16/2011	Last EDR Contact: 04/12/2012
Number of Days to Update: 36	Next Scheduled EDR Contact: 07/23/2012
	Data Release Frequency: Varies

## ***Federal CERCLIS NFRAP site List***

CERCLIS-NFRAP: CERCLIS No Further Remedial Action Planned

Archived sites are sites that have been removed and archived from the inventory of CERCLIS sites. Archived status indicates that, to the best of EPA's knowledge, assessment at a site has been completed and that EPA has determined no further steps will be taken to list this site on the National Priorities List (NPL), unless information indicates this decision was not appropriate or other considerations require a recommendation for listing at a later time. This decision does not necessarily mean that there is no hazard associated with a given site; it only means that, based upon available information, the location is not judged to be a potential NPL site.

Date of Government Version: 12/28/2011	Source: EPA
Date Data Arrived at EDR: 02/27/2012	Telephone: 703-412-9810
Date Made Active in Reports: 03/12/2012	Last EDR Contact: 04/05/2012
Number of Days to Update: 14	Next Scheduled EDR Contact: 06/11/2012
	Data Release Frequency: Quarterly

## ***Federal RCRA CORRACTS facilities list***

CORRACTS: Corrective Action Report

CORRACTS identifies hazardous waste handlers with RCRA corrective action activity.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 08/19/2011  
Date Data Arrived at EDR: 08/31/2011  
Date Made Active in Reports: 01/10/2012  
Number of Days to Update: 132

Source: EPA  
Telephone: 800-424-9346  
Last EDR Contact: 05/15/2012  
Next Scheduled EDR Contact: 08/27/2012  
Data Release Frequency: Quarterly

## ***Federal RCRA non-CORRACTS TSD facilities list***

### **RCRA-TSDF: RCRA - Treatment, Storage and Disposal**

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Transporters are individuals or entities that move hazardous waste from the generator offsite to a facility that can recycle, treat, store, or dispose of the waste. TSDFs treat, store, or dispose of the waste.

Date of Government Version: 03/15/2012  
Date Data Arrived at EDR: 04/04/2012  
Date Made Active in Reports: 05/15/2012  
Number of Days to Update: 41

Source: Environmental Protection Agency  
Telephone: (404) 562-8651  
Last EDR Contact: 04/04/2012  
Next Scheduled EDR Contact: 07/16/2012  
Data Release Frequency: Quarterly

## ***Federal RCRA generators list***

### **RCRA-LQG: RCRA - Large Quantity Generators**

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Large quantity generators (LQGs) generate over 1,000 kilograms (kg) of hazardous waste, or over 1 kg of acutely hazardous waste per month.

Date of Government Version: 03/15/2012  
Date Data Arrived at EDR: 04/04/2012  
Date Made Active in Reports: 05/15/2012  
Number of Days to Update: 41

Source: Environmental Protection Agency  
Telephone: (404) 562-8651  
Last EDR Contact: 04/04/2012  
Next Scheduled EDR Contact: 07/16/2012  
Data Release Frequency: Quarterly

### **RCRA-SQG: RCRA - Small Quantity Generators**

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Small quantity generators (SQGs) generate between 100 kg and 1,000 kg of hazardous waste per month.

Date of Government Version: 03/15/2012  
Date Data Arrived at EDR: 04/04/2012  
Date Made Active in Reports: 05/15/2012  
Number of Days to Update: 41

Source: Environmental Protection Agency  
Telephone: (404) 562-8651  
Last EDR Contact: 04/04/2012  
Next Scheduled EDR Contact: 07/16/2012  
Data Release Frequency: Quarterly

### **RCRA-CESQG: RCRA - Conditionally Exempt Small Quantity Generators**

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Conditionally exempt small quantity generators (CESQGs) generate less than 100 kg of hazardous waste, or less than 1 kg of acutely hazardous waste per month.

Date of Government Version: 03/15/2012  
Date Data Arrived at EDR: 04/04/2012  
Date Made Active in Reports: 05/15/2012  
Number of Days to Update: 41

Source: Environmental Protection Agency  
Telephone: (404) 562-8651  
Last EDR Contact: 04/04/2012  
Next Scheduled EDR Contact: 07/16/2012  
Data Release Frequency: Varies

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## ***Federal institutional controls / engineering controls registries***

### US ENG CONTROLS: Engineering Controls Sites List

A listing of sites with engineering controls in place. Engineering controls include various forms of caps, building foundations, liners, and treatment methods to create pathway elimination for regulated substances to enter environmental media or effect human health.

Date of Government Version: 12/30/2011	Source: Environmental Protection Agency
Date Data Arrived at EDR: 12/30/2011	Telephone: 703-603-0695
Date Made Active in Reports: 01/10/2012	Last EDR Contact: 03/12/2012
Number of Days to Update: 11	Next Scheduled EDR Contact: 06/25/2012
	Data Release Frequency: Varies

### US INST CONTROL: Sites with Institutional Controls

A listing of sites with institutional controls in place. Institutional controls include administrative measures, such as groundwater use restrictions, construction restrictions, property use restrictions, and post remediation care requirements intended to prevent exposure to contaminants remaining on site. Deed restrictions are generally required as part of the institutional controls.

Date of Government Version: 12/30/2011	Source: Environmental Protection Agency
Date Data Arrived at EDR: 12/30/2011	Telephone: 703-603-0695
Date Made Active in Reports: 01/10/2012	Last EDR Contact: 03/12/2012
Number of Days to Update: 11	Next Scheduled EDR Contact: 06/25/2012
	Data Release Frequency: Varies

## ***Federal ERNS list***

### ERNS: Emergency Response Notification System

Emergency Response Notification System. ERNS records and stores information on reported releases of oil and hazardous substances.

Date of Government Version: 10/03/2011	Source: National Response Center, United States Coast Guard
Date Data Arrived at EDR: 10/04/2011	Telephone: 202-267-2180
Date Made Active in Reports: 11/11/2011	Last EDR Contact: 04/03/2012
Number of Days to Update: 38	Next Scheduled EDR Contact: 07/16/2012
	Data Release Frequency: Annually

## ***State- and tribal - equivalent CERCLIS***

### SHWS: Florida's State-Funded Action Sites

State Hazardous Waste Sites. State hazardous waste site records are the states' equivalent to CERCLIS. These sites may or may not already be listed on the federal CERCLIS list. Priority sites planned for cleanup using state funds (state equivalent of Superfund) are identified along with sites where cleanup will be paid for by potentially responsible parties. Available information varies by state.

Date of Government Version: 02/29/2012	Source: Department of Environmental Protection
Date Data Arrived at EDR: 03/02/2012	Telephone: 850-488-0190
Date Made Active in Reports: 03/21/2012	Last EDR Contact: 03/02/2012
Number of Days to Update: 19	Next Scheduled EDR Contact: 06/11/2012
	Data Release Frequency: Semi-Annually

## ***State and tribal landfill and/or solid waste disposal site lists***

### SWF/LF: Solid Waste Facility Database

Solid Waste Facilities/Landfill Sites. SWF/LF type records typically contain an inventory of solid waste disposal facilities or landfills in a particular state. Depending on the state, these may be active or inactive facilities or open dumps that failed to meet RCRA Subtitle D Section 4004 criteria for solid waste landfills or disposal sites.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 04/23/2012  
Date Data Arrived at EDR: 04/24/2012  
Date Made Active in Reports: 05/21/2012  
Number of Days to Update: 27

Source: Department of Environmental Protection  
Telephone: 850-922-7121  
Last EDR Contact: 04/24/2012  
Next Scheduled EDR Contact: 08/06/2012  
Data Release Frequency: Semi-Annually

## **State and tribal leaking storage tank lists**

### **LUST: Petroleum Contamination Detail Report**

Leaking Underground Storage Tank Incident Reports. LUST records contain an inventory of reported leaking underground storage tank incidents. Not all states maintain these records, and the information stored varies by state.

Date of Government Version: 01/05/2012  
Date Data Arrived at EDR: 02/07/2012  
Date Made Active in Reports: 02/16/2012  
Number of Days to Update: 9

Source: Department of Environmental Protection  
Telephone: 850-245-8839  
Last EDR Contact: 05/08/2012  
Next Scheduled EDR Contact: 08/20/2012  
Data Release Frequency: Quarterly

### **LAST: Leaking Aboveground Storage Tank Listing**

A statewide listing of leaking aboveground storage tank site locations.

Date of Government Version: 02/06/2012  
Date Data Arrived at EDR: 02/07/2012  
Date Made Active in Reports: 02/16/2012  
Number of Days to Update: 9

Source: Department of Environmental Protection  
Telephone: 850-245-8799  
Last EDR Contact: 05/07/2012  
Next Scheduled EDR Contact: 08/20/2012  
Data Release Frequency: Varies

### **INDIAN LUST R7: Leaking Underground Storage Tanks on Indian Land**

LUSTs on Indian land in Iowa, Kansas, and Nebraska

Date of Government Version: 02/07/2012  
Date Data Arrived at EDR: 02/17/2012  
Date Made Active in Reports: 05/15/2012  
Number of Days to Update: 88

Source: EPA Region 7  
Telephone: 913-551-7003  
Last EDR Contact: 04/30/2012  
Next Scheduled EDR Contact: 08/13/2012  
Data Release Frequency: Varies

### **INDIAN LUST R10: Leaking Underground Storage Tanks on Indian Land**

LUSTs on Indian land in Alaska, Idaho, Oregon and Washington.

Date of Government Version: 02/01/2012  
Date Data Arrived at EDR: 02/02/2012  
Date Made Active in Reports: 05/15/2012  
Number of Days to Update: 103

Source: EPA Region 10  
Telephone: 206-553-2857  
Last EDR Contact: 04/30/2012  
Next Scheduled EDR Contact: 08/13/2012  
Data Release Frequency: Quarterly

### **INDIAN LUST R1: Leaking Underground Storage Tanks on Indian Land**

A listing of leaking underground storage tank locations on Indian Land.

Date of Government Version: 10/01/2011  
Date Data Arrived at EDR: 11/01/2011  
Date Made Active in Reports: 11/11/2011  
Number of Days to Update: 10

Source: EPA Region 1  
Telephone: 617-918-1313  
Last EDR Contact: 05/01/2012  
Next Scheduled EDR Contact: 08/13/2012  
Data Release Frequency: Varies

### **INDIAN LUST R6: Leaking Underground Storage Tanks on Indian Land**

LUSTs on Indian land in New Mexico and Oklahoma.

Date of Government Version: 09/12/2011  
Date Data Arrived at EDR: 09/13/2011  
Date Made Active in Reports: 11/11/2011  
Number of Days to Update: 59

Source: EPA Region 6  
Telephone: 214-665-6597  
Last EDR Contact: 04/23/2012  
Next Scheduled EDR Contact: 08/13/2012  
Data Release Frequency: Varies



# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

INDIAN LUST R4: Leaking Underground Storage Tanks on Indian Land  
LUSTs on Indian land in Florida, Mississippi and North Carolina.

Date of Government Version: 12/14/2011	Source: EPA Region 4
Date Data Arrived at EDR: 12/15/2011	Telephone: 404-562-8677
Date Made Active in Reports: 01/10/2012	Last EDR Contact: 04/30/2012
Number of Days to Update: 26	Next Scheduled EDR Contact: 08/13/2012
	Data Release Frequency: Semi-Annually

INDIAN LUST R9: Leaking Underground Storage Tanks on Indian Land  
LUSTs on Indian land in Arizona, California, New Mexico and Nevada

Date of Government Version: 02/14/2012	Source: Environmental Protection Agency
Date Data Arrived at EDR: 02/17/2012	Telephone: 415-972-3372
Date Made Active in Reports: 05/15/2012	Last EDR Contact: 04/30/2012
Number of Days to Update: 88	Next Scheduled EDR Contact: 08/13/2012
	Data Release Frequency: Quarterly

INDIAN LUST R8: Leaking Underground Storage Tanks on Indian Land  
LUSTs on Indian land in Colorado, Montana, North Dakota, South Dakota, Utah and Wyoming.

Date of Government Version: 08/18/2011	Source: EPA Region 8
Date Data Arrived at EDR: 08/19/2011	Telephone: 303-312-6271
Date Made Active in Reports: 09/13/2011	Last EDR Contact: 04/30/2012
Number of Days to Update: 25	Next Scheduled EDR Contact: 08/13/2012
	Data Release Frequency: Quarterly

## **State and tribal registered storage tank lists**

UST: Storage Tank Facility Information

Registered Underground Storage Tanks. UST's are regulated under Subtitle I of the Resource Conservation and Recovery Act (RCRA) and must be registered with the state department responsible for administering the UST program. Available information varies by state program.

Date of Government Version: 01/05/2012	Source: Department of Environmental Protection
Date Data Arrived at EDR: 02/07/2012	Telephone: 850-245-8839
Date Made Active in Reports: 02/16/2012	Last EDR Contact: 05/08/2012
Number of Days to Update: 9	Next Scheduled EDR Contact: 08/20/2012
	Data Release Frequency: Quarterly

AST: Storage Tank Facility Information  
Registered Aboveground Storage Tanks.

Date of Government Version: 01/05/2012	Source: Department of Environmental Protection
Date Data Arrived at EDR: 02/07/2012	Telephone: 850-245-8839
Date Made Active in Reports: 02/16/2012	Last EDR Contact: 05/08/2012
Number of Days to Update: 9	Next Scheduled EDR Contact: 08/20/2012
	Data Release Frequency: Quarterly

INDIAN UST R10: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 10 (Alaska, Idaho, Oregon, Washington, and Tribal Nations).

Date of Government Version: 02/01/2012	Source: EPA Region 10
Date Data Arrived at EDR: 02/02/2012	Telephone: 206-553-2857
Date Made Active in Reports: 05/15/2012	Last EDR Contact: 04/30/2012
Number of Days to Update: 103	Next Scheduled EDR Contact: 08/13/2012
	Data Release Frequency: Quarterly

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## INDIAN UST R7: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 7 (Iowa, Kansas, Missouri, Nebraska, and 9 Tribal Nations).

Date of Government Version: 02/07/2012	Source: EPA Region 7
Date Data Arrived at EDR: 02/17/2012	Telephone: 913-551-7003
Date Made Active in Reports: 05/15/2012	Last EDR Contact: 04/30/2012
Number of Days to Update: 88	Next Scheduled EDR Contact: 08/13/2012
	Data Release Frequency: Varies

## INDIAN UST R8: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 8 (Colorado, Montana, North Dakota, South Dakota, Utah, Wyoming and 27 Tribal Nations).

Date of Government Version: 08/18/2011	Source: EPA Region 8
Date Data Arrived at EDR: 08/19/2011	Telephone: 303-312-6137
Date Made Active in Reports: 09/13/2011	Last EDR Contact: 04/30/2012
Number of Days to Update: 25	Next Scheduled EDR Contact: 08/13/2012
	Data Release Frequency: Quarterly

## INDIAN UST R9: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 9 (Arizona, California, Hawaii, Nevada, the Pacific Islands, and Tribal Nations).

Date of Government Version: 11/28/2011	Source: EPA Region 9
Date Data Arrived at EDR: 11/29/2011	Telephone: 415-972-3368
Date Made Active in Reports: 01/10/2012	Last EDR Contact: 04/30/2012
Number of Days to Update: 42	Next Scheduled EDR Contact: 08/13/2012
	Data Release Frequency: Quarterly

## INDIAN UST R4: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 4 (Alabama, Florida, Georgia, Kentucky, Mississippi, North Carolina, South Carolina, Tennessee and Tribal Nations)

Date of Government Version: 12/14/2011	Source: EPA Region 4
Date Data Arrived at EDR: 12/15/2011	Telephone: 404-562-9424
Date Made Active in Reports: 01/10/2012	Last EDR Contact: 04/30/2012
Number of Days to Update: 26	Next Scheduled EDR Contact: 08/13/2012
	Data Release Frequency: Semi-Annually

## INDIAN UST R5: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 5 (Michigan, Minnesota and Wisconsin and Tribal Nations).

Date of Government Version: 02/28/2012	Source: EPA Region 5
Date Data Arrived at EDR: 02/29/2012	Telephone: 312-886-6136
Date Made Active in Reports: 05/15/2012	Last EDR Contact: 04/30/2012
Number of Days to Update: 76	Next Scheduled EDR Contact: 08/13/2012
	Data Release Frequency: Varies

## INDIAN UST R6: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 6 (Louisiana, Arkansas, Oklahoma, New Mexico, Texas and 65 Tribes).

Date of Government Version: 05/10/2011	Source: EPA Region 6
Date Data Arrived at EDR: 05/11/2011	Telephone: 214-665-7591
Date Made Active in Reports: 06/14/2011	Last EDR Contact: 04/23/2012
Number of Days to Update: 34	Next Scheduled EDR Contact: 08/13/2012
	Data Release Frequency: Semi-Annually

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## INDIAN UST R1: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 1 (Connecticut, Maine, Massachusetts, New Hampshire, Rhode Island, Vermont and ten Tribal Nations).

Date of Government Version: 10/01/2011	Source: EPA, Region 1
Date Data Arrived at EDR: 11/01/2011	Telephone: 617-918-1313
Date Made Active in Reports: 11/11/2011	Last EDR Contact: 05/01/2012
Number of Days to Update: 10	Next Scheduled EDR Contact: 08/13/2012
	Data Release Frequency: Varies

## FEMA UST: Underground Storage Tank Listing

A listing of all FEMA owned underground storage tanks.

Date of Government Version: 01/01/2010	Source: FEMA
Date Data Arrived at EDR: 02/16/2010	Telephone: 202-646-5797
Date Made Active in Reports: 04/12/2010	Last EDR Contact: 04/10/2012
Number of Days to Update: 55	Next Scheduled EDR Contact: 07/30/2012
	Data Release Frequency: Varies

## FF TANKS: Federal Facilities Listing

A listing of federal facilities with storage tanks.

Date of Government Version: 10/14/2011	Source: Department of Environmental Protection
Date Data Arrived at EDR: 10/14/2011	Telephone: 850-245-8250
Date Made Active in Reports: 11/18/2011	Last EDR Contact: 04/02/2012
Number of Days to Update: 35	Next Scheduled EDR Contact: 07/16/2012
	Data Release Frequency: Quarterly

## ***State and tribal institutional control / engineering control registries***

### ENG CONTROLS: Institutional Controls Registry

The registry is a database of all contaminated sites in the state of Florida which are subject to engineering controls. Engineering Controls encompass a variety of engineered remedies to contain and/or reduce contamination, and/or physical barriers intended to limit access to property. ECs include fences, signs, guards, landfill caps, provision of potable water, slurry walls, sheet pile (vertical caps), pumping and treatment of groundwater, monitoring wells, and vapor extraction systems.

Date of Government Version: 01/11/2012	Source: Department of Environmental Protection
Date Data Arrived at EDR: 01/12/2012	Telephone: 850-245-8927
Date Made Active in Reports: 02/16/2012	Last EDR Contact: 04/09/2012
Number of Days to Update: 35	Next Scheduled EDR Contact: 07/23/2012
	Data Release Frequency: Semi-Annually

### Inst Control: Institutional Controls Registry

The registry is a database of all contaminated sites in the state of Florida which are subject to institutional and engineering controls.

Date of Government Version: 01/11/2012	Source: Department of Environmental Protection
Date Data Arrived at EDR: 01/12/2012	Telephone: 850-245-8927
Date Made Active in Reports: 02/16/2012	Last EDR Contact: 04/09/2012
Number of Days to Update: 35	Next Scheduled EDR Contact: 07/23/2012
	Data Release Frequency: Semi-Annually

## ***State and tribal voluntary cleanup sites***

### VCP: Voluntary Cleanup Sites

Listing of closed and active voluntary cleanup sites.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 03/01/2012  
Date Data Arrived at EDR: 03/01/2012  
Date Made Active in Reports: 03/19/2012  
Number of Days to Update: 18

Source: Department of Environmental Protection  
Telephone: 850-245-8705  
Last EDR Contact: 02/27/2012  
Next Scheduled EDR Contact: 06/11/2012  
Data Release Frequency: Varies

## INDIAN VCP R7: Voluntary Cleanup Priority Listing

A listing of voluntary cleanup priority sites located on Indian Land located in Region 7.

Date of Government Version: 03/20/2008  
Date Data Arrived at EDR: 04/22/2008  
Date Made Active in Reports: 05/19/2008  
Number of Days to Update: 27

Source: EPA, Region 7  
Telephone: 913-551-7365  
Last EDR Contact: 04/20/2009  
Next Scheduled EDR Contact: 07/20/2009  
Data Release Frequency: Varies

## INDIAN VCP R1: Voluntary Cleanup Priority Listing

A listing of voluntary cleanup priority sites located on Indian Land located in Region 1.

Date of Government Version: 02/17/2012  
Date Data Arrived at EDR: 04/03/2012  
Date Made Active in Reports: 05/15/2012  
Number of Days to Update: 42

Source: EPA, Region 1  
Telephone: 617-918-1102  
Last EDR Contact: 04/03/2012  
Next Scheduled EDR Contact: 07/16/2012  
Data Release Frequency: Varies

## ***State and tribal Brownfields sites***

### BROWNFIELDS: Brownfield Areas

Brownfields are abandoned, idled, or underused industrial and commercial facilities where expansion or redevelopment is complicated by real or perceived environmental contamination. Florida's Brownfields Redevelopment Act primary goals are to reduce health and environmental hazards on existing commercial and industrial sites that are abandoned or underused due to these hazards and create financial and regulatory incentives to encourage voluntary cleanup and redevelopment of sites.

Date of Government Version: 04/09/2012  
Date Data Arrived at EDR: 04/09/2012  
Date Made Active in Reports: 04/17/2012  
Number of Days to Update: 8

Source: Department of Environmental Protection  
Telephone: 850-245-8927  
Last EDR Contact: 04/09/2012  
Next Scheduled EDR Contact: 07/23/2012  
Data Release Frequency: Semi-Annually

## **ADDITIONAL ENVIRONMENTAL RECORDS**

### ***Local Brownfield lists***

#### US BROWNFIELDS: A Listing of Brownfields Sites

Brownfields are real property, the expansion, redevelopment, or reuse of which may be complicated by the presence or potential presence of a hazardous substance, pollutant, or contaminant. Cleaning up and reinvesting in these properties takes development pressures off of undeveloped, open land, and both improves and protects the environment. Assessment, Cleanup and Redevelopment Exchange System (ACRES) stores information reported by EPA Brownfields grant recipients on brownfields properties assessed or cleaned up with grant funding as well as information on Targeted Brownfields Assessments performed by EPA Regions. A listing of ACRES Brownfield sites is obtained from Cleanups in My Community. Cleanups in My Community provides information on Brownfields properties for which information is reported back to EPA, as well as areas served by Brownfields grant programs.

Date of Government Version: 06/27/2011  
Date Data Arrived at EDR: 06/27/2011  
Date Made Active in Reports: 09/13/2011  
Number of Days to Update: 78

Source: Environmental Protection Agency  
Telephone: 202-566-2777  
Last EDR Contact: 04/03/2012  
Next Scheduled EDR Contact: 07/09/2012  
Data Release Frequency: Semi-Annually

### ***Local Lists of Landfill / Solid Waste Disposal Sites***

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## DEBRIS REGION 9: Torres Martinez Reservation Illegal Dump Site Locations

A listing of illegal dump sites location on the Torres Martinez Indian Reservation located in eastern Riverside County and northern Imperial County, California.

Date of Government Version: 01/12/2009  
Date Data Arrived at EDR: 05/07/2009  
Date Made Active in Reports: 09/21/2009  
Number of Days to Update: 137

Source: EPA, Region 9  
Telephone: 415-947-4219  
Last EDR Contact: 03/26/2012  
Next Scheduled EDR Contact: 07/09/2012  
Data Release Frequency: No Update Planned

## ODI: Open Dump Inventory

An open dump is defined as a disposal facility that does not comply with one or more of the Part 257 or Part 258 Subtitle D Criteria.

Date of Government Version: 06/30/1985  
Date Data Arrived at EDR: 08/09/2004  
Date Made Active in Reports: 09/17/2004  
Number of Days to Update: 39

Source: Environmental Protection Agency  
Telephone: 800-424-9346  
Last EDR Contact: 06/09/2004  
Next Scheduled EDR Contact: N/A  
Data Release Frequency: No Update Planned

## SWRCY: Recycling Centers

A listing of recycling centers located in the state of Florida.

Date of Government Version: 12/06/2010  
Date Data Arrived at EDR: 01/27/2012  
Date Made Active in Reports: 02/08/2012  
Number of Days to Update: 12

Source: Department of Environmental Protection  
Telephone: 850-245-8718  
Last EDR Contact: 04/27/2012  
Next Scheduled EDR Contact: 08/06/2012  
Data Release Frequency: Varies

## INDIAN ODI: Report on the Status of Open Dumps on Indian Lands

Location of open dumps on Indian land.

Date of Government Version: 12/31/1998  
Date Data Arrived at EDR: 12/03/2007  
Date Made Active in Reports: 01/24/2008  
Number of Days to Update: 52

Source: Environmental Protection Agency  
Telephone: 703-308-8245  
Last EDR Contact: 05/07/2012  
Next Scheduled EDR Contact: 08/20/2012  
Data Release Frequency: Varies

## **Local Lists of Hazardous waste / Contaminated Sites**

### US CDL: Clandestine Drug Labs

A listing of clandestine drug lab locations. The U.S. Department of Justice ("the Department") provides this web site as a public service. It contains addresses of some locations where law enforcement agencies reported they found chemicals or other items that indicated the presence of either clandestine drug laboratories or dumpsites. In most cases, the source of the entries is not the Department, and the Department has not verified the entry and does not guarantee its accuracy. Members of the public must verify the accuracy of all entries by, for example, contacting local law enforcement and local health departments.

Date of Government Version: 10/07/2011  
Date Data Arrived at EDR: 12/09/2011  
Date Made Active in Reports: 01/10/2012  
Number of Days to Update: 32

Source: Drug Enforcement Administration  
Telephone: 202-307-1000  
Last EDR Contact: 03/06/2012  
Next Scheduled EDR Contact: 06/18/2012  
Data Release Frequency: Quarterly

### FL SITES: Sites List

This summary status report was developed from a number of lists including the Eckhardt list, the Moffitt list, the EPA Hazardous Waste Sites list, EPA's Emergency & Remedial Response information System list (RCRA Section 3012) & existing department lists such as the obsolete uncontrolled Hazardous Waste Sites list. This list is no longer updated.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 12/31/1989  
Date Data Arrived at EDR: 05/09/1994  
Date Made Active in Reports: 08/04/1994  
Number of Days to Update: 87

Source: Department of Environmental Protection  
Telephone: 850-245-8705  
Last EDR Contact: 03/24/1994  
Next Scheduled EDR Contact: N/A  
Data Release Frequency: No Update Planned

## PRIORITYCLEANERS: Priority Ranking List

The Florida Legislature has established a state-funded program to cleanup properties that are contaminated as a result of the operations of a drycleaning facility.

Date of Government Version: 01/31/2012  
Date Data Arrived at EDR: 02/20/2012  
Date Made Active in Reports: 03/19/2012  
Number of Days to Update: 28

Source: Department of Environmental Protection  
Telephone: 850-245-8927  
Last EDR Contact: 05/22/2012  
Next Scheduled EDR Contact: 09/03/2012  
Data Release Frequency: Varies

## US HIST CDL: National Clandestine Laboratory Register

A listing of clandestine drug lab locations. The U.S. Department of Justice ("the Department") provides this web site as a public service. It contains addresses of some locations where law enforcement agencies reported they found chemicals or other items that indicated the presence of either clandestine drug laboratories or dumpsites. In most cases, the source of the entries is not the Department, and the Department has not verified the entry and does not guarantee its accuracy. Members of the public must verify the accuracy of all entries by, for example, contacting local law enforcement and local health departments.

Date of Government Version: 09/01/2007  
Date Data Arrived at EDR: 11/19/2008  
Date Made Active in Reports: 03/30/2009  
Number of Days to Update: 131

Source: Drug Enforcement Administration  
Telephone: 202-307-1000  
Last EDR Contact: 03/23/2009  
Next Scheduled EDR Contact: 06/22/2009  
Data Release Frequency: No Update Planned

## **Local Land Records**

### LIENS 2: CERCLA Lien Information

A Federal CERCLA ('Superfund') lien can exist by operation of law at any site or property at which EPA has spent Superfund monies. These monies are spent to investigate and address releases and threatened releases of contamination. CERCLIS provides information as to the identity of these sites and properties.

Date of Government Version: 09/09/2011  
Date Data Arrived at EDR: 09/16/2011  
Date Made Active in Reports: 09/29/2011  
Number of Days to Update: 13

Source: Environmental Protection Agency  
Telephone: 202-564-6023  
Last EDR Contact: 04/30/2012  
Next Scheduled EDR Contact: 08/13/2012  
Data Release Frequency: Varies

### LUCIS: Land Use Control Information System

LUCIS contains records of land use control information pertaining to the former Navy Base Realignment and Closure properties.

Date of Government Version: 12/09/2005  
Date Data Arrived at EDR: 12/11/2006  
Date Made Active in Reports: 01/11/2007  
Number of Days to Update: 31

Source: Department of the Navy  
Telephone: 843-820-7326  
Last EDR Contact: 05/21/2012  
Next Scheduled EDR Contact: 09/03/2012  
Data Release Frequency: Varies

## **Records of Emergency Release Reports**

### HMIRS: Hazardous Materials Information Reporting System

Hazardous Materials Incident Report System. HMIRS contains hazardous material spill incidents reported to DOT.

Date of Government Version: 10/04/2011  
Date Data Arrived at EDR: 10/04/2011  
Date Made Active in Reports: 11/11/2011  
Number of Days to Update: 38

Source: U.S. Department of Transportation  
Telephone: 202-366-4555  
Last EDR Contact: 04/03/2012  
Next Scheduled EDR Contact: 07/16/2012  
Data Release Frequency: Annually

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## SPILLS: Oil and Hazardous Materials Incidents

Statewide oil and hazardous materials inland incidents.

Date of Government Version: 04/11/2012	Source: Department of Environmental Protection
Date Data Arrived at EDR: 04/12/2012	Telephone: 850-245-2010
Date Made Active in Reports: 05/21/2012	Last EDR Contact: 04/11/2012
Number of Days to Update: 39	Next Scheduled EDR Contact: 07/30/2012
	Data Release Frequency: Semi-Annually

## Other Ascertainable Records

### RCRA-NonGen: RCRA - Non Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Non-Generators do not presently generate hazardous waste.

Date of Government Version: 03/15/2012	Source: Environmental Protection Agency
Date Data Arrived at EDR: 04/04/2012	Telephone: (404) 562-8651
Date Made Active in Reports: 05/15/2012	Last EDR Contact: 04/04/2012
Number of Days to Update: 41	Next Scheduled EDR Contact: 07/16/2012
	Data Release Frequency: Varies

### DOT OPS: Incident and Accident Data

Department of Transportation, Office of Pipeline Safety Incident and Accident data.

Date of Government Version: 07/29/2011	Source: Department of Transportation, Office of Pipeline Safety
Date Data Arrived at EDR: 08/09/2011	Telephone: 202-366-4595
Date Made Active in Reports: 11/11/2011	Last EDR Contact: 05/08/2012
Number of Days to Update: 94	Next Scheduled EDR Contact: 08/20/2012
	Data Release Frequency: Varies

### DOD: Department of Defense Sites

This data set consists of federally owned or administered lands, administered by the Department of Defense, that have any area equal to or greater than 640 acres of the United States, Puerto Rico, and the U.S. Virgin Islands.

Date of Government Version: 12/31/2005	Source: USGS
Date Data Arrived at EDR: 11/10/2006	Telephone: 888-275-8747
Date Made Active in Reports: 01/11/2007	Last EDR Contact: 04/16/2012
Number of Days to Update: 62	Next Scheduled EDR Contact: 07/30/2012
	Data Release Frequency: Semi-Annually

### FUDS: Formerly Used Defense Sites

The listing includes locations of Formerly Used Defense Sites properties where the US Army Corps of Engineers is actively working or will take necessary cleanup actions.

Date of Government Version: 12/31/2009	Source: U.S. Army Corps of Engineers
Date Data Arrived at EDR: 08/12/2010	Telephone: 202-528-4285
Date Made Active in Reports: 12/02/2010	Last EDR Contact: 03/12/2012
Number of Days to Update: 112	Next Scheduled EDR Contact: 06/25/2012
	Data Release Frequency: Varies

### CONSENT: Superfund (CERCLA) Consent Decrees

Major legal settlements that establish responsibility and standards for cleanup at NPL (Superfund) sites. Released periodically by United States District Courts after settlement by parties to litigation matters.

Date of Government Version: 12/01/2011	Source: Department of Justice, Consent Decree Library
Date Data Arrived at EDR: 01/25/2012	Telephone: Varies
Date Made Active in Reports: 03/01/2012	Last EDR Contact: 04/02/2012
Number of Days to Update: 36	Next Scheduled EDR Contact: 07/16/2012
	Data Release Frequency: Varies

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## ROD: Records Of Decision

Record of Decision. ROD documents mandate a permanent remedy at an NPL (Superfund) site containing technical and health information to aid in the cleanup.

Date of Government Version: 09/28/2011	Source: EPA
Date Data Arrived at EDR: 12/14/2011	Telephone: 703-416-0223
Date Made Active in Reports: 01/10/2012	Last EDR Contact: 03/14/2012
Number of Days to Update: 27	Next Scheduled EDR Contact: 06/25/2012
	Data Release Frequency: Annually

## UMTRA: Uranium Mill Tailings Sites

Uranium ore was mined by private companies for federal government use in national defense programs. When the mills shut down, large piles of the sand-like material (mill tailings) remain after uranium has been extracted from the ore. Levels of human exposure to radioactive materials from the piles are low; however, in some cases tailings were used as construction materials before the potential health hazards of the tailings were recognized.

Date of Government Version: 09/14/2010	Source: Department of Energy
Date Data Arrived at EDR: 10/07/2011	Telephone: 505-845-0011
Date Made Active in Reports: 03/01/2012	Last EDR Contact: 05/29/2012
Number of Days to Update: 146	Next Scheduled EDR Contact: 09/10/2012
	Data Release Frequency: Varies

## MINES: Mines Master Index File

Contains all mine identification numbers issued for mines active or opened since 1971. The data also includes violation information.

Date of Government Version: 08/18/2011	Source: Department of Labor, Mine Safety and Health Administration
Date Data Arrived at EDR: 09/08/2011	Telephone: 303-231-5959
Date Made Active in Reports: 09/29/2011	Last EDR Contact: 03/07/2012
Number of Days to Update: 21	Next Scheduled EDR Contact: 06/18/2012
	Data Release Frequency: Semi-Annually

## TRIS: Toxic Chemical Release Inventory System

Toxic Release Inventory System. TRIS identifies facilities which release toxic chemicals to the air, water and land in reportable quantities under SARA Title III Section 313.

Date of Government Version: 12/31/2009	Source: EPA
Date Data Arrived at EDR: 09/01/2011	Telephone: 202-566-0250
Date Made Active in Reports: 01/10/2012	Last EDR Contact: 02/28/2012
Number of Days to Update: 131	Next Scheduled EDR Contact: 06/11/2012
	Data Release Frequency: Annually

## TSCA: Toxic Substances Control Act

Toxic Substances Control Act. TSCA identifies manufacturers and importers of chemical substances included on the TSCA Chemical Substance Inventory list. It includes data on the production volume of these substances by plant site.

Date of Government Version: 12/31/2006	Source: EPA
Date Data Arrived at EDR: 09/29/2010	Telephone: 202-260-5521
Date Made Active in Reports: 12/02/2010	Last EDR Contact: 03/28/2012
Number of Days to Update: 64	Next Scheduled EDR Contact: 07/09/2012
	Data Release Frequency: Every 4 Years

FTTS: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act) FTTS tracks administrative cases and pesticide enforcement actions and compliance activities related to FIFRA, TSCA and EPCRA (Emergency Planning and Community Right-to-Know Act). To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 04/09/2009	Source: EPA/Office of Prevention, Pesticides and Toxic Substances
Date Data Arrived at EDR: 04/16/2009	Telephone: 202-566-1667
Date Made Active in Reports: 05/11/2009	Last EDR Contact: 05/23/2012
Number of Days to Update: 25	Next Scheduled EDR Contact: 09/10/2012
	Data Release Frequency: Quarterly



# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

**FTTS INSP: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)**  
A listing of FIFRA/TSCA Tracking System (FTTS) inspections and enforcements.

Date of Government Version: 04/09/2009	Source: EPA
Date Data Arrived at EDR: 04/16/2009	Telephone: 202-566-1667
Date Made Active in Reports: 05/11/2009	Last EDR Contact: 05/23/2012
Number of Days to Update: 25	Next Scheduled EDR Contact: 09/10/2012
	Data Release Frequency: Quarterly

**HIST FTTS: FIFRA/TSCA Tracking System Administrative Case Listing**

A complete administrative case listing from the FIFRA/TSCA Tracking System (FTTS) for all ten EPA regions. The information was obtained from the National Compliance Database (NCDB). NCDB supports the implementation of FIFRA (Federal Insecticide, Fungicide, and Rodenticide Act) and TSCA (Toxic Substances Control Act). Some EPA regions are now closing out records. Because of that, and the fact that some EPA regions are not providing EPA Headquarters with updated records, it was decided to create a HIST FTTS database. It included records that may not be included in the newer FTTS database updates. This database is no longer updated.

Date of Government Version: 10/19/2006	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/01/2007	Telephone: 202-564-2501
Date Made Active in Reports: 04/10/2007	Last EDR Contact: 12/17/2007
Number of Days to Update: 40	Next Scheduled EDR Contact: 03/17/2008
	Data Release Frequency: No Update Planned

**HIST FTTS INSP: FIFRA/TSCA Tracking System Inspection & Enforcement Case Listing**

A complete inspection and enforcement case listing from the FIFRA/TSCA Tracking System (FTTS) for all ten EPA regions. The information was obtained from the National Compliance Database (NCDB). NCDB supports the implementation of FIFRA (Federal Insecticide, Fungicide, and Rodenticide Act) and TSCA (Toxic Substances Control Act). Some EPA regions are now closing out records. Because of that, and the fact that some EPA regions are not providing EPA Headquarters with updated records, it was decided to create a HIST FTTS database. It included records that may not be included in the newer FTTS database updates. This database is no longer updated.

Date of Government Version: 10/19/2006	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/01/2007	Telephone: 202-564-2501
Date Made Active in Reports: 04/10/2007	Last EDR Contact: 12/17/2008
Number of Days to Update: 40	Next Scheduled EDR Contact: 03/17/2008
	Data Release Frequency: No Update Planned

**SSTS: Section 7 Tracking Systems**

Section 7 of the Federal Insecticide, Fungicide and Rodenticide Act, as amended (92 Stat. 829) requires all registered pesticide-producing establishments to submit a report to the Environmental Protection Agency by March 1st each year. Each establishment must report the types and amounts of pesticides, active ingredients and devices being produced, and those having been produced and sold or distributed in the past year.

Date of Government Version: 12/31/2009	Source: EPA
Date Data Arrived at EDR: 12/10/2010	Telephone: 202-564-4203
Date Made Active in Reports: 02/25/2011	Last EDR Contact: 04/30/2012
Number of Days to Update: 77	Next Scheduled EDR Contact: 08/13/2012
	Data Release Frequency: Annually

**ICIS: Integrated Compliance Information System**

The Integrated Compliance Information System (ICIS) supports the information needs of the national enforcement and compliance program as well as the unique needs of the National Pollutant Discharge Elimination System (NPDES) program.

Date of Government Version: 07/20/2011	Source: Environmental Protection Agency
Date Data Arrived at EDR: 11/10/2011	Telephone: 202-564-5088
Date Made Active in Reports: 01/10/2012	Last EDR Contact: 03/26/2012
Number of Days to Update: 61	Next Scheduled EDR Contact: 07/09/2012
	Data Release Frequency: Quarterly

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## PADS: PCB Activity Database System

PCB Activity Database. PADS Identifies generators, transporters, commercial storers and/or brokers and disposers of PCB's who are required to notify the EPA of such activities.

Date of Government Version: 11/01/2010	Source: EPA
Date Data Arrived at EDR: 11/10/2010	Telephone: 202-566-0500
Date Made Active in Reports: 02/16/2011	Last EDR Contact: 04/17/2012
Number of Days to Update: 98	Next Scheduled EDR Contact: 07/30/2012
	Data Release Frequency: Annually

## MLTS: Material Licensing Tracking System

MLTS is maintained by the Nuclear Regulatory Commission and contains a list of approximately 8,100 sites which possess or use radioactive materials and which are subject to NRC licensing requirements. To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 06/21/2011	Source: Nuclear Regulatory Commission
Date Data Arrived at EDR: 07/15/2011	Telephone: 301-415-7169
Date Made Active in Reports: 09/13/2011	Last EDR Contact: 03/12/2012
Number of Days to Update: 60	Next Scheduled EDR Contact: 06/25/2012
	Data Release Frequency: Quarterly

## RADINFO: Radiation Information Database

The Radiation Information Database (RADINFO) contains information about facilities that are regulated by U.S. Environmental Protection Agency (EPA) regulations for radiation and radioactivity.

Date of Government Version: 01/10/2012	Source: Environmental Protection Agency
Date Data Arrived at EDR: 01/12/2012	Telephone: 202-343-9775
Date Made Active in Reports: 03/01/2012	Last EDR Contact: 04/10/2012
Number of Days to Update: 49	Next Scheduled EDR Contact: 07/23/2012
	Data Release Frequency: Quarterly

## FINDS: Facility Index System/Facility Registry System

Facility Index System. FINDS contains both facility information and 'pointers' to other sources that contain more detail. EDR includes the following FINDS databases in this report: PCS (Permit Compliance System), AIRS (Aerometric Information Retrieval System), DOCKET (Enforcement Docket used to manage and track information on civil judicial enforcement cases for all environmental statutes), FURS (Federal Underground Injection Control), C-DOCKET (Criminal Docket System used to track criminal enforcement actions for all environmental statutes), FFIS (Federal Facilities Information System), STATE (State Environmental Laws and Statutes), and PADS (PCB Activity Data System).

Date of Government Version: 10/23/2011	Source: EPA
Date Data Arrived at EDR: 12/13/2011	Telephone: (404) 562-9900
Date Made Active in Reports: 03/01/2012	Last EDR Contact: 03/13/2012
Number of Days to Update: 79	Next Scheduled EDR Contact: 06/25/2012
	Data Release Frequency: Quarterly

## RAATS: RCRA Administrative Action Tracking System

RCRA Administration Action Tracking System. RAATS contains records based on enforcement actions issued under RCRA pertaining to major violators and includes administrative and civil actions brought by the EPA. For administration actions after September 30, 1995, data entry in the RAATS database was discontinued. EPA will retain a copy of the database for historical records. It was necessary to terminate RAATS because a decrease in agency resources made it impossible to continue to update the information contained in the database.

Date of Government Version: 04/17/1995	Source: EPA
Date Data Arrived at EDR: 07/03/1995	Telephone: 202-564-4104
Date Made Active in Reports: 08/07/1995	Last EDR Contact: 06/02/2008
Number of Days to Update: 35	Next Scheduled EDR Contact: 09/01/2008
	Data Release Frequency: No Update Planned

## BRS: Biennial Reporting System

The Biennial Reporting System is a national system administered by the EPA that collects data on the generation and management of hazardous waste. BRS captures detailed data from two groups: Large Quantity Generators (LQG) and Treatment, Storage, and Disposal Facilities.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 12/31/2009  
Date Data Arrived at EDR: 03/01/2011  
Date Made Active in Reports: 05/02/2011  
Number of Days to Update: 62

Source: EPA/NTIS  
Telephone: 800-424-9346  
Last EDR Contact: 02/27/2012  
Next Scheduled EDR Contact: 06/11/2012  
Data Release Frequency: Biennially

## UIC: Underground Injection Wells Database Listing

A listing of Class I wells. Class I wells are used to inject hazardous waste, nonhazardous waste, or municipal waste below the lowermost USDW.

Date of Government Version: 05/02/2012  
Date Data Arrived at EDR: 05/03/2012  
Date Made Active in Reports: 05/21/2012  
Number of Days to Update: 18

Source: Department of Environmental Protection  
Telephone: 850-245-8655  
Last EDR Contact: 04/30/2012  
Next Scheduled EDR Contact: 08/13/2012  
Data Release Frequency: Varies

## DRYCLEANERS: Drycleaning Facilities

The Drycleaners database, maintained by the Department of Environmental Protection, provides information about permitted dry cleaner facilities.

Date of Government Version: 04/13/2012  
Date Data Arrived at EDR: 05/01/2012  
Date Made Active in Reports: 05/21/2012  
Number of Days to Update: 20

Source: Department of Environmental Protection  
Telephone: 850-245-8927  
Last EDR Contact: 05/01/2012  
Next Scheduled EDR Contact: 08/13/2012  
Data Release Frequency: Semi-Annually

## DEDB: Ethylene Dibromide Database Results

Ethylene dibromide (EDB), a soil fumigant, that has been detected in drinking water wells. The amount found exceeds the maximum contaminant level as stated in Chapter 62-550 or 520. It is a potential threat to public health when present in drinking water.

Date of Government Version: 04/24/2012  
Date Data Arrived at EDR: 04/24/2012  
Date Made Active in Reports: 05/21/2012  
Number of Days to Update: 27

Source: Department of Environmental Protection  
Telephone: 850-245-8335  
Last EDR Contact: 03/26/2012  
Next Scheduled EDR Contact: 07/09/2012  
Data Release Frequency: Varies

## WASTEWATER: Wastewater Facility Regulation Database

Domestic and industrial wastewater facilities.

Date of Government Version: 02/02/2012  
Date Data Arrived at EDR: 02/14/2012  
Date Made Active in Reports: 03/19/2012  
Number of Days to Update: 34

Source: Department of Environmental Protection  
Telephone: 850-245-8600  
Last EDR Contact: 05/15/2012  
Next Scheduled EDR Contact: 08/27/2012  
Data Release Frequency: Quarterly

## AIRS: Permitted Facilities Listing

A listing of Air Resources Management permits.

Date of Government Version: 02/07/2012  
Date Data Arrived at EDR: 02/08/2012  
Date Made Active in Reports: 02/16/2012  
Number of Days to Update: 8

Source: Department of Environmental Protection  
Telephone: 850-921-9558  
Last EDR Contact: 05/07/2012  
Next Scheduled EDR Contact: 08/20/2012  
Data Release Frequency: Varies

## TIER 2: Tier 2 Facility Listing

A listing of facilities which store or manufacture hazardous materials that submit a chemical inventory report.

Date of Government Version: 12/31/2010  
Date Data Arrived at EDR: 03/19/2012  
Date Made Active in Reports: 05/23/2012  
Number of Days to Update: 65

Source: Department of Environmental Protection  
Telephone: 850-413-9970  
Last EDR Contact: 03/19/2012  
Next Scheduled EDR Contact: 07/02/2012  
Data Release Frequency: Varies

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## FL Cattle Dip. Vats: Cattle Dipping Vats

From the 1910's through the 1950's, these vats were filled with an arsenic solution for the control and eradication of the cattle fever tick. Other pesticides, such as DDT, were also widely used. By State law, all cattle, horses, mules, goats, and other susceptible animals were required to be dipped every 14 days. Under certain circumstances, the arsenic and other pesticides remaining at the site may present an environmental or public health hazard.

Date of Government Version: 02/04/2005	Source: Department of Environmental Protection
Date Data Arrived at EDR: 06/29/2007	Telephone: 850-488-3601
Date Made Active in Reports: 07/11/2007	Last EDR Contact: 04/11/2012
Number of Days to Update: 12	Next Scheduled EDR Contact: 07/30/2012
	Data Release Frequency: No Update Planned

## INDIAN RESERV: Indian Reservations

This map layer portrays Indian administered lands of the United States that have any area equal to or greater than 640 acres.

Date of Government Version: 12/31/2005	Source: USGS
Date Data Arrived at EDR: 12/08/2006	Telephone: 202-208-3710
Date Made Active in Reports: 01/11/2007	Last EDR Contact: 04/16/2012
Number of Days to Update: 34	Next Scheduled EDR Contact: 07/30/2012
	Data Release Frequency: Semi-Annually

## SCRD DRYCLEANERS: State Coalition for Remediation of Drycleaners Listing

The State Coalition for Remediation of Drycleaners was established in 1998, with support from the U.S. EPA Office of Superfund Remediation and Technology Innovation. It is comprised of representatives of states with established drycleaner remediation programs. Currently the member states are Alabama, Connecticut, Florida, Illinois, Kansas, Minnesota, Missouri, North Carolina, Oregon, South Carolina, Tennessee, Texas, and Wisconsin.

Date of Government Version: 03/07/2011	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/09/2011	Telephone: 615-532-8599
Date Made Active in Reports: 05/02/2011	Last EDR Contact: 04/23/2012
Number of Days to Update: 54	Next Scheduled EDR Contact: 08/06/2012
	Data Release Frequency: Varies

## FEDLAND: Federal and Indian Lands

Federally and Indian administered lands of the United States. Lands included are administrated by: Army Corps of Engineers, Bureau of Reclamation, National Wild and Scenic River, National Wildlife Refuge, Public Domain Land, Wilderness, Wilderness Study Area, Wildlife Management Area, Bureau of Indian Affairs, Bureau of Land Management, Department of Justice, Forest Service, Fish and Wildlife Service, National Park Service.

Date of Government Version: 12/31/2005	Source: U.S. Geological Survey
Date Data Arrived at EDR: 02/06/2006	Telephone: 888-275-8747
Date Made Active in Reports: 01/11/2007	Last EDR Contact: 04/16/2012
Number of Days to Update: 339	Next Scheduled EDR Contact: 07/30/2012
	Data Release Frequency: N/A

## COAL ASH EPA: Coal Combustion Residues Surface Impoundments List

A listing of coal combustion residues surface impoundments with high hazard potential ratings.

Date of Government Version: 08/17/2010	Source: Environmental Protection Agency
Date Data Arrived at EDR: 01/03/2011	Telephone: N/A
Date Made Active in Reports: 03/21/2011	Last EDR Contact: 03/16/2012
Number of Days to Update: 77	Next Scheduled EDR Contact: 06/25/2012
	Data Release Frequency: Varies

## EPA WATCH LIST: EPA WATCH LIST

EPA maintains a "Watch List" to facilitate dialogue between EPA, state and local environmental agencies on enforcement matters relating to facilities with alleged violations identified as either significant or high priority. Being on the Watch List does not mean that the facility has actually violated the law only that an investigation by EPA or a state or local environmental agency has led those organizations to allege that an unproven violation has in fact occurred. Being on the Watch List does not represent a higher level of concern regarding the alleged violations that were detected, but instead indicates cases requiring additional dialogue between EPA, state and local agencies - primarily because of the length of time the alleged violation has gone unaddressed or unresolved.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 12/31/2011  
Date Data Arrived at EDR: 02/17/2012  
Date Made Active in Reports: 03/01/2012  
Number of Days to Update: 13

Source: Environmental Protection Agency  
Telephone: 617-520-3000  
Last EDR Contact: 05/15/2012  
Next Scheduled EDR Contact: 08/27/2012  
Data Release Frequency: Quarterly

## COAL ASH DOE: Sleam-Electric Plan Operation Data

A listing of power plants that store ash in surface ponds.

Date of Government Version: 12/31/2005  
Date Data Arrived at EDR: 08/07/2009  
Date Made Active in Reports: 10/22/2009  
Number of Days to Update: 76

Source: Department of Energy  
Telephone: 202-586-8719  
Last EDR Contact: 04/16/2012  
Next Scheduled EDR Contact: 07/30/2012  
Data Release Frequency: Varies

## PCB TRANSFORMER: PCB Transformer Registration Database

The database of PCB transformer registrations that includes all PCB registration submittals.

Date of Government Version: 02/01/2011  
Date Data Arrived at EDR: 10/19/2011  
Date Made Active in Reports: 01/10/2012  
Number of Days to Update: 83

Source: Environmental Protection Agency  
Telephone: 202-566-0517  
Last EDR Contact: 05/04/2012  
Next Scheduled EDR Contact: 08/13/2012  
Data Release Frequency: Varies

## FINANCIAL ASSURANCE 3: Financial Assurance Information Listing

A listing of financial assurance information for storage tanks sites.

Date of Government Version: 01/10/2012  
Date Data Arrived at EDR: 02/07/2012  
Date Made Active in Reports: 02/16/2012  
Number of Days to Update: 9

Source: Department of Environmental Protection  
Telephone: 850-245-8853  
Last EDR Contact: 05/08/2012  
Next Scheduled EDR Contact: 08/20/2012  
Data Release Frequency: Quarterly

## FINANCIAL ASSURANCE 2: Financial Assurance Information Listing

A listing of financial assurance information for solid waste facilities.

Date of Government Version: 02/06/2012  
Date Data Arrived at EDR: 02/07/2012  
Date Made Active in Reports: 02/16/2012  
Number of Days to Update: 9

Source: Department of Environmental Protection  
Telephone: 850-245-8743  
Last EDR Contact: 05/07/2012  
Next Scheduled EDR Contact: 08/20/2012  
Data Release Frequency: Varies

## FINANCIAL ASSURANCE 1: Financial Assurance Information Listing

A list of hazardous waste facilities required to provide financial assurance under RCRA.

Date of Government Version: 03/27/2012  
Date Data Arrived at EDR: 03/28/2012  
Date Made Active in Reports: 04/17/2012  
Number of Days to Update: 20

Source: Department of Environmental Protection  
Telephone: 850-245-8793  
Last EDR Contact: 05/07/2012  
Next Scheduled EDR Contact: 08/20/2012  
Data Release Frequency: Varies

## **EDR PROPRIETARY RECORDS**

### ***EDR Proprietary Records***

#### Manufactured Gas Plants: EDR Proprietary Manufactured Gas Plants

The EDR Proprietary Manufactured Gas Plant Database includes records of coal gas plants (manufactured gas plants) compiled by EDR's researchers. Manufactured gas sites were used in the United States from the 1800's to 1950's to produce a gas that could be distributed and used as fuel. These plants used whale oil, rosin, coal, or a mixture of coal, oil, and water that also produced a significant amount of waste. Many of the byproducts of the gas production, such as coal tar (oily waste containing volatile and non-volatile chemicals), sludges, oils and other compounds are potentially hazardous to human health and the environment. The byproduct from this process was frequently disposed of directly at the plant site and can remain or spread slowly, serving as a continuous source of soil and groundwater contamination.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: N/A  
Date Data Arrived at EDR: N/A  
Date Made Active in Reports: N/A  
Number of Days to Update: N/A

Source: EDR, Inc.  
Telephone: N/A  
Last EDR Contact: N/A  
Next Scheduled EDR Contact: N/A  
Data Release Frequency: No Update Planned

## EDR Historical Auto Stations: EDR Proprietary Historic Gas Stations

EDR has searched selected national collections of business directories and has collected listings of potential gas station/filling station/service station sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include gas station/filling station/service station establishments. The categories reviewed included, but were not limited to gas, gas station, gasoline station, filling station, auto, automobile repair, auto service station, service station, etc.

Date of Government Version: N/A  
Date Data Arrived at EDR: N/A  
Date Made Active in Reports: N/A  
Number of Days to Update: N/A

Source: EDR, Inc.  
Telephone: N/A  
Last EDR Contact: N/A  
Next Scheduled EDR Contact: N/A  
Data Release Frequency: Varies

## EDR Historical Cleaners: EDR Proprietary Historic Dry Cleaners

EDR has searched selected national collections of business directories and has collected listings of potential dry cleaner sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include dry cleaning establishments. The categories reviewed included, but were not limited to dry cleaners, cleaners, laundry, laundromat, cleaning/laundry, wash & dry etc.

Date of Government Version: N/A  
Date Data Arrived at EDR: N/A  
Date Made Active in Reports: N/A  
Number of Days to Update: N/A

Source: EDR, Inc.  
Telephone: N/A  
Last EDR Contact: N/A  
Next Scheduled EDR Contact: N/A  
Data Release Frequency: Varies

## COUNTY RECORDS

### ALACHUA COUNTY:

#### Facility List

List of all regulated facilities in Alachua County.

Date of Government Version: 04/01/2011  
Date Data Arrived at EDR: 04/26/2011  
Date Made Active in Reports: 05/25/2011  
Number of Days to Update: 29

Source: Alachua County Environmental Protection Department  
Telephone: 352-264-6800  
Last EDR Contact: 04/10/2012  
Next Scheduled EDR Contact: 07/16/2012  
Data Release Frequency: Annually

### BROWARD COUNTY:

#### Aboveground Storage Tanks

Aboveground storage tank locations in Broward County.

Date of Government Version: 03/14/2012  
Date Data Arrived at EDR: 03/15/2012  
Date Made Active in Reports: 04/18/2012  
Number of Days to Update: 34

Source: Broward County Environmental Protection Department  
Telephone: 954-818-7509  
Last EDR Contact: 03/15/2012  
Next Scheduled EDR Contact: 06/18/2012  
Data Release Frequency: Varies

#### Semi-Annual Inventory Report on Contaminated Locations

Early Detection Incentive/Environmental Assessment Remediation. This report monitors the status and remediation progress of known contaminated locations within Broward County. Sites listed by the US EPA, the Florida Department of Environmental Protection, and sites licensed for contamination assessment and cleanup by the Division of Pollution Prevention and Remediation Programs of the Department.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 03/05/2012  
Date Data Arrived at EDR: 03/06/2012  
Date Made Active in Reports: 03/21/2012  
Number of Days to Update: 15

Source: Broward County Environmental Protection Department  
Telephone: 954-818-7509  
Last EDR Contact: 03/06/2012  
Next Scheduled EDR Contact: 06/18/2012  
Data Release Frequency: Semi-Annually

## Hazardous Material Sites

HM sites use or store greater than 25 gallons of hazardous materials per month.

Date of Government Version: 03/14/2012  
Date Data Arrived at EDR: 03/15/2012  
Date Made Active in Reports: 04/17/2012  
Number of Days to Update: 33

Source: Broward County Environmental Protection Department  
Telephone: 954-818-7509  
Last EDR Contact: 03/15/2012  
Next Scheduled EDR Contact: 06/18/2012  
Data Release Frequency: Annually

## Notice Of Violations Sites

NOV facilities have received a notice of violation letter under the Broward County Chapter 27 Code.

Date of Government Version: 03/14/2012  
Date Data Arrived at EDR: 03/15/2012  
Date Made Active in Reports: 04/17/2012  
Number of Days to Update: 33

Source: Broward County Environmental Protection Department  
Telephone: 954-818-7509  
Last EDR Contact: 03/15/2012  
Next Scheduled EDR Contact: 06/18/2012  
Data Release Frequency: Annually

## Underground Storage Tanks

All known regulated storage tanks within Broward County, including those tanks that have been closed

Date of Government Version: 03/14/2012  
Date Data Arrived at EDR: 03/15/2012  
Date Made Active in Reports: 04/18/2012  
Number of Days to Update: 34

Source: Broward County Environmental Protection Department  
Telephone: 954-818-7509  
Last EDR Contact: 03/15/2012  
Next Scheduled EDR Contact: 06/18/2012  
Data Release Frequency: Annually

## HILLSBOROUGH COUNTY:

### HILLSBOROUGH CO LF

Hillsborough county landfill sites.

Date of Government Version: 06/01/2010  
Date Data Arrived at EDR: 01/18/2012  
Date Made Active in Reports: 02/21/2012  
Number of Days to Update: 34

Source: Hillsborough County Environmental Protection Commission  
Telephone: 813-627-2600  
Last EDR Contact: 04/10/2012  
Next Scheduled EDR Contact: 07/30/2012  
Data Release Frequency: Varies

## MIAMI-DADE COUNTY:

### Air Permit Sites

Facilities that release or have a potential to release pollutants.

Date of Government Version: 03/05/2012  
Date Data Arrived at EDR: 03/06/2012  
Date Made Active in Reports: 03/21/2012  
Number of Days to Update: 15

Source: Department of Environmental Resources Management  
Telephone: 305-372-6755  
Last EDR Contact: 03/06/2012  
Next Scheduled EDR Contact: 06/18/2012  
Data Release Frequency: Semi-Annually

### Grease Trap Sites

Any non-residential facility that discharges waste to a sanitary sewer.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 12/05/2011  
Date Data Arrived at EDR: 12/06/2011  
Date Made Active in Reports: 01/13/2012  
Number of Days to Update: 38

Source: Dade County Dept. of Env. Resources Mgmt.  
Telephone: 305-372-6508  
Last EDR Contact: 12/06/2011  
Next Scheduled EDR Contact: 03/19/2012  
Data Release Frequency: Semi-Annually

## Marine Facilities Operating Permit

What is this permit used for? Miami-Dade County Ordinance 89-104 and Section 24-18 of the Code of Miami-Dade County require the following types of marine facilities to obtain annual operating permits from DERM: All recreational boat docking facilities with ten (10) or more boat slips, moorings, davit spaces, and vessel tie-up spaces. All boat storage facilities contiguous to tidal waters in Miami-Dade County with ten (10) or more dry storage spaces including boatyards and boat manufacturing facilities.

Date of Government Version: 03/05/2012  
Date Data Arrived at EDR: 03/06/2012  
Date Made Active in Reports: 03/21/2012  
Number of Days to Update: 15

Source: DERM  
Telephone: 305-372-3576  
Last EDR Contact: 03/06/2012  
Next Scheduled EDR Contact: 06/18/2012  
Data Release Frequency: Quarterly

## Miami River Enforcement

The Miami River Enforcement database files were created for facilities and in some instances vessels that were inspected by a workgroup within the Department that was identified as the Miami River Enforcement Group. The files do not all necessarily reflect enforcement cases and some were created for locations that were permitted by other Sections within the Department.

Date of Government Version: 03/05/2012  
Date Data Arrived at EDR: 03/06/2012  
Date Made Active in Reports: 03/21/2012  
Number of Days to Update: 15

Source: DERM  
Telephone: 305-372-3576  
Last EDR Contact: 03/06/2012  
Next Scheduled EDR Contact: 06/18/2012  
Data Release Frequency: Quarterly

## Hazardous Waste Sites

Sites with the potential to generate waste

Date of Government Version: 03/05/2012  
Date Data Arrived at EDR: 03/06/2012  
Date Made Active in Reports: 03/21/2012  
Number of Days to Update: 15

Source: Dade County Department of Environmental Resources Management  
Telephone: 305-372-6755  
Last EDR Contact: 03/06/2012  
Next Scheduled EDR Contact: 06/18/2012  
Data Release Frequency: Semi-Annually

## Industrial Waste Type 2-4 Sites

IW2s are facilities having reclaim or recycling systems with no discharges, aboveground holding tanks or spill prevention and countermeasure plans. IW4s are facilities that discharge an effluent to the ground.

Date of Government Version: 03/05/2012  
Date Data Arrived at EDR: 03/06/2012  
Date Made Active in Reports: 03/21/2012  
Number of Days to Update: 15

Source: Department of Environmental Resources Management  
Telephone: 305-372-6700  
Last EDR Contact: 03/06/2012  
Next Scheduled EDR Contact: 06/18/2012  
Data Release Frequency: Semi-Annually

## Industrial Waste Type 5 Sites

Generally these facilities fall under the category of "conditionally exempt small quantity generator" or "small quantity generator".

Date of Government Version: 03/05/2012  
Date Data Arrived at EDR: 03/06/2012  
Date Made Active in Reports: 03/21/2012  
Number of Days to Update: 15

Source: Department of Environmental Resources Management  
Telephone: 305-372-6700  
Last EDR Contact: 03/06/2012  
Next Scheduled EDR Contact: 06/18/2012  
Data Release Frequency: Semi-Annually



# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## Industrial Waste Type 6

Permits issued to those non-residential land uses located within the major drinking water wellfield protection areas that are not served by sanitary sewers. These facilities do not handle hazardous materials but are regulated because of the env. sensitivity of the areas where they are located.

Date of Government Version: 03/05/2012	Source: Department of Environmental Resources Management
Date Data Arrived at EDR: 03/06/2012	Telephone: 305-372-6700
Date Made Active in Reports: 03/21/2012	Last EDR Contact: 03/06/2012
Number of Days to Update: 15	Next Scheduled EDR Contact: 06/18/2012
	Data Release Frequency: Semi-Annually

## Industrial Waste Permit Sites

Facilities that either generate more than 25,000 of wastewater per day to sanitary sewers or are pre-defined by EPA.

Date of Government Version: 03/05/2012	Source: Department of Environmental Resources Management
Date Data Arrived at EDR: 03/06/2012	Telephone: 305-372-6700
Date Made Active in Reports: 03/21/2012	Last EDR Contact: 03/06/2012
Number of Days to Update: 15	Next Scheduled EDR Contact: 06/18/2012
	Data Release Frequency: Semi-Annually

## Enforcement Case Tracking System Sites

Enforcement cases monitored by the Dade County Department of Environmental Resources Management.

Date of Government Version: 03/05/2012	Source: Department of Environmental Resources Management
Date Data Arrived at EDR: 03/06/2012	Telephone: 305-372-6755
Date Made Active in Reports: 03/21/2012	Last EDR Contact: 03/06/2012
Number of Days to Update: 15	Next Scheduled EDR Contact: 06/18/2012
	Data Release Frequency: Semi-Annually

## Fuel Spills Cases

DERM documents fuel spills of sites that are not in a state program.

Date of Government Version: 01/08/2009	Source: Department of Environmental Resources Management
Date Data Arrived at EDR: 01/13/2009	Telephone: 305-372-6755
Date Made Active in Reports: 02/05/2009	Last EDR Contact: 12/06/2011
Number of Days to Update: 23	Next Scheduled EDR Contact: 03/19/2012
	Data Release Frequency: Semi-Annually

## Storage Tanks

A listing of aboveground and underground storage tank site locations.

Date of Government Version: 03/05/2012	Source: Department of Environmental Resource Management
Date Data Arrived at EDR: 03/06/2012	Telephone: 305-372-6700
Date Made Active in Reports: 03/21/2012	Last EDR Contact: 03/06/2012
Number of Days to Update: 15	Next Scheduled EDR Contact: 06/18/2012
	Data Release Frequency: Semi-Annually

## PALM BEACH COUNTY:

### PALM BEACH CO. LF

Palm Beach County Inventory of Solid Waste Sites.

Date of Government Version: 09/01/2011	Source: Palm Beach County Solid Waste Authority
Date Data Arrived at EDR: 09/20/2011	Telephone: 561-640-4000
Date Made Active in Reports: 10/10/2011	Last EDR Contact: 03/23/2012
Number of Days to Update: 20	Next Scheduled EDR Contact: 07/02/2012
	Data Release Frequency: Varies

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## OTHER DATABASE(S)

Depending on the geographic area covered by this report, the data provided in these specialty databases may or may not be complete. For example, the existence of wetlands information data in a specific report does not mean that all wetlands in the area covered by the report are included. Moreover, the absence of any reported wetlands information does not necessarily mean that wetlands do not exist in the area covered by the report.

### CT MANIFEST: Hazardous Waste Manifest Data

Facility and manifest data. Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a tsd facility.

Date of Government Version: 02/20/2012	Source: Department of Energy & Environmental Protection
Date Data Arrived at EDR: 02/20/2012	Telephone: 860-424-3375
Date Made Active in Reports: 03/15/2012	Last EDR Contact: 05/22/2012
Number of Days to Update: 24	Next Scheduled EDR Contact: 09/03/2012
	Data Release Frequency: Annually

### NJ MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 12/31/2010	Source: Department of Environmental Protection
Date Data Arrived at EDR: 07/20/2011	Telephone: N/A
Date Made Active in Reports: 08/11/2011	Last EDR Contact: 04/17/2012
Number of Days to Update: 22	Next Scheduled EDR Contact: 07/30/2012
	Data Release Frequency: Annually

### NY MANIFEST: Facility and Manifest Data

Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a TSD facility.

Date of Government Version: 01/10/2012	Source: Department of Environmental Conservation
Date Data Arrived at EDR: 02/09/2012	Telephone: 518-402-8651
Date Made Active in Reports: 03/09/2012	Last EDR Contact: 05/09/2012
Number of Days to Update: 29	Next Scheduled EDR Contact: 08/20/2012
	Data Release Frequency: Annually

### PA MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 12/31/2009	Source: Department of Environmental Protection
Date Data Arrived at EDR: 01/26/2012	Telephone: 717-783-8990
Date Made Active in Reports: 03/06/2012	Last EDR Contact: 04/23/2012
Number of Days to Update: 40	Next Scheduled EDR Contact: 08/06/2012
	Data Release Frequency: Annually

### RI MANIFEST: Manifest information

Hazardous waste manifest information

Date of Government Version: 12/31/2010	Source: Department of Environmental Management
Date Data Arrived at EDR: 06/24/2011	Telephone: 401-222-2797
Date Made Active in Reports: 06/30/2011	Last EDR Contact: 02/27/2012
Number of Days to Update: 6	Next Scheduled EDR Contact: 06/11/2012
	Data Release Frequency: Annually

### WI MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 12/31/2010	Source: Department of Natural Resources
Date Data Arrived at EDR: 08/19/2011	Telephone: N/A
Date Made Active in Reports: 09/15/2011	Last EDR Contact: 03/19/2012
Number of Days to Update: 27	Next Scheduled EDR Contact: 07/02/2012
	Data Release Frequency: Annually

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

**Oil/Gas Pipelines:** This data was obtained by EDR from the USGS in 1994. It is referred to by USGS as GeoData Digital Line Graphs from 1:100,000-Scale Maps. It was extracted from the transportation category including some oil, but primarily gas pipelines.

**Electric Power Transmission Line Data**

Source: Rextag Strategies Corp.

Telephone: (281) 769-2247

U.S. Electric Transmission and Power Plants Systems Digital GIS Data

**Sensitive Receptors:** There are individuals deemed sensitive receptors due to their fragile immune systems and special sensitivity to environmental discharges. These sensitive receptors typically include the elderly, the sick, and children. While the location of all sensitive receptors cannot be determined, EDR indicates those buildings and facilities - schools, daycares, hospitals, medical centers, and nursing homes - where individuals who are sensitive receptors are likely to be located.

**AHA Hospitals:**

Source: American Hospital Association, Inc.

Telephone: 312-280-5991

The database includes a listing of hospitals based on the American Hospital Association's annual survey of hospitals.

**Medical Centers: Provider of Services Listing**

Source: Centers for Medicare & Medicaid Services

Telephone: 410-786-3000

A listing of hospitals with Medicare provider number, produced by Centers of Medicare & Medicaid Services, a federal agency within the U.S. Department of Health and Human Services.

**Nursing Homes**

Source: National Institutes of Health

Telephone: 301-594-6248

Information on Medicare and Medicaid certified nursing homes in the United States.

**Public Schools**

Source: National Center for Education Statistics

Telephone: 202-502-7300

The National Center for Education Statistics' primary database on elementary and secondary public education in the United States. It is a comprehensive, annual, national statistical database of all public elementary and secondary schools and school districts, which contains data that are comparable across all states.

**Private Schools**

Source: National Center for Education Statistics

Telephone: 202-502-7300

The National Center for Education Statistics' primary database on private school locations in the United States.

**Daycare Centers: Department of Children & Families**

Source: Provider Information

Telephone: 850-488-4900

**Flood Zone Data:** This data, available in select counties across the country, was obtained by EDR in 2003 & 2011 from the Federal Emergency Management Agency (FEMA). Data depicts 100-year and 500-year flood zones as defined by FEMA.

**NWI:** National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002 and 2005 from the U.S. Fish and Wildlife Service.

**State Wetlands Data: Wetlands Inventory**

Source: Department of Environmental Protection

Telephone: 850-245-8238

**Scanned Digital USGS 7.5' Topographic Map (DRG)**

Source: United States Geologic Survey

A digital raster graphic (DRG) is a scanned image of a U.S. Geological Survey topographic map. The map images are made by scanning published paper maps on high-resolution scanners. The raster image is georeferenced and fit to the Universal Transverse Mercator (UTM) projection.

# GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

## STREET AND ADDRESS INFORMATION

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## GEOCHECK<sup>®</sup> - PHYSICAL SETTING SOURCE ADDENDUM

### TARGET PROPERTY ADDRESS

THE PALMS  
7700 N. UNIVERSITY DRIVE  
FORT LAUDERDALE, FL 33321

### TARGET PROPERTY COORDINATES

Latitude (North):	26.2178 - 26° 13' 4.08"
Longitude (West):	80.252 - 80° 15' 7.20"
Universal Transverse Mercator:	Zone 17
UTM X (Meters):	574722.2
UTM Y (Meters):	2899856.0
Elevation:	6 ft. above sea level

### USGS TOPOGRAPHIC MAP

Target Property Map:	26080-B3 COOPER CITY NE, FL
Most Recent Revision:	1983
East Map:	26080-B2 FORT LAUDERDALE NORTH, FL
Most Recent Revision:	1995

EDR's GeoCheck Physical Setting Source Addendum is provided to assist the environmental professional in forming an opinion about the impact of potential contaminant migration.

Assessment of the impact of contaminant migration generally has two principal investigative components:

1. Groundwater flow direction, and
2. Groundwater flow velocity.

Groundwater flow direction may be impacted by surface topography, hydrology, hydrogeology, characteristics of the soil, and nearby wells. Groundwater flow velocity is generally impacted by the nature of the geologic strata.

# GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

## GROUNDWATER FLOW DIRECTION INFORMATION

Groundwater flow direction for a particular site is best determined by a qualified environmental professional using site-specific well data. If such data is not reasonably ascertainable, it may be necessary to rely on other sources of information, such as surface topographic information, hydrologic information, hydrogeologic data collected on nearby properties, and regional groundwater flow information (from deep aquifers).

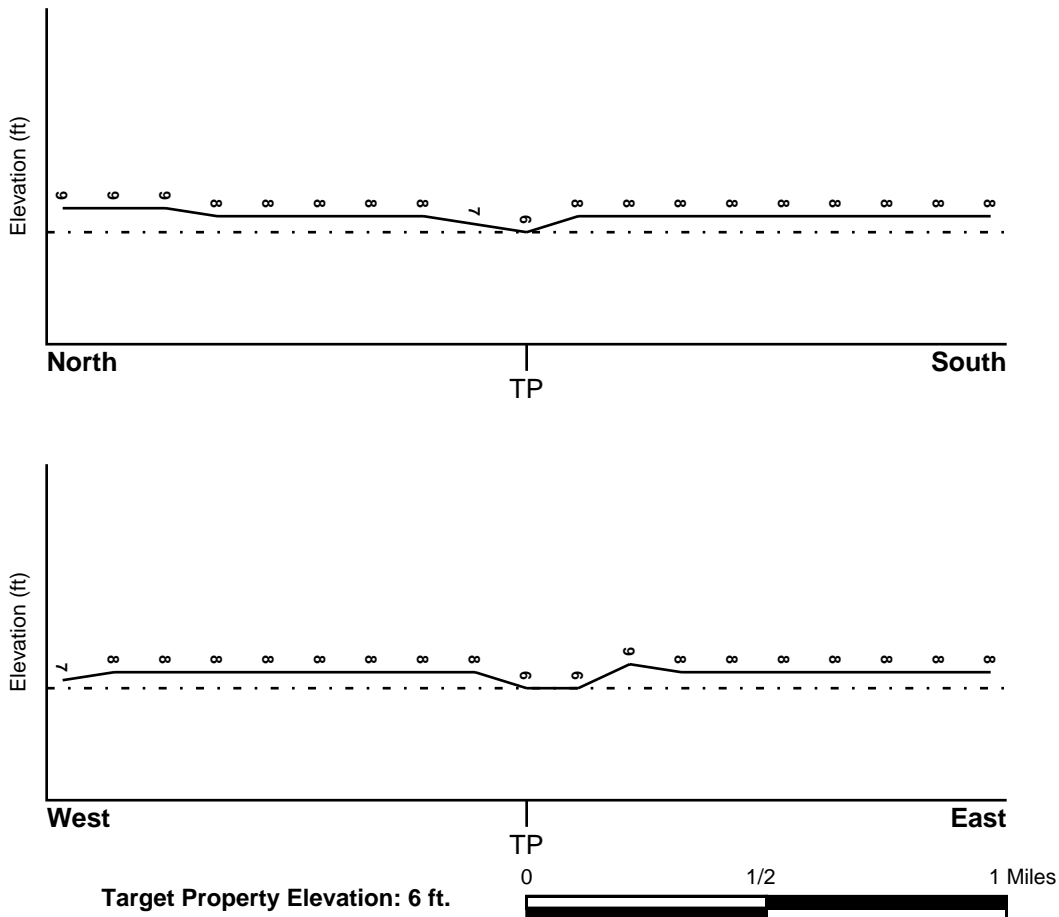
## TOPOGRAPHIC INFORMATION

Surface topography may be indicative of the direction of surficial groundwater flow. This information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

## TARGET PROPERTY TOPOGRAPHY

General Topographic Gradient: General East

## SURROUNDING TOPOGRAPHY: ELEVATION PROFILES



Source: Topography has been determined from the USGS 7.5' Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified.

# GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

## **HYDROLOGIC INFORMATION**

Surface water can act as a hydrologic barrier to groundwater flow. Such hydrologic information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

Refer to the Physical Setting Source Map following this summary for hydrologic information (major waterways and bodies of water).

## **FEMA FLOOD ZONE**

<u>Target Property County</u> BROWARD, FL	FEMA Flood <u>Electronic Data</u> YES - refer to the Overview Map and Detail Map
Flood Plain Panel at Target Property:	12011C0205F - FEMA Q3 Flood data
Additional Panels in search area:	12011C0115F - FEMA Q3 Flood data

## **NATIONAL WETLAND INVENTORY**

<u>NWI Quad at Target Property</u> COOPER CITY NE	NWI Electronic <u>Data Coverage</u> YES - refer to the Overview Map and Detail Map
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## **HYDROGEOLOGIC INFORMATION**

Hydrogeologic information obtained by installation of wells on a specific site can often be an indicator of groundwater flow direction in the immediate area. Such hydrogeologic information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

### ***Site-Specific Hydrogeological Data\*:***

Search Radius:	1.25 miles
Status:	Not found

## **AQUIFLOW®**

Search Radius: 1.000 Mile.

EDR has developed the AQUIFLOW Information System to provide data on the general direction of groundwater flow at specific points. EDR has reviewed reports submitted by environmental professionals to regulatory authorities at select sites and has extracted the date of the report, groundwater flow direction as determined hydrogeologically, and the depth to water table.

<u>MAP ID</u>	<u>LOCATION FROM TP</u>	<u>GENERAL DIRECTION GROUNDWATER FLOW</u>
E16	1/2 - 1 Mile North	SW
I30	1/2 - 1 Mile North	S

For additional site information, refer to Physical Setting Source Map Findings.

## GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

### GROUNDWATER FLOW VELOCITY INFORMATION

Groundwater flow velocity information for a particular site is best determined by a qualified environmental professional using site specific geologic and soil strata data. If such data are not reasonably ascertainable, it may be necessary to rely on other sources of information, including geologic age identification, rock stratigraphic unit and soil characteristics data collected on nearby properties and regional soil information. In general, contaminant plumes move more quickly through sandy-gravelly types of soils than silty-clayey types of soils.

### GEOLOGIC INFORMATION IN GENERAL AREA OF TARGET PROPERTY

Geologic information can be used by the environmental professional in forming an opinion about the relative speed at which contaminant migration may be occurring.

#### **ROCK STRATIGRAPHIC UNIT**

Era: Cenozoic  
System: Quaternary  
Series: Pleistocene  
Code: Qp (*decoded above as Era, System & Series*)

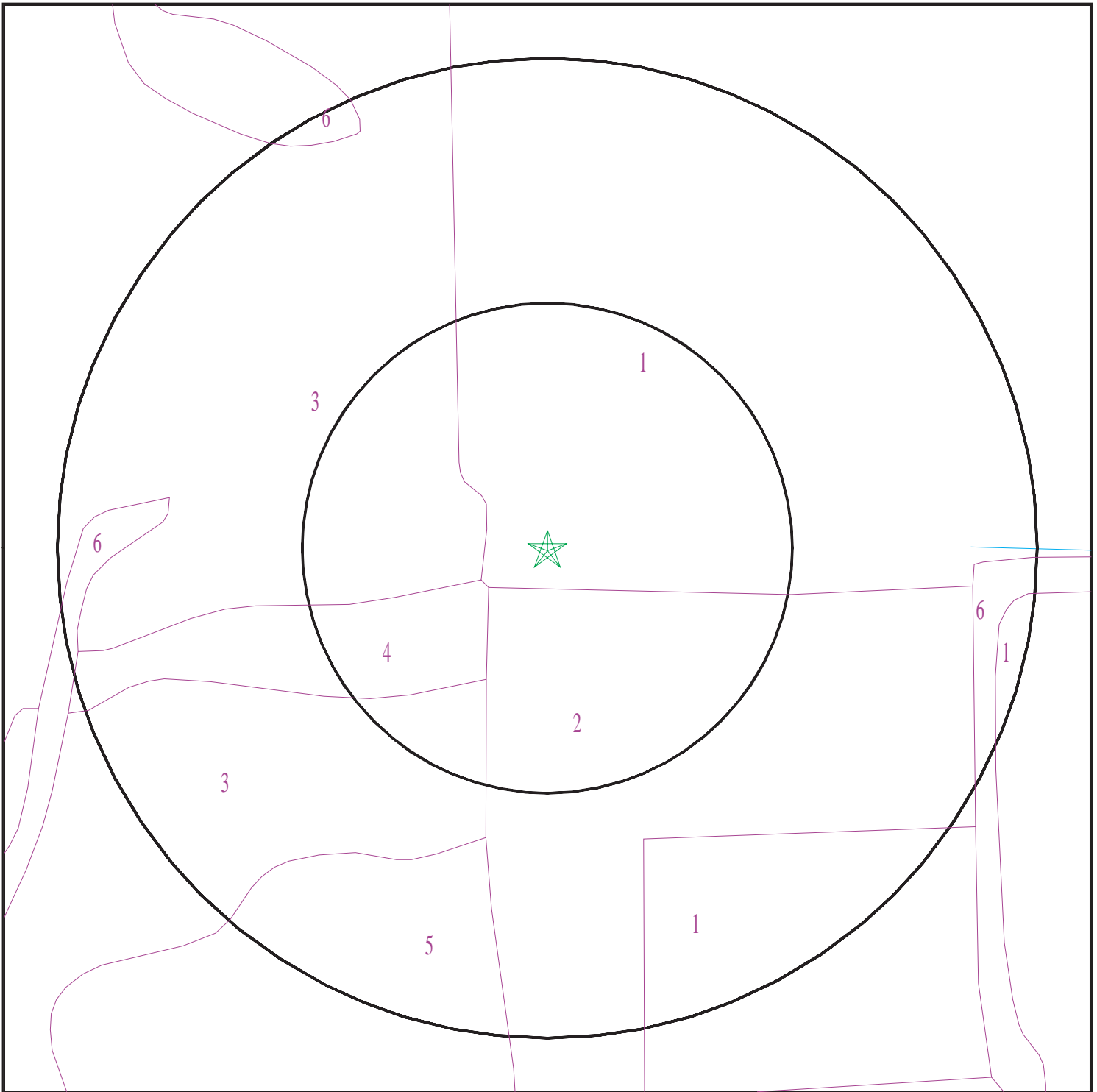
#### **GEOLOGIC AGE IDENTIFICATION**

Category: Stratified Sequence

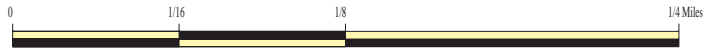
Geologic Age and Rock Stratigraphic Unit Source: P.G. Schruben, R.E. Arndt and W.J. Bawiec, Geology of the Conterminous U.S. at 1:2,500,000 Scale - a digital representation of the 1974 P.B. King and H.M. Beikman Map, USGS Digital Data Series DDS - 11 (1994).



# SSURGO SOIL MAP - 3332188.1s



- ★ Target Property
- SSURGO Soil
- Water



SITE NAME: The Palms  
ADDRESS: 7700 N. University Drive  
Fort Lauderdale FL 33321  
LAT/LONG: 26.2178 / 80.252

CLIENT: EE&G Environmental Services, LLC  
CONTACT: Nydia Carrasquillo  
INQUIRY #: 3332188.1s  
DATE: May 29, 2012 12:34 pm

# GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

## DOMINANT SOIL COMPOSITION IN GENERAL AREA OF TARGET PROPERTY

The U.S. Department of Agriculture's (USDA) Soil Conservation Service (SCS) leads the National Cooperative Soil Survey (NCSS) and is responsible for collecting, storing, maintaining and distributing soil survey information for privately owned lands in the United States. A soil map in a soil survey is a representation of soil patterns in a landscape. The following information is based on Soil Conservation Service SSURGO data.

### Soil Map ID: 1

Soil Component Name: Hallandale

Soil Surface Texture: fine sand

Hydrologic Group: Class B/D - Drained/undrained hydrology class of soils that can be drained and are classified.

Soil Drainage Class: Poorly drained

Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: High

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 31 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	3 inches	fine sand	Not reported	Not reported	Max: 141 Min: 14	Max: Min:
2	3 inches	16 inches	fine sand	Not reported	Not reported	Max: 141 Min: 14	Max: Min:
3	16 inches	16 inches	bedrock	Not reported	Not reported	Max: 141 Min: 14	Max: Min:

### Soil Map ID: 2

Soil Component Name: Matlacha

Soil Surface Texture: gravelly sand

Hydrologic Group: Class C - Slow infiltration rates. Soils with layers impeding downward movement of water, or soils with moderately fine or fine textures.

Soil Drainage Class: Somewhat poorly drained

## GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: High

Depth to Bedrock Min: > 127 inches

Depth to Watertable Min: > 76 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	22 inches	gravelly sand	Not reported	Not reported	Max: 141 Min: 14	Max: Min:
2	22 inches	44 inches	fine sand	Not reported	Not reported	Max: 141 Min: 14	Max: Min:
3	44 inches	48 inches	fine sandy loam	Not reported	Not reported	Max: 141 Min: 14	Max: Min:
4	48 inches	48 inches	bedrock	Not reported	Not reported	Max: 141 Min: 14	Max: Min:

### Soil Map ID: 3

Soil Component Name: Hallandale

Soil Surface Texture: fine sand

Hydrologic Group: Class B/D - Drained/undrained hydrology class of soils that can be drained and are classified.

Soil Drainage Class: Poorly drained

Hydric Status: Partially hydric

Corrosion Potential - Uncoated Steel: High

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 31 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	3 inches	fine sand	Not reported	Not reported	Max: 141 Min: 14	Max: Min:

## GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
2	3 inches	16 inches	fine sand	Not reported	Not reported	Max: 141 Min: 14	Max: Min:
3	16 inches	16 inches	bedrock	Not reported	Not reported	Max: 141 Min: 14	Max: Min:

### Soil Map ID: 4

Soil Component Name: Plantation

Soil Surface Texture: muck

Hydrologic Group: Class B/D - Drained/undrained hydrology class of soils that can be drained and are classified.

Soil Drainage Class: Very poorly drained

Hydric Status: Partially hydric

Corrosion Potential - Uncoated Steel: High

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	9 inches	muck	Not reported	Not reported	Max: 141 Min: 14	Max: Min:
2	9 inches	22 inches	fine sand	Not reported	Not reported	Max: 141 Min: 14	Max: Min:
3	22 inches	25 inches	fine sandy loam	Not reported	Not reported	Max: 141 Min: 14	Max: Min:
4	25 inches	25 inches	bedrock	Not reported	Not reported	Max: 141 Min: 14	Max: Min:

## GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

### Soil Map ID: 5

Soil Component Name: Margate

Soil Surface Texture: fine sand

Hydrologic Group: Class B/D - Drained/undrained hydrology class of soils that can be drained and are classified.

Soil Drainage Class: Poorly drained

Hydric Status: Partially hydric

Corrosion Potential - Uncoated Steel: High

Depth to Bedrock Min: > 77 inches

Depth to Watertable Min: > 0 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	7 inches	fine sand	Not reported	Not reported	Max: 141 Min: 14	Max: Min:
2	7 inches	16 inches	fine sand	Not reported	Not reported	Max: 141 Min: 14	Max: Min:
3	16 inches	27 inches	fine sand	Not reported	Not reported	Max: 141 Min: 14	Max: Min:
4	27 inches	31 inches	gravelly fine sand	Not reported	Not reported	Max: 141 Min: 14	Max: Min:
5	31 inches	31 inches	bedrock	Not reported	Not reported	Max: 141 Min: 14	Max: Min:

### Soil Map ID: 6

Soil Component Name: Water

Soil Surface Texture: fine sand

Hydrologic Group: Class B/D - Drained/undrained hydrology class of soils that can be drained and are classified.

Soil Drainage Class:  
Hydric Status: Unknown

Corrosion Potential - Uncoated Steel: Not Reported

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

No Layer Information available.

# GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

## LOCAL / REGIONAL WATER AGENCY RECORDS

EDR Local/Regional Water Agency records provide water well information to assist the environmental professional in assessing sources that may impact ground water flow direction, and in forming an opinion about the impact of contaminant migration on nearby drinking water wells.

## WELL SEARCH DISTANCE INFORMATION

<u>DATABASE</u>	<u>SEARCH DISTANCE (miles)</u>
Federal USGS	1.000
Federal FRDS PWS	Nearest PWS within 1 mile
State Database	1.000

## FEDERAL USGS WELL INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
C11	USGS2257751	1/4 - 1/2 Mile North
F18	USGS2257902	1/2 - 1 Mile South
G20	USGS2257722	1/2 - 1 Mile SSW
H28	USGS2257730	1/2 - 1 Mile SE

## FEDERAL FRDS PUBLIC WATER SUPPLY SYSTEM INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
No PWS System Found		

Note: PWS System location is not always the same as well location.

## STATE DATABASE WELL INFORMATION

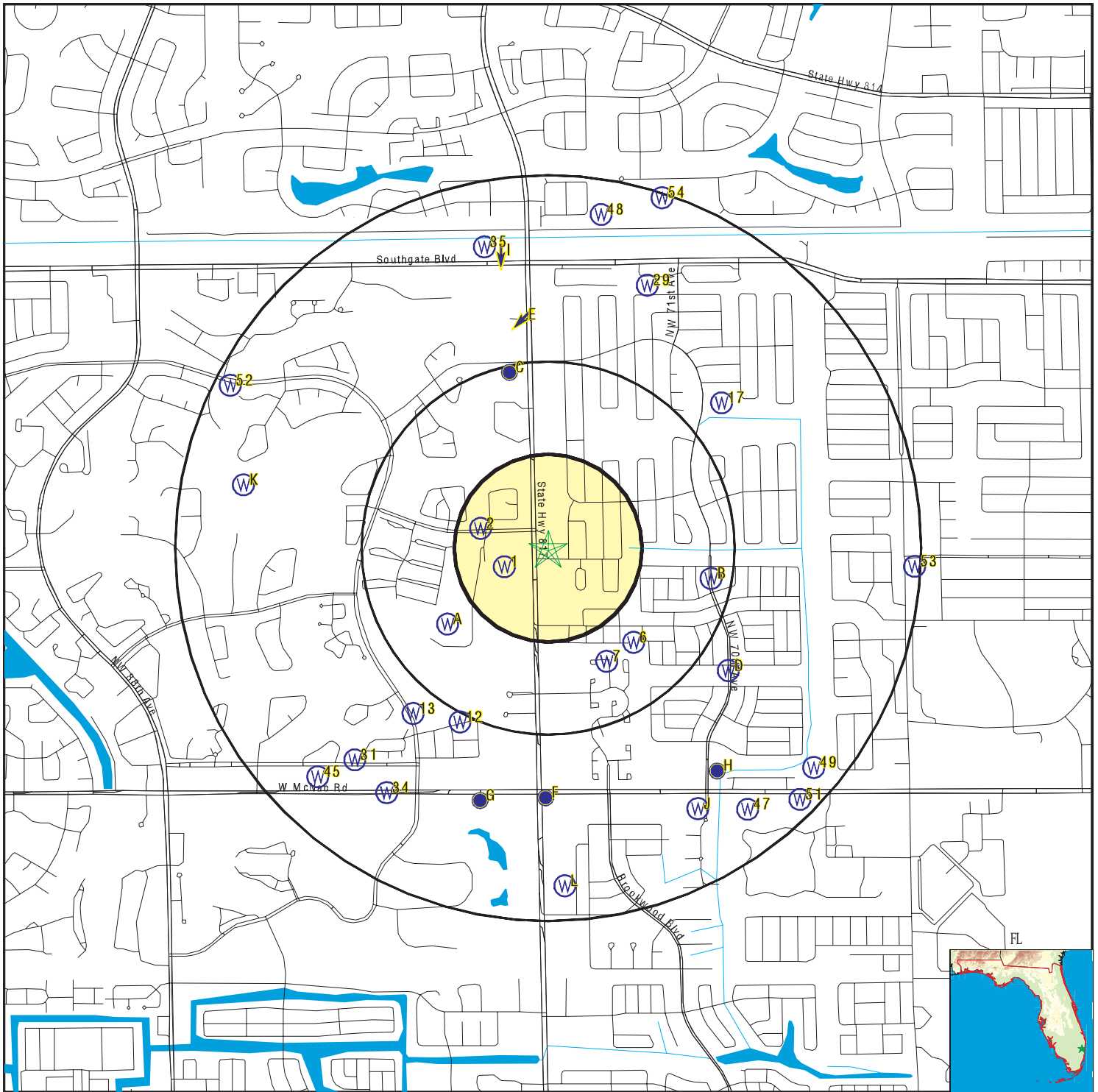
<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
1	FLSO70000013832	1/8 - 1/4 Mile WSW
2	FLSO70000013873	1/8 - 1/4 Mile WNW
A3	FLSO70000013759	1/4 - 1/2 Mile SW
A4	FLSO70000013760	1/4 - 1/2 Mile SW
A5	FLSO70000013761	1/4 - 1/2 Mile SW
6	FLSO70000013731	1/4 - 1/2 Mile SE
7	FLSO70000013710	1/4 - 1/2 Mile SSE
B8	FLSO70000013819	1/4 - 1/2 Mile ESE
B9	FLSO70000013826	1/4 - 1/2 Mile East
C10	FLSO70000014034	1/4 - 1/2 Mile NNW
12	FLSO70000013638	1/2 - 1 Mile SSW
13	FLSO70000013650	1/2 - 1 Mile SW
D14	FLSO70000013698	1/2 - 1 Mile SE
D15	FLSO70000013699	1/2 - 1 Mile SE
17	FLSO70000013992	1/2 - 1 Mile NE
E19	FLSO70000014113	1/2 - 1 Mile North
F21	FLSO70000013543	1/2 - 1 Mile South

## GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

### STATE DATABASE WELL INFORMATION

MAP ID	WELL ID	LOCATION FROM TP
F22	FLSO70000013544	1/2 - 1 Mile South
G23	FLSO70000013536	1/2 - 1 Mile SSW
G24	FLSO70000013535	1/2 - 1 Mile SSW
G25	FLSO70000013537	1/2 - 1 Mile SSW
G26	FLSO70000013539	1/2 - 1 Mile SSW
G27	FLSO70000013538	1/2 - 1 Mile SSW
29	FLSO70000014144	1/2 - 1 Mile NNE
31	FLSO70000013593	1/2 - 1 Mile SW
J32	FLSO70000013552	1/2 - 1 Mile SSE
H33	FLSO70000013569	1/2 - 1 Mile SE
34	FLSO70000013554	1/2 - 1 Mile SSW
35	FLSO70000014192	1/2 - 1 Mile NNW
I36	FLSO70000014194	1/2 - 1 Mile North
K37	FLSO70000013925	1/2 - 1 Mile WNW
K38	FLSO70000013924	1/2 - 1 Mile WNW
K39	FLSO70000013923	1/2 - 1 Mile WNW
K40	FLSO70000013926	1/2 - 1 Mile WNW
K41	FLSO70000013929	1/2 - 1 Mile WNW
K42	FLSO70000013928	1/2 - 1 Mile WNW
K43	FLSO70000013927	1/2 - 1 Mile WNW
J44	FLSO70000013507	1/2 - 1 Mile SSE
45	FLSO70000013575	1/2 - 1 Mile SW
L46	FLSO70000013443	1/2 - 1 Mile South
47	FLSO70000013529	1/2 - 1 Mile SE
48	FLSO70000014235	1/2 - 1 Mile North
49	FLSO70000013584	1/2 - 1 Mile SE
L50	FLSO70000013413	1/2 - 1 Mile South
51	FLSO70000013549	1/2 - 1 Mile SE
52	FLSO70000014023	1/2 - 1 Mile WNW
53	FLSO70000013833	1/2 - 1 Mile East
54	FLSO70000014253	1/2 - 1 Mile NNE

# PHYSICAL SETTING SOURCE MAP - 3332188.1s



- County Boundary
- Major Roads
- Contour Lines
- Earthquake epicenter, Richter 5 or greater
- Water Wells
- Public Water Supply Wells
- Cluster of Multiple Icons

- Groundwater Flow Direction
- Indeterminate Groundwater Flow at Location
- Groundwater Flow Varies at Location
- Closest Hydrogeological Data
- Oil, gas or related wells
- Sink holes

No contour lines were detected within this map area.

SITE NAME: The Palms  
 ADDRESS: 7700 N. University Drive  
 Fort Lauderdale FL 33321  
 LAT/LONG: 26.2178 / 80.252

CLIENT: EE&G Environmental Services, LLC  
 CONTACT: Nydia Carrasquillo  
 INQUIRY #: 3332188.1s  
 DATE: May 29, 2012 12:34 pm



# GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID  
 Direction  
 Distance  
 Elevation

Database      EDR ID Number

**1**  
**WSW** **FL WELLS**  
**1/8 - 1/4 Mile** **FLSO70000013832**  
**Higher**

Permit no:	06-04705-W	App no:	060406-27
Permit typ:	pumpage of <100000/gpd.		
Project na:	N LAUDERDALE, TAMARAC, RIVERSIDE, RAMBLEWOOD ELEM/SILVERLAKE		
Land Use:	landscape		
Acres serv:	17.5		
Facil id:	193041		
Facil type:	WELL		
Facil name:	1/2621		
Pump type:	CEN		
Diameter:	0		
Pump capac:	100		
Pump depth:	0		
X coord:	900780		
Y coord:	685292		
Well depth:	80		
Case depth:	80		
Use status:	Primary	Fac status:	Existing
Water use:	Irrigation		
Source:	Biscayne Aquifer		
Reviewer:	Jeffery Scott		
Secno:	2,4,27,32		
Twp:	48		
Rge:	41		
Cnty code:	Broward		
Fee catego:	GP MIN		
Site id:	FLSO70000013832		

**2**  
**WNW** **FL WELLS**  
**1/8 - 1/4 Mile** **FLSO70000013873**  
**Higher**

Permit no:	06-01908-W	App no:	931217-6
Permit typ:	pumpage of <100000/gpd.		
Project na:	WOODMONT TRACT 56		
Land Use:	landscape		
Acres serv:	5.1		
Facil id:	34548		
Facil type:	PUMP		
Facil name:	1		
Pump type:	CEN		
Diameter:	2.5		
Pump capac:	100		
Pump depth:	0		
X coord:	900440		
Y coord:	685833		
Well depth:	0		
Case depth:	0		
Use status:	PROD	Fac status:	Existing
Water use:	Irrigation		
Source:	On-site Lake(s)		
Reviewer:	David Sinn		
Secno:	4		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Twp: 49  
 Rge: 41  
 Cnty code: Broward  
 Fee catago: GP  
 Site id: FLSO70000013873

**A3**  
**SW**  
**1/4 - 1/2 Mile**  
**Higher**

**FL WELLS      FLSO70000013759**

Permit no:	06-02476-W	App no:	970811-3
Permit typ:	pumpage of <100000/gpd.		
Project na:	COLUMBIA UNIVERSITY HOSPITAL		
Land Use:	landscape		
Acres serv:	30.38		
Facil id:	40638		
Facil type:	PUMP		
Facil name:	1 - Jockey		
Pump type:	CEN		
Diameter:	2		
Pump capac:	75		
Pump depth:	0		
X coord:	899980		
Y coord:	684475		
Well depth:	0		
Case depth:	0		
Use status:	PROD	Fac status:	Proposed
Water use:	Irrigation		
Source:	Canal		
Reviewer:	Paulette M. Glebocki, P.G.		
Secno:	4		
Twp:	49		
Rge:	41		
Cnty code:	Broward		
Fee catago:	GP		
Site id:	FLSO70000013759		

**A4**  
**SW**  
**1/4 - 1/2 Mile**  
**Higher**

**FL WELLS      FLSO70000013760**

Permit no:	06-02476-W	App no:	970811-3
Permit typ:	pumpage of <100000/gpd.		
Project na:	COLUMBIA UNIVERSITY HOSPITAL		
Land Use:	landscape		
Acres serv:	30.38		
Facil id:	40639		
Facil type:	PUMP		
Facil name:	2		
Pump type:	CEN		
Diameter:	3		
Pump capac:	150		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Pump depth:	0		
X coord:	899980		
Y coord:	684475		
Well depth:	0		
Case depth:	0		
Use status:	PROD	Fac status:	Proposed
Water use:	Irrigation		
Source:	Canal		
Reviewer:	Paulette M. Glebocki, P.G.		
Secno:	4		
Twp:	49		
Rge:	41		
Cnty code:	Broward		
Fee catego:	GP		
Site id:	FLSO70000013760		

**A5  
SW  
1/4 - 1/2 Mile  
Higher**

**FL WELLS      FLSO70000013761**

Permit no:	06-02476-W	App no:	970811-3
Permit typ:	pumpage of <100000/gpd.		
Project na:	COLUMBIA UNIVERSITY HOSPITAL		
Land Use:	landscape		
Acres serv:	30.38		
Facil id:	40640		
Facil type:	PUMP		
Facil name:	3		
Pump type:	CEN		
Diameter:	3		
Pump capac:	150		
Pump depth:	0		
X coord:	899980		
Y coord:	684475		
Well depth:	0		
Case depth:	0		
Use status:	PROD	Fac status:	Proposed
Water use:	Irrigation		
Source:	Canal		
Reviewer:	Paulette M. Glebocki, P.G.		
Secno:	4		
Twp:	49		
Rge:	41		
Cnty code:	Broward		
Fee catego:	GP		
Site id:	FLSO70000013761		

**6  
SE  
1/4 - 1/2 Mile  
Higher**

**FL WELLS      FLSO70000013731**

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Permit no:	06-03969-W	App no:	031107-14
Permit typ:	pumpage of <100000/gpd.		
Project na:	NW 75TH STREET LANDSCAPING IRRIGATION		
Land Use:	landscape		
Acres serv:	.17		
Facil id:	144386		
Facil type:	PUMP		
Facil name:	P-1		
Pump type:	CEN		
Diameter:	3		
Pump capac:	60		
Pump depth:	0		
X coord:	902616		
Y coord:	684232		
Well depth:	0		
Case depth:	0		
Use status:	Primary	Fac status:	Proposed
Water use:	Irrigation		
Source:	Broward County WCD Canal System		
Reviewer:	Donna L. Moscone, P.G.		
Secno:	3		
Twp:	49		
Rge:	41		
Cnty code:	Broward		
Fee catego:	GP MIN		
Site id:	FLSO70000013731		

**7**  
**SSE**  
**1/4 - 1/2 Mile**  
**Higher**

**FL WELLS      FLSO70000013710**

Permit no:	06-01939-W	App no:	940214-3
Permit typ:	pumpage of <100000/gpd.		
Project na:	MAINLANDS OF TAMARAC LAKES FAIRCREST SECTION # 14		
Land Use:	industrial		
Acres serv:	1		
Facil id:	4033		
Facil type:	WELL		
Facil name:	1		
Pump type:	CEN		
Diameter:	0		
Pump capac:	30		
Pump depth:	6		
X coord:	902237		
Y coord:	683961		
Well depth:	70		
Case depth:	60		
Use status:	stand-by	Fac status:	Proposed
Water use:	Industrial		
Source:	Biscayne Aquifer		
Reviewer:	Thais Spence		
Secno:	3		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Twp: 49  
 Rge: 41  
 Cnty code: Broward  
 Fee catago: GP  
 Site id: FLSO70000013710

**B8  
 ESE  
 1/4 - 1/2 Mile  
 Higher**

**FL WELLS      FLSO70000013819**

Permit no:	06-02803-W	App no:	990310-6
Permit typ:	pumpage of <100000/gpd.		
Project na:	MERRILL GARDENS		
Land Use:	landscape		
Acres serv:	1.74		
Facil id:	29956		
Facil type:	WELL		
Facil name:	Well		
Pump type:	CEN		
Diameter:	0		
Pump capac:	60		
Pump depth:	0		
X coord:	903536		
Y coord:	685083		
Well depth:	50		
Case depth:	20		
Use status:	Primary	Fac status:	Proposed
Water use:	Irrigation		
Source:	Biscayne Aquifer		
Reviewer:	Alex Glebocki		
Secno:	3		
Twp:	49		
Rge:	41		
Cnty code:	Broward		
Fee catago:	GP		
Site id:	FLSO70000013819		

**B9  
 East  
 1/4 - 1/2 Mile  
 Higher**

**FL WELLS      FLSO70000013826**

Permit no:	06-01520-W	App no:	910204-18
Permit typ:	pumpage of <100000/gpd.		
Project na:	VANGUARD VILLAGE COMMUNITY II SECTION #17		
Land Use:	industrial		
Acres serv:	1		
Facil id:	9166		
Facil type:	WELL		
Facil name:	1		
Pump type:	CEN		
Diameter:	0		
Pump capac:	30		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Pump depth:	6		
X coord:	903880		
Y coord:	685204		
Well depth:	70		
Case depth:	60		
Use status:	stand-by	Fac status:	Proposed
Water use:	Industrial		
Source:	Biscayne Aquifer		
Reviewer:	Thais Spence		
Secno:	3		
Twp:	49		
Rge:	41		
Cnty code:	Broward		
Fee catego:	GP		
Site id:	FLSO70000013826		

**C10**  
**NNW**  
**1/4 - 1/2 Mile**  
**Higher**

**FL WELLS      FLSO70000014034**

Permit no:	06-01548-W	App no:	910409-20
Permit typ:	pumpage of <100000/gpd.		
Project na:	WALGREENS/WOOLMONT SHOPPES		
Land Use:	landscape		
Acres serv:	.89		
Facil id:	9279		
Facil type:	WELL		
Facil name:	1		
Pump type:	CEN		
Diameter:	0		
Pump capac:	150		
Pump depth:	0		
X coord:	900744		
Y coord:	687988		
Well depth:	100		
Case depth:	70		
Use status:	Primary	Fac status:	Proposed
Water use:	Irrigation		
Source:	Biscayne Aquifer		
Reviewer:	Alex Glebocki		
Secno:	4		
Twp:	49		
Rge:	41		
Cnty code:	Broward		
Fee catego:	GP		
Site id:	FLSO70000014034		

**C11**  
**North**  
**1/4 - 1/2 Mile**  
**Higher**

**FED USGS      USGS2257751**

# GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Agency cd:	USGS	Site no:	261328080151301
Site name:	G -2044		
Latitude:	261328	EDR Site id:	USGS2257751
Longitude:	0801513	Dec lat:	26.22480485
Dec lon:	-80.2533819	Coor meth:	M
Coor accr:	F	Latlong datum:	NAD27
Dec latlong datum:	NAD83	District:	122
State:	12	County:	011
Country:	US	Land net:	NENESES04T49SR41ET
Location map:	Not Reported	Map scale:	Not Reported
Altitude:	10.00		
Altitude method:	Interpolated from topographic map		
Altitude accuracy:	Not Reported		
Altitude datum:	National Geodetic Vertical Datum of 1929		
Hydrologic:	Everglades. Florida. Area = 8400 sq.mi.		
Topographic:	Flat surface		
Site type:	Ground-water other than Spring	Date construction:	19710101
Date inventoried:	Not Reported	Mean greenwich time offset:	EST
Local standard time flag:	Y		
Type of ground water site:	Single well, other than collector or Ranney type		
Aquifer Type:	Not Reported		
Aquifer:	Not Reported		
Well depth:	Not Reported	Hole depth:	Not Reported
Source of depth data:	Not Reported		
Project number:	459832500		
Real time data flag:	0		
Daily flow data end date:	0000-00-00	Daily flow data begin date:	0000-00-00
Peak flow data begin date:	0000-00-00	Daily flow data count:	0
Peak flow data count:	0	Peak flow data end date:	0000-00-00
Water quality data end date:	1977-10-06	Water quality data begin date:	1975-10-15
Ground water data begin date:	1975-10-15	Water quality data count:	5
Ground water data count:	5	Ground water data end date:	1977-10-06

Ground-water levels, Number of Measurements: 5

Date	Feet below Surface	Feet to Sealevel	Date	Feet below Surface	Feet to Sealevel
1977-10-06		4.45	1977-05-03		4.03
1976-10-14		3.45	1976-05-06		4.08
1975-10-15		4.22			

**12  
SSW  
1/2 - 1 Mile  
Higher**

**FL WELLS      FLSO70000013638**

Permit no:	06-03007-W	App no:	000412-3
Permit typ:	pumpage of <100000/gpd.		
Project na:	UNIVERSITY HOSPITAL AND MEDICAL CENTER		
Land Use:	landscape		
Acres serv:	1.25		
Facil id:	32849		
Facil type:	WELL		
Facil name:	1		
Pump type:	CEN		
Diameter:	0		
Pump capac:	220		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Pump depth:	45		
X coord:	900164		
Y coord:	683091		
Well depth:	60		
Case depth:	45		
Use status:	Primary	Fac status:	Proposed
Water use:	Irrigation		
Source:	Biscayne Aquifer		
Reviewer:	Paulette M. Glebocki, P.G.		
Secno:	4		
Twp:	49		
Rge:	41		
Cnty code:	Broward		
Fee catego:	GP		
Site id:	FLSO70000013638		

**13  
SW  
1/2 - 1 Mile  
Higher**

**FL WELLS      FLSO70000013650**

Permit no:	06-03732-W	App no:	060817-26
Permit typ:	pumpage of <100000/gpd.		
Project na:	TAMARAC ROAD RESURFACING PROJECT		
Land Use:	landscape		
Acres serv:	12.3		
Facil id:	128286		
Facil type:	PUMP		
Facil name:	P-I		
Pump type:	CEN		
Diameter:	4		
Pump capac:	170		
Pump depth:	0		
X coord:	899499		
Y coord:	683206		
Well depth:	0		
Case depth:	0		
Use status:	Primary	Fac status:	Existing
Water use:	Irrigation		
Source:	On-site Lake(s)		
Reviewer:	Donna L. Moscone, P.G.		
Secno:	4-9		
Twp:	49		
Rge:	41		
Cnty code:	Broward		
Fee catego:	GP MIN		
Site id:	FLSO70000013650		

**D14  
SE  
1/2 - 1 Mile  
Higher**

**FL WELLS      FLSO70000013698**



## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Permit no:	06-05340-W	App no:	060913-8
Permit typ:	pumpage of <100000/gpd.		
Project na:	MAINLANDS FORSYTHE COLONY SIXTEEN		
Land Use:	landscape		
Acres serv:	13		
Facil id:	219649		
Facil type:	PUMP		
Facil name:	Pump 1		
Pump type:	CEN		
Diameter:	6		
Pump capac:	90		
Pump depth:	0		
X coord:	903960		
Y coord:	683840		
Well depth:	0		
Case depth:	0		
Use status:	Primary	Fac status:	Existing
Water use:	Irrigation		
Source:	Off-site Canal(s)		
Reviewer:	Morgan LeLay		
Secno:	3		
Twp:	49		
Rge:	41		
Cnty code:	Broward		
Fee catego:	GP MIN		
Site id:	FLSO70000013698		

**D15  
SE  
1/2 - 1 Mile  
Higher**

**FL WELLS      FLSO70000013699**

Permit no:	06-05340-W	App no:	060913-8
Permit typ:	pumpage of <100000/gpd.		
Project na:	MAINLANDS FORSYTHE COLONY SIXTEEN		
Land Use:	landscape		
Acres serv:	13		
Facil id:	219650		
Facil type:	PUMP		
Facil name:	Pump 2		
Pump type:	CEN		
Diameter:	6		
Pump capac:	90		
Pump depth:	0		
X coord:	903960		
Y coord:	683840		
Well depth:	0		
Case depth:	0		
Use status:	Primary	Fac status:	Existing
Water use:	Irrigation		
Source:	Off-site Canal(s)		
Reviewer:	Morgan LeLay		
Secno:	3		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Twp: 49  
 Rge: 41  
 Cnty code: Broward  
 Fee catago: GP MIN  
 Site id: FLSO70000013699

<b>E16</b>	Site ID: 8945310		
<b>North</b>	Groundwater Flow: SW	<b>AQUIFLOW</b>	<b>367</b>
<b>1/2 - 1 Mile</b>	Water Table Depth: 5.76-7.01 ft.		
<b>Higher</b>	Date: 11/11/89		

<b>17</b>			
<b>NE</b>		<b>FL WELLS</b>	<b>FLSO70000013992</b>
<b>1/2 - 1 Mile</b>			
<b>Higher</b>			

Permit no:	06-05034-W	App no:	070319-11
Permit typ:	pumpage of <100000/gpd.		
Project na:	HEATHGATE SUNFLOWER		
Land Use:	landscape		
Acres serv:	.15		
Facil id:	212817		
Facil type:	PUMP		
Facil name:	Pump 1		
Pump type:	CEN		
Diameter:	3		
Pump capac:	100		
Pump depth:	0		
X coord:	903842		
Y coord:	687631		
Well depth:	0		
Case depth:	0		
Use status:	Primary	Fac status:	Existing
Water use:	Irrigation		
Source:	On-site Canal(s)		
Reviewer:	Thushari Liyanage		
Secno:	3		
Twp:	49		
Rge:	41		
Cnty code:	Broward		
Fee catago:	GP MIN		
Site id:	FLSO70000013992		

<b>F18</b>			
<b>South</b>		<b>FED USGS</b>	<b>USGS2257902</b>
<b>1/2 - 1 Mile</b>			
<b>Higher</b>			

# GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Agency cd:	USGS	Site no:	261229080151001
Site name:	G -2159		
Latitude:	261229	EDR Site id:	USGS2257902
Longitude:	0801510	Dec lat:	26.20841658
Dec lon:	-80.25254858	Coor meth:	M
Coor accr:	U	Latlong datum:	NAD27
Dec latlong datum:	NAD83	District:	122
State:	12	County:	011
Country:	US	Land net:	Not Reported
Location map:	Not Reported	Map scale:	Not Reported
Altitude:	11.86		
Altitude method:	Level or other surveying method		
Altitude accuracy:	Not Reported		
Altitude datum:	National Geodetic Vertical Datum of 1929		
Hydrologic:	Everglades. Florida. Area = 8400 sq.mi.		
Topographic:	Not Reported		
Site type:	Ground-water other than Spring	Date construction:	Not Reported
Date inventoried:	Not Reported	Mean greenwich time offset:	EST
Local standard time flag:	Y		
Type of ground water site:	Single well, other than collector or Ranney type		
Aquifer Type:	Not Reported		
Aquifer:	Not Reported		
Well depth:	63.5	Hole depth:	Not Reported
Source of depth data:	Not Reported		
Project number:	459832500		
Real time data flag:	0		
Daily flow data end date:	0000-00-00	Daily flow data begin date:	0000-00-00
Peak flow data begin date:	0000-00-00	Daily flow data count:	0
Peak flow data count:	0	Peak flow data end date:	0000-00-00
Water quality data end date:	1980-05-15	Water quality data begin date:	1975-10-15
Ground water data begin date:	1975-10-15	Water quality data count:	9
Ground water data count:	9	Ground water data end date:	1980-05-15

Ground-water levels, Number of Measurements: 9

Date	Feet below Surface	Feet to Sealevel	Date	Feet below Surface	Feet to Sealevel
1980-05-15		6.19	1979-10-02		7.53
1978-10-16		6.70	1978-05-04		4.61
1977-10-06		7.02	1977-05-03		6.13
1976-10-14		6.81	1976-05-06		6.57
1975-10-15		6.70			

**E19  
North  
1/2 - 1 Mile  
Higher**

**FL WELLS      FLSO70000014113**

Permit no:	06-02309-W	App no:	960925-7
Permit typ:	pumpage of <100000/gpd.		
Project na:	SHAKMAN CONSTRUCTION CO		
Land Use:	landscape		
Acres serv:	1.48		
Facil id:	22638		
Facil type:	WELL		
Facil name:	1		
Pump type:	CEN		
Diameter:	0		
Pump capac:	50		

# GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Pump depth:	8		
X coord:	901143		
Y coord:	688975		
Well depth:	100		
Case depth:	80		
Use status:	stand-by	Fac status:	Proposed
Water use:	Irrigation		
Source:	Surficial Aquifer System		
Reviewer:	Lisa J. Ullman, P.G.		
Secno:	3		
Twp:	49		
Rge:	41		
Cnty code:	Broward		
Fee catego:	GP		
Site id:	FLSO70000014113		

**G20**  
**SSW**  
**1/2 - 1 Mile**  
**Higher**

**FED USGS    USGS2257722**

Agency cd:	USGS	Site no:	261230080151802
Site name:	G -2285		
Latitude:	261230	EDR Site id:	USGS2257722
Longitude:	0801518	Dec lat:	26.20869435
Dec lon:	-80.25477085	Coor meth:	M
Coor accr:	U	Latlong datum:	NAD27
Dec latlong datum:	NAD83	District:	122
State:	12	County:	011
Country:	US	Land net:	Not Reported
Location map:	Not Reported	Map scale:	Not Reported
Altitude:	Not Reported		
Altitude method:	Not Reported		
Altitude accuracy:	Not Reported		
Altitude datum:	Not Reported		
Hydrologic:	Everglades. Florida. Area = 8400 sq.mi.		
Topographic:	Not Reported		
Site type:	Ground-water other than Spring	Date construction:	Not Reported
Date inventoried:	Not Reported	Mean greenwich time offset:	EST
Local standard time flag:	Y		
Type of ground water site:	Single well, other than collector or Ranney type		
Aquifer Type:	Not Reported		
Aquifer:	Not Reported		
Well depth:	40.0	Hole depth:	Not Reported
Source of depth data:	Not Reported		
Project number:	459832500		
Real time data flag:	0	Daily flow data begin date:	0000-00-00
Daily flow data end date:	0000-00-00	Daily flow data count:	0
Peak flow data begin date:	0000-00-00	Peak flow data end date:	0000-00-00
Peak flow data count:	0	Water quality data begin date:	1978-07-18
Water quality data end date:	1980-04-03	Water quality data count:	3
Ground water data begin date:	0000-00-00	Ground water data end date:	0000-00-00
Ground water data count:	0		

Ground-water levels, Number of Measurements: 0

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID  
 Direction  
 Distance  
 Elevation

Database      EDR ID Number

**F21**  
**South**  
**1/2 - 1 Mile**  
**Higher**

**FL WELLS      FLSO70000013543**

Permit no:	06-01703-W	App no:	920408-7
Permit typ:	pumpage of <100000/gpd.		
Project na:	TEXACO SERVICE STATION #24-021-903		
Land Use:	industrial		
Acres serv:	.7		
Facil id:	10032		
Facil type:	WELL		
Facil name:	RW-1		
Pump type:	CEN		
Diameter:	0		
Pump capac:	15		
Pump depth:	20		
X coord:	901454		
Y coord:	681963		
Well depth:	20		
Case depth:	3		
Use status:	stand-by	Fac status:	Proposed
Water use:	Industrial		
Source:	Biscayne Aquifer		
Reviewer:	Alex Glebocki		
Secno:	10		
Twp:	49		
Rge:	41		
Cnty code:	Broward		
Fee catego:	GP		
Site id:	FLSO70000013543		

**F22**  
**South**  
**1/2 - 1 Mile**  
**Higher**

**FL WELLS      FLSO70000013544**

Permit no:	06-01703-W	App no:	920408-7
Permit typ:	pumpage of <100000/gpd.		
Project na:	TEXACO SERVICE STATION #24-021-903		
Land Use:	industrial		
Acres serv:	.7		
Facil id:	10033		
Facil type:	WELL		
Facil name:	RW-2		
Pump type:	CEN		
Diameter:	0		
Pump capac:	15		
Pump depth:	34		
X coord:	901454		
Y coord:	681963		
Well depth:	34		
Case depth:	3		
Use status:	stand-by	Fac status:	Proposed
Water use:	Industrial		
Source:	Biscayne Aquifer		
Reviewer:	Alex Glebocki		
Secno:	10		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Twp: 49  
Rge: 41  
Cnty code: Broward  
Fee catago: GP  
Site id: FLSO70000013544

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**G23  
SSW  
1/2 - 1 Mile  
Higher**

**FL WELLS      FLSO70000013536**

Permit no:	06-01815-W	App no:	930222-2
Permit typ:	pumpage of <100000/gpd.		
Project na:	CONCORD VILLAGE		
Land Use:	industrial		
Acres serv:	30		
Facil id:	2066		
Facil type:	WELL		
Facil name:	5		
Pump type:	CEN		
Diameter:	0		
Pump capac:	8		
Pump depth:	0		
X coord:	900444		
Y coord:	681928		
Well depth:	70		
Case depth:	60		
Use status:	stand-by	Fac status:	Proposed
Water use:	Industrial		
Source:	Biscayne Aquifer		
Reviewer:	Donna Rickabus		
Secno:	9		
Twp:	49		
Rge:	41		
Cnty code:	Broward		
Fee catago:	GP		
Site id:	FLSO70000013536		

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**G24  
SSW  
1/2 - 1 Mile  
Higher**

**FL WELLS      FLSO70000013535**

Permit no:	06-01815-W	App no:	930222-2
Permit typ:	pumpage of <100000/gpd.		
Project na:	CONCORD VILLAGE		
Land Use:	industrial		
Acres serv:	30		
Facil id:	2065		
Facil type:	WELL		
Facil name:	4		
Pump type:	CEN		
Diameter:	0		
Pump capac:	20		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Pump depth:	0		
X coord:	900444		
Y coord:	681928		
Well depth:	70		
Case depth:	60		
Use status:	stand-by	Fac status:	Proposed
Water use:	Industrial		
Source:	Biscayne Aquifer		
Reviewer:	Donna Rickabus		
Secno:	9		
Twp:	49		
Rge:	41		
Cnty code:	Broward		
Fee catego:	GP		
Site id:	FLSO70000013535		

**G25  
SSW  
1/2 - 1 Mile  
Higher**

**FL WELLS      FLSO70000013537**

Permit no:	06-01815-W	App no:	930222-2
Permit typ:	pumpage of <100000/gpd.		
Project na:	CONCORD VILLAGE		
Land Use:	industrial		
Acres serv:	30		
Facil id:	2068		
Facil type:	WELL		
Facil name:	1		
Pump type:	CEN		
Diameter:	0		
Pump capac:	20		
Pump depth:	0		
X coord:	900444		
Y coord:	681928		
Well depth:	70		
Case depth:	60		
Use status:	stand-by	Fac status:	Proposed
Water use:	Industrial		
Source:	Biscayne Aquifer		
Reviewer:	Donna Rickabus		
Secno:	9		
Twp:	49		
Rge:	41		
Cnty code:	Broward		
Fee catego:	GP		
Site id:	FLSO70000013537		

**G26  
SSW  
1/2 - 1 Mile  
Higher**

**FL WELLS      FLSO70000013539**

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Permit no:	06-01815-W	App no:	930222-2
Permit typ:	pumpage of <100000/gpd.		
Project na:	CONCORD VILLAGE		
Land Use:	industrial		
Acres serv:	30		
Facil id:	2070		
Facil type:	WELL		
Facil name:	2		
Pump type:	CEN		
Diameter:	0		
Pump capac:	20		
Pump depth:	0		
X coord:	900444		
Y coord:	681928		
Well depth:	70		
Case depth:	60		
Use status:	stand-by	Fac status:	Proposed
Water use:	Industrial		
Source:	Biscayne Aquifer		
Reviewer:	Donna Rickabus		
Secno:	9		
Twp:	49		
Rge:	41		
Cnty code:	Broward		
Fee catego:	GP		
Site id:	FLSO70000013539		

**G27  
SSW  
1/2 - 1 Mile  
Higher**

**FL WELLS      FLSO70000013538**

Permit no:	06-01815-W	App no:	930222-2
Permit typ:	pumpage of <100000/gpd.		
Project na:	CONCORD VILLAGE		
Land Use:	industrial		
Acres serv:	30		
Facil id:	2069		
Facil type:	WELL		
Facil name:	3		
Pump type:	CEN		
Diameter:	0		
Pump capac:	20		
Pump depth:	0		
X coord:	900444		
Y coord:	681928		
Well depth:	70		
Case depth:	60		
Use status:	stand-by	Fac status:	Proposed
Water use:	Industrial		
Source:	Biscayne Aquifer		
Reviewer:	Donna Rickabus		
Secno:	9		



# GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Twp: 49  
 Rge: 41  
 Cnty code: Broward  
 Fee catago: GP  
 Site id: FLSO70000013538

**H28  
 SE  
 1/2 - 1 Mile  
 Higher**

**FED USGS      USGS2257730**

Agency cd:	USGS	Site no:	261233080144301
Site name:	G -2221	EDR Site id:	USGS2257730
Latitude:	261233	Dec lat:	26.20952764
Longitude:	0801443	Coor meth:	M
Dec lon:	-80.24504836	Latlong datum:	NAD27
Coor accr:	U	District:	122
Dec latlong datum:	NAD83	County:	011
State:	12	Land net:	Not Reported
Country:	US	Map scale:	Not Reported
Location map:	Not Reported		
Altitude:	Not Reported		
Altitude method:	Not Reported		
Altitude accuracy:	Not Reported		
Altitude datum:	Not Reported		
Hydrologic:	Everglades. Florida. Area = 8400 sq.mi.		
Topographic:	Not Reported		
Site type:	Ground-water other than Spring	Date construction:	Not Reported
Date inventoried:	Not Reported	Mean greenwich time offset:	EST
Local standard time flag:	Y		
Type of ground water site:	Single well, other than collector or Ranney type		
Aquifer Type:	Not Reported		
Aquifer:	Not Reported		
Well depth:	Not Reported	Hole depth:	Not Reported
Source of depth data:	Not Reported		
Project number:	459832500		
Real time data flag:	0	Daily flow data begin date:	0000-00-00
Daily flow data end date:	0000-00-00	Daily flow data count:	0
Peak flow data begin date:	0000-00-00	Peak flow data end date:	0000-00-00
Peak flow data count:	0	Water quality data begin date:	1975-10-02
Water quality data end date:	1975-10-08	Water quality data count:	3
Ground water data begin date:	0000-00-00	Ground water data end date:	0000-00-00
Ground water data count:	0		

Ground-water levels, Number of Measurements: 0

**29  
 NNE  
 1/2 - 1 Mile  
 Higher**

**FL WELLS      FLSO70000014144**

Permit no:	06-04145-W	App no:	040630-23
Permit typ:	pumpage of <100000/gpd.		
Project na:	SOUTHGATE APARTMENTS		
Land Use:	landscape		
Acres serv:	4		
Facil id:	154720		
Facil type:	WELL		
Facil name:	Well 1		
Pump type:	CEN		
Diameter:	0		
Pump capac:	5		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Pump depth: 20  
 X coord: 902780  
 Y coord: 689289  
 Well depth: 20  
 Case depth: 0  
 Use status: Not Reported                      Fac status: Existing  
 Water use: Irrigation  
 Source: Surficial Aquifer System  
 Reviewer: Stephanie Newell  
 Secno: 3  
 Twp: 49  
 Rge: 41  
 Cnty code: Broward  
 Fee catego: GP MIN  
 Site id: FLSO70000014144

**130**  
**North**  
**1/2 - 1 Mile**  
**Higher**

Site ID:	8501922		
Groundwater Flow:	S	<b>AQUIFLOW</b>	<b>3219</b>
Water Table Depth:	Avg. 7 ft.		
Date:	6/23/1992		

**31**  
**SW**  
**1/2 - 1 Mile**  
**Higher**

		<b>FL WELLS</b>	<b>FLSO70000013593</b>

Permit no: 06-03732-W                      App no: 060817-26  
 Permit typ: pumpage of <100000/gpd.  
 Project na: TAMARAC ROAD RESURFACING PROJECT  
 Land Use: landscape  
 Acres serv: 12.3  
 Facil id: 128293  
 Facil type: PUMP  
 Facil name: P-L  
 Pump type: CEN  
 Diameter: 2  
 Pump capac: 150  
 Pump depth: 0  
 X coord: 898678  
 Y coord: 682545  
 Well depth: 0  
 Case depth: 0  
 Use status: Primary                      Fac status: Existing  
 Water use: Irrigation  
 Source: On-site Lake(s)  
 Reviewer: Donna L. Moscone, P.G.  
 Secno: 4-9  
 Twp: 49  
 Rge: 41  
 Cnty code: Broward  
 Fee catego: GP MIN  
 Site id: FLSO70000013593

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Database      EDR ID Number

**J32**  
**SSE**  
**1/2 - 1 Mile**  
**Higher**

**FL WELLS      FLSO70000013552**

Permit no:	06-02908-W	App no:	991008-2
Permit typ:	pumpage of <100000/gpd.		
Project na:	BRISTOL PARK TOWER OF TAMARAC		
Land Use:	landscape		
Acres serv:	4.23		
Facil id:	42553		
Facil type:	PUMP		
Facil name:	1		
Pump type:	CEN		
Diameter:	0		
Pump capac:	100		
Pump depth:	0		
X coord:	903559		
Y coord:	682078		
Well depth:	0		
Case depth:	0		
Use status:	PROD	Fac status:	Proposed
Water use:	Irrigation		
Source:	On-site Lake(s)/Pond(s)		
Reviewer:	Paulette M. Glebocki, P.G.		
Secno:	10		
Twp:	49		
Rge:	41		
Cnty code:	Broward		
Fee catego:	GP		
Site id:	FLSO70000013552		

**H33**  
**SE**  
**1/2 - 1 Mile**  
**Higher**

**FL WELLS      FLSO70000013569**

Permit no:	06-04366-W	App no:	050224-16
Permit typ:	pumpage of <100000/gpd.		
Project na:	MCNAB ROAD LANDSCAPING BEAUTIFICATION		
Land Use:	landscape		
Acres serv:	.27		
Facil id:	171257		
Facil type:	PUMP		
Facil name:	Pump 1		
Pump type:	CEN		
Diameter:	3		
Pump capac:	30		
Pump depth:	0		
X coord:	903927		
Y coord:	682272		
Well depth:	0		
Case depth:	0		
Use status:	Primary	Fac status:	Proposed
Water use:	Irrigation		
Source:	Off-site Canal(s)		
Reviewer:	Nikki Carlson		
Secno:	3,10		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Twp: 49  
 Rge: 41  
 Cnty code: Broward  
 Fee catago: GP MIN  
 Site id: FLSO70000013569

**34  
 SSW  
 1/2 - 1 Mile  
 Higher**

**FL WELLS      FLSO70000013554**

Permit no:	06-01867-W	App no:	930709-6
Permit typ:	pumpage of <100000/gpd.		
Project na:	70TH STREET MEDIANS		
Land Use:	landscape		
Acres serv:	.68		
Facil id:	34355		
Facil type:	PUMP		
Facil name:	1		
Pump type:	CEN		
Diameter:	2.5		
Pump capac:	100		
Pump depth:	0		
X coord:	899133		
Y coord:	682083		
Well depth:	0		
Case depth:	0		
Use status:	PROD	Fac status:	Proposed
Water use:	Irrigation		
Source:	On-site Canal(s)		
Reviewer:	Thais Spence		
Secno:	4		
Twp:	49		
Rge:	41		
Cnty code:	Broward		
Fee catago:	GP		
Site id:	FLSO70000013554		

**35  
 NNW  
 1/2 - 1 Mile  
 Higher**

**FL WELLS      FLSO70000014192**

Permit no:	06-05091-W	App no:	070515-30
Permit typ:	pumpage of <100000/gpd.		
Project na:	TAMARAC DOG PARK		
Land Use:	landscape		
Acres serv:	2.7		
Facil id:	214089		
Facil type:	PUMP		
Facil name:	Pump 1		
Pump type:	ELT		
Diameter:	4		
Pump capac:	150		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Pump depth:	0		
X coord:	900470		
Y coord:	689820		
Well depth:	0		
Case depth:	0		
Use status:	Primary	Fac status:	Proposed
Water use:	Irrigation		
Source:	SFWMD Canal (C-14)		
Reviewer:	Morgan LeLay		
Secno:	33		
Twp:	48		
Rge:	41		
Cnty code:	Broward		
Fee catego:	GP MIN		
Site id:	FLSO70000014192		

**I36  
North  
1/2 - 1 Mile  
Higher**

**FL WELLS      FLSO70000014194**

Permit no:	06-04802-W	App no:	060817-24
Permit typ:	pumpage of <100000/gpd.		
Project na:	VETERAN'S PARK		
Land Use:	landscape		
Acres serv:	2.5		
Facil id:	194324		
Facil type:	PUMP		
Facil name:	P-1		
Pump type:	ELT		
Diameter:	4		
Pump capac:	150		
Pump depth:	0		
X coord:	900543		
Y coord:	689849		
Well depth:	0		
Case depth:	0		
Use status:	Primary	Fac status:	Existing
Water use:	Irrigation		
Source:	SFWMD Canal (C-14)		
Reviewer:	Donna L. Moscone, P.G.		
Secno:	4		
Twp:	49		
Rge:	41		
Cnty code:	Broward		
Fee catego:	GP MIN		
Site id:	FLSO70000014194		

**K37  
WNW  
1/2 - 1 Mile  
Higher**

**FL WELLS      FLSO70000013925**

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Permit no:	06-00089-W	App no:	100908-13
Permit typ:	pumpage >100000/gpd.		
Project na:	WOODMONT COUNTRY CLUB		
Land Use:	golf		
Acres serv:	281		
Facil id:	39849		
Facil type:	PUMP		
Facil name:	3		
Pump type:	TUR		
Diameter:	8		
Pump capac:	750		
Pump depth:	0		
X coord:	897079		
Y coord:	686430		
Well depth:	0		
Case depth:	0		
Use status:	PROD	Fac status:	Existing
Water use:	Irrigation		
Source:	On-site Lake(s)		
Reviewer:	Paige Bollenbacher		
Secno:	4		
Twp:	49		
Rge:	41		
Cnty code:	Broward		
Fee catego:	IND		
Site id:	FLSO70000013925		

**K38  
WNW  
1/2 - 1 Mile  
Higher**

**FL WELLS      FLSO70000013924**

Permit no:	06-00089-W	App no:	100908-13
Permit typ:	pumpage >100000/gpd.		
Project na:	WOODMONT COUNTRY CLUB		
Land Use:	golf		
Acres serv:	281		
Facil id:	39848		
Facil type:	PUMP		
Facil name:	2		
Pump type:	TUR		
Diameter:	8		
Pump capac:	750		
Pump depth:	0		
X coord:	897079		
Y coord:	686430		
Well depth:	0		
Case depth:	0		
Use status:	PROD	Fac status:	Existing
Water use:	Irrigation		
Source:	On-site Lake(s)		
Reviewer:	Paige Bollenbacher		
Secno:	4		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Twp: 49  
 Rge: 41  
 Cnty code: Broward  
 Fee catago: IND  
 Site id: FLSO70000013924

**K39  
 WNW  
 1/2 - 1 Mile  
 Higher**

**FL WELLS      FLSO70000013923**

Permit no:	06-00089-W	App no:	100908-13
Permit typ:	pumpage >100000/gpd.		
Project na:	WOODMONT COUNTRY CLUB		
Land Use:	golf		
Acres serv:	281		
Facil id:	39847		
Facil type:	PUMP		
Facil name:	1		
Pump type:	TUR		
Diameter:	8		
Pump capac:	750		
Pump depth:	0		
X coord:	897079		
Y coord:	686430		
Well depth:	0		
Case depth:	0		
Use status:	PROD	Fac status:	Existing
Water use:	Irrigation		
Source:	On-site Lake(s)		
Reviewer:	Paige Bollenbacher		
Secno:	4		
Twp:	49		
Rge:	41		
Cnty code:	Broward		
Fee catago:	IND		
Site id:	FLSO70000013923		

**K40  
 WNW  
 1/2 - 1 Mile  
 Higher**

**FL WELLS      FLSO70000013926**

Permit no:	06-00089-W	App no:	100908-13
Permit typ:	pumpage >100000/gpd.		
Project na:	WOODMONT COUNTRY CLUB		
Land Use:	golf		
Acres serv:	281		
Facil id:	39850		
Facil type:	PUMP		
Facil name:	4		
Pump type:	TUR		
Diameter:	8		
Pump capac:	750		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Pump depth:	0		
X coord:	897079		
Y coord:	686430		
Well depth:	0		
Case depth:	0		
Use status:	PROD	Fac status:	Existing
Water use:	Irrigation		
Source:	On-site Lake(s)		
Reviewer:	Paige Bollenbacher		
Secno:	4		
Twp:	49		
Rge:	41		
Cnty code:	Broward		
Fee catego:	IND		
Site id:	FLSO70000013926		

**K41  
WNW  
1/2 - 1 Mile  
Higher**

**FL WELLS      FLSO70000013929**

Permit no:	06-00089-W	App no:	100908-13
Permit typ:	pumpage >100000/gpd.		
Project na:	WOODMONT COUNTRY CLUB		
Land Use:	golf		
Acres serv:	281		
Facil id:	39853		
Facil type:	PUMP		
Facil name:	7		
Pump type:	CEN		
Diameter:	6		
Pump capac:	150		
Pump depth:	0		
X coord:	897079		
Y coord:	686430		
Well depth:	0		
Case depth:	0		
Use status:	PROD	Fac status:	Existing
Water use:	Irrigation		
Source:	On-site Lake(s)		
Reviewer:	Paige Bollenbacher		
Secno:	4		
Twp:	49		
Rge:	41		
Cnty code:	Broward		
Fee catego:	IND		
Site id:	FLSO70000013929		

**K42  
WNW  
1/2 - 1 Mile  
Higher**

**FL WELLS      FLSO70000013928**



## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Permit no:	06-00089-W	App no:	100908-13
Permit typ:	pumpage >100000/gpd.		
Project na:	WOODMONT COUNTRY CLUB		
Land Use:	golf		
Acres serv:	281		
Facil id:	39852		
Facil type:	PUMP		
Facil name:	6		
Pump type:	TUR		
Diameter:	8		
Pump capac:	750		
Pump depth:	0		
X coord:	897079		
Y coord:	686430		
Well depth:	0		
Case depth:	0		
Use status:	PROD	Fac status:	Existing
Water use:	Irrigation		
Source:	On-site Lake(s)		
Reviewer:	Paige Bollenbacher		
Secno:	4		
Twp:	49		
Rge:	41		
Cnty code:	Broward		
Fee catego:	IND		
Site id:	FLSO70000013928		

**K43  
WNW  
1/2 - 1 Mile  
Higher**

**FL WELLS      FLSO70000013927**

Permit no:	06-00089-W	App no:	100908-13
Permit typ:	pumpage >100000/gpd.		
Project na:	WOODMONT COUNTRY CLUB		
Land Use:	golf		
Acres serv:	281		
Facil id:	39851		
Facil type:	PUMP		
Facil name:	5		
Pump type:	TUR		
Diameter:	8		
Pump capac:	750		
Pump depth:	0		
X coord:	897079		
Y coord:	686430		
Well depth:	0		
Case depth:	0		
Use status:	PROD	Fac status:	Existing
Water use:	Irrigation		
Source:	On-site Lake(s)		
Reviewer:	Paige Bollenbacher		
Secno:	4		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Twp: 49  
 Rge: 41  
 Cnty code: Broward  
 Fee catago: IND  
 Site id: FLSO70000013927

**J44**  
**SSE**  
**1/2 - 1 Mile**  
**Higher**

**FL WELLS      FLSO70000013507**

Permit no:	06-04778-W	App no:	060807-12
Permit typ:	pumpage of <100000/gpd.		
Project na:	TAMARAC POINTE APARTMENTS		
Land Use:	landscape		
Acres serv:	10		
Facil id:	193972		
Facil type:	PUMP		
Facil name:	1		
Pump type:	CEN		
Diameter:	6		
Pump capac:	150		
Pump depth:	0		
X coord:	903521		
Y coord:	681686		
Well depth:	0		
Case depth:	0		
Use status:	Primary	Fac status:	Existing
Water use:	Irrigation		
Source:	On-site Canal(s)		
Reviewer:	Kevin P. Rohrer, P.G.		
Secno:	10		
Twp:	49		
Rge:	41		
Cnty code:	Broward		
Fee catago:	GP MIN		
Site id:	FLSO70000013507		

**45**  
**SW**  
**1/2 - 1 Mile**  
**Higher**

**FL WELLS      FLSO70000013575**

Permit no:	06-02818-W	App no:	990421-7
Permit typ:	pumpage of <100000/gpd.		
Project na:	MEDIAONE		
Land Use:	landscape		
Acres serv:	1		
Facil id:	30103		
Facil type:	WELL		
Facil name:	1		
Pump type:	CEN		
Diameter:	0		
Pump capac:	50		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Pump depth:	7		
X coord:	898155		
Y coord:	682303		
Well depth:	70		
Case depth:	65		
Use status:	Primary	Fac status:	Proposed
Water use:	Irrigation		
Source:	Biscayne Aquifer		
Reviewer:	Thais Spence		
Secno:	4		
Twp:	49		
Rge:	41		
Cnty code:	Broward		
Fee catego:	GP		
Site id:	FLSO70000013575		

**L46  
South  
1/2 - 1 Mile  
Higher**

**FL WELLS      FLSO70000013443**

Permit no:	06-03857-W	App no:	030701-10
Permit typ:	pumpage of <100000/gpd.		
Project na:	CATALINA PLACE		
Land Use:	landscape		
Acres serv:	3.69		
Facil id:	135654		
Facil type:	WELL		
Facil name:	Well 1		
Pump type:	CEN		
Diameter:	0		
Pump capac:	115		
Pump depth:	0		
X coord:	901684		
Y coord:	680969		
Well depth:	100		
Case depth:	80		
Use status:	Primary	Fac status:	Proposed
Water use:	Irrigation		
Source:	Biscayne Aquifer		
Reviewer:	Alex Glebocki		
Secno:	10		
Twp:	49		
Rge:	41		
Cnty code:	Broward		
Fee catego:	GP MIN		
Site id:	FLSO70000013443		

**47  
SE  
1/2 - 1 Mile  
Higher**

**FL WELLS      FLSO70000013529**

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Permit no:	06-03161-W	App no:	010208-3
Permit typ:	pumpage of <100000/gpd.		
Project na:	U-STOR-IT NORTH LAUDERDALE		
Land Use:	landscape		
Acres serv:	3		
Facil id:	104445		
Facil type:	PUMP		
Facil name:	Pump No. 1		
Pump type:	CEN		
Diameter:	3		
Pump capac:	100		
Pump depth:	0		
X coord:	904244		
Y coord:	681876		
Well depth:	0		
Case depth:	0		
Use status:	Primary	Fac status:	Existing
Water use:	Irrigation		
Source:	Off-site Canal(s)		
Reviewer:	Christina Shaw		
Secno:	10		
Twp:	49		
Rge:	41		
Cnty code:	Broward		
Fee catego:	GP		
Site id:	FLSO70000013529		

**48  
North  
1/2 - 1 Mile  
Higher**

**FL WELLS      FLSO70000014235**

Permit no:	06-05666-W	App no:	081113-20
Permit typ:	pumpage of <100000/gpd.		
Project na:	CITY OF CORAL SPRINGS CITY PARKS 1		
Land Use:	landscape		
Acres serv:	2		
Facil id:	226628		
Facil type:	PUMP		
Facil name:	SP-1		
Pump type:	CEN		
Diameter:	3		
Pump capac:	100		
Pump depth:	0		
X coord:	902122		
Y coord:	690288		
Well depth:	0		
Case depth:	0		
Use status:	Primary	Fac status:	Existing
Water use:	Irrigation		
Source:	Off-site Canal(s)		
Reviewer:	Nancy Demonstranti, P.G.		
Secno:	33		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Twp: 48  
 Rge: 41  
 Cnty code: Broward  
 Fee catago: GP MIN  
 Site id: FLSO70000014235

**49  
SE  
1/2 - 1 Mile  
Higher**

**FL WELLS      FLSO70000013584**

Permit no:	06-02160-W	App no:	950912-9
Permit typ:	pumpage of <100000/gpd.		
Project na:	BROOKSIDE COVE		
Land Use:	landscape		
Acres serv:	.33		
Facil id:	35869		
Facil type:	PUMP		
Facil name:	1		
Pump type:	CEN		
Diameter:	1.5		
Pump capac:	60		
Pump depth:	0		
X coord:	905177		
Y coord:	682474		
Well depth:	0		
Case depth:	0		
Use status:	PROD	Fac status:	Proposed
Water use:	Irrigation		
Source:	Canal		
Reviewer:	Thais Spence		
Secno:	3		
Twp:	49		
Rge:	41		
Cnty code:	Broward		
Fee catago:	GP		
Site id:	FLSO70000013584		

**L50  
South  
1/2 - 1 Mile  
Higher**

**FL WELLS      FLSO70000013413**

Permit no:	06-03792-W	App no:	030401-8
Permit typ:	pumpage of <100000/gpd.		
Project na:	UNIVERSITY SHOPPES & OFFICES		
Land Use:	landscape		
Acres serv:	1		
Facil id:	131529		
Facil type:	WELL		
Facil name:	Well 1		
Pump type:	CEN		
Diameter:	0		
Pump capac:	20		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Pump depth:	0		
X coord:	901643		
Y coord:	680588		
Well depth:	70		
Case depth:	50		
Use status:	Primary	Fac status:	Existing
Water use:	Irrigation		
Source:	Surficial Aquifer System		
Reviewer:	Jennifer Phillips, P.G.		
Secno:	10		
Twp:	49		
Rge:	41		
Cnty code:	Broward		
Fee catego:	GP MIN		
Site id:	FLSO70000013413		

**51  
SE  
1/2 - 1 Mile  
Higher**

**FL WELLS      FLSO70000013549**

Permit no:	06-03155-W	App no:	010104-5
Permit typ:	pumpage of <100000/gpd.		
Project na:	HESS STATION 09122		
Land Use:	landscape		
Acres serv:	.67		
Facil id:	104302		
Facil type:	PUMP		
Facil name:	1		
Pump type:	CEN		
Diameter:	4		
Pump capac:	150		
Pump depth:	0		
X coord:	904984		
Y coord:	682021		
Well depth:	0		
Case depth:	0		
Use status:	Primary	Fac status:	Proposed
Water use:	Irrigation		
Source:	Off-site Canal(s)		
Reviewer:	Thais Spence		
Secno:	10		
Twp:	49		
Rge:	41		
Cnty code:	Broward		
Fee catego:	GP		
Site id:	FLSO70000013549		

**52  
WNW  
1/2 - 1 Mile  
Higher**

**FL WELLS      FLSO70000014023**

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Permit no:	06-03732-W	App no:	060817-26
Permit typ:	pumpage of <100000/gpd.		
Project na:	TAMARAC ROAD RESURFACING PROJECT		
Land Use:	landscape		
Acres serv:	12.3		
Facil id:	128284		
Facil type:	PUMP		
Facil name:	P-H		
Pump type:	CEN		
Diameter:	4		
Pump capac:	150		
Pump depth:	0		
X coord:	896884		
Y coord:	687839		
Well depth:	0		
Case depth:	0		
Use status:	Primary	Fac status:	Existing
Water use:	Irrigation		
Source:	On-site Lake(s)		
Reviewer:	Donna L. Moscone, P.G.		
Secno:	4-9		
Twp:	49		
Rge:	41		
Cnty code:	Broward		
Fee catego:	GP MIN		
Site id:	FLSO70000014023		

**53  
East  
1/2 - 1 Mile  
Higher**

**FL WELLS      FLSO70000013833**

Permit no:	06-01384-W	App no:	900612-8
Permit typ:	pumpage of <100000/gpd.		
Project na:	7-ELEVEN STORE NO 32787 - RECOVERY WELL		
Land Use:	industrial		
Acres serv:	1		
Facil id:	8737		
Facil type:	WELL		
Facil name:	1		
Pump type:	CEN		
Diameter:	0		
Pump capac:	25		
Pump depth:	-5		
X coord:	906589		
Y coord:	685331		
Well depth:	30		
Case depth:	30		
Use status:	stand-by	Fac status:	Proposed
Water use:	Industrial		
Source:	Biscayne Aquifer		
Reviewer:	Ann Marie Superchi		
Secno:	2		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Twp: 49  
 Rge: 41  
 Cnty code: Broward  
 Fee catego: GP  
 Site id: FLSO70000013833

**54**  
**NNE**  
**1/2 - 1 Mile**  
**Higher**

**FL WELLS      FLSO70000014253**

Permit no:	06-05631-W	App no:	081113-12
Permit typ:	pumpage of <100000/gpd.		
Project na:	CITY OF CORAL SPRINGS CITY PARKS 2		
Land Use:	landscape		
Acres serv:	13		
Facil id:	226078		
Facil type:	WELL		
Facil name:	Three Mountain Park Pump		
Pump type:	CEN		
Diameter:	0		
Pump capac:	125		
Pump depth:	0		
X coord:	902983		
Y coord:	690530		
Well depth:	100		
Case depth:	100		
Use status:	Primary	Fac status:	Existing
Water use:	Irrigation		
Source:	Biscayne Aquifer		
Reviewer:	Vincent Migliore		
Secno:	27		
Twp:	48		
Rge:	41		
Cnty code:	Broward		
Fee catego:	GP MIN		
Site id:	FLSO70000014253		



# GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS RADON

## AREA RADON INFORMATION

State Database: FL Radon

### Radon Test Results

Zip	Total Buildings	% of sites > 4 pCi/L	Data Source
33321	207	60.4	Certified Residential Database
33321	8	12.5	Mandatory Non-Residential Database
33321	2	0.0	Mandatory Residential Database

Federal EPA Radon Zone for BROWARD County: 3

- Note: Zone 1 indoor average level > 4 pCi/L.  
 : Zone 2 indoor average level >= 2 pCi/L and <= 4 pCi/L.  
 : Zone 3 indoor average level < 2 pCi/L.

---

### Federal Area Radon Information for BROWARD COUNTY, FL

Number of sites tested: 180

Area	Average Activity	% < 4 pCi/L	% 4-20 pCi/L	% > 20 pCi/L
Living Area	0.730 pCi/L	98%	2%	0%
Basement	Not Reported	Not Reported	Not Reported	Not Reported

# PHYSICAL SETTING SOURCE RECORDS SEARCHED

## TOPOGRAPHIC INFORMATION

### USGS 7.5' Digital Elevation Model (DEM)

Source: United States Geologic Survey

EDR acquired the USGS 7.5' Digital Elevation Model in 2002 and updated it in 2006. The 7.5 minute DEM corresponds to the USGS 1:24,000- and 1:25,000-scale topographic quadrangle maps. The DEM provides elevation data with consistent elevation units and projection.

### Scanned Digital USGS 7.5' Topographic Map (DRG)

Source: United States Geologic Survey

A digital raster graphic (DRG) is a scanned image of a U.S. Geological Survey topographic map. The map images are made by scanning published paper maps on high-resolution scanners. The raster image is georeferenced and fit to the Universal Transverse Mercator (UTM) projection.

## HYDROLOGIC INFORMATION

**Flood Zone Data:** This data, available in select counties across the country, was obtained by EDR in 2003 & 2011 from the Federal Emergency Management Agency (FEMA). Data depicts 100-year and 500-year flood zones as defined by FEMA.

**NWI:** National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002 and 2005 from the U.S. Fish and Wildlife Service.

### State Wetlands Data: Wetlands Inventory

Source: Department of Environmental Protection

Telephone: 850-245-8238

## HYDROGEOLOGIC INFORMATION

### AQUIFLOW<sup>R</sup> Information System

Source: EDR proprietary database of groundwater flow information

EDR has developed the AQUIFLOW Information System (AIS) to provide data on the general direction of groundwater flow at specific points. EDR has reviewed reports submitted to regulatory authorities at select sites and has extracted the date of the report, hydrogeologically determined groundwater flow direction and depth to water table information.

## GEOLOGIC INFORMATION

### Geologic Age and Rock Stratigraphic Unit

Source: P.G. Schruben, R.E. Arndt and W.J. Bawiec, Geology of the Conterminous U.S. at 1:2,500,000 Scale - A digital representation of the 1974 P.B. King and H.M. Beikman Map, USGS Digital Data Series DDS - 11 (1994).

### STATSGO: State Soil Geographic Database

Source: Department of Agriculture, Natural Resources Conservation Services

The U.S. Department of Agriculture's (USDA) Natural Resources Conservation Service (NRCS) leads the national Conservation Soil Survey (NCSS) and is responsible for collecting, storing, maintaining and distributing soil survey information for privately owned lands in the United States. A soil map in a soil survey is a representation of soil patterns in a landscape. Soil maps for STATSGO are compiled by generalizing more detailed (SSURGO) soil survey maps.

### SSURGO: Soil Survey Geographic Database

Source: Department of Agriculture, Natural Resources Conservation Services (NRCS)

Telephone: 800-672-5559

SSURGO is the most detailed level of mapping done by the Natural Resources Conservation Services, mapping scales generally range from 1:12,000 to 1:63,360. Field mapping methods using national standards are used to construct the soil maps in the Soil Survey Geographic (SSURGO) database. SSURGO digitizing duplicates the original soil survey maps. This level of mapping is designed for use by landowners, townships and county natural resource planning and management.

# PHYSICAL SETTING SOURCE RECORDS SEARCHED

## LOCAL / REGIONAL WATER AGENCY RECORDS

### FEDERAL WATER WELLS

#### PWS: Public Water Systems

Source: EPA/Office of Drinking Water

Telephone: 202-564-3750

Public Water System data from the Federal Reporting Data System. A PWS is any water system which provides water to at least 25 people for at least 60 days annually. PWSs provide water from wells, rivers and other sources.

#### PWS ENF: Public Water Systems Violation and Enforcement Data

Source: EPA/Office of Drinking Water

Telephone: 202-564-3750

Violation and Enforcement data for Public Water Systems from the Safe Drinking Water Information System (SDWIS) after August 1995. Prior to August 1995, the data came from the Federal Reporting Data System (FRDS).

#### USGS Water Wells: USGS National Water Inventory System (NWIS)

This database contains descriptive information on sites where the USGS collects or has collected data on surface water and/or groundwater. The groundwater data includes information on wells, springs, and other sources of groundwater.

### STATE RECORDS

#### DEP GWIS - Generalized Water Information System Well Data

Source: Department of Environmental Protection

Telephone: 850-245-8507

Data collected for the Watershed Monitoring Section of the Department of Environmental Protection.

#### DOH and DEP Historic Study of Private Wells

Source: Department of Environmental Protection

Telephone: 850-559-0901

Historic database for private supply wells.

#### Well Construction Permitting Database

Source: Northwest Florida Water Management District

Telephone: 850-539-5999

#### Consumptive Use Permit Well Database

Source: St. Johns River Water Management District

Telephone: 386-329-4841

#### Permitted Well Location Database

Source: South Florida Water Management District

Telephone: 561-682-6877

#### Super Act Program Well Data

This table consists of data relating to all privately and publicly owned potable wells investigated as part of the SUPER Act program. The Florida Department of Health's SUPER Act Program (per Chapter 376.3071(4)(g), Florida Statutes), was given authority to provide field and laboratory services, toxicological risk assessments, investigations of drinking water contamination complaints and education of the public

Source: Department of Health

Telephone: 850-245-4250

#### Water Well Location Information

Source: Suwannee River Water Management District

Telephone: 386-796-7211

# PHYSICAL SETTING SOURCE RECORDS SEARCHED

## Water Well Permit Database

Source: Southwest Water Management District  
Telephone: 352-796-7211

## OTHER STATE DATABASE INFORMATION

### Florida Sinkholes

Source: Department of Environmental Protection, Geological Survey  
The sinkhole data was gathered by the Florida Sinkhole Research Institute, University of Florida.

### Oil and Gas Permit Database

Source: Department of Environmental Protection  
Telephone: 850-245-3194  
Locations of all permitted wells in the state of Florida.

## RADON

### State Database: FL Radon

Source: Department of Health  
Telephone: 850-245-4288  
Zip Code Based Radon Data

### Area Radon Information

Source: USGS  
Telephone: 703-356-4020  
The National Radon Database has been developed by the U.S. Environmental Protection Agency (USEPA) and is a compilation of the EPA/State Residential Radon Survey and the National Residential Radon Survey. The study covers the years 1986 - 1992. Where necessary data has been supplemented by information collected at private sources such as universities and research institutions.

### EPA Radon Zones

Source: EPA  
Telephone: 703-356-4020  
Sections 307 & 309 of IRAA directed EPA to list and identify areas of U.S. with the potential for elevated indoor radon levels.

## OTHER

### Airport Landing Facilities: Private and public use landing facilities

Source: Federal Aviation Administration, 800-457-6656

### Epicenters: World earthquake epicenters, Richter 5 or greater

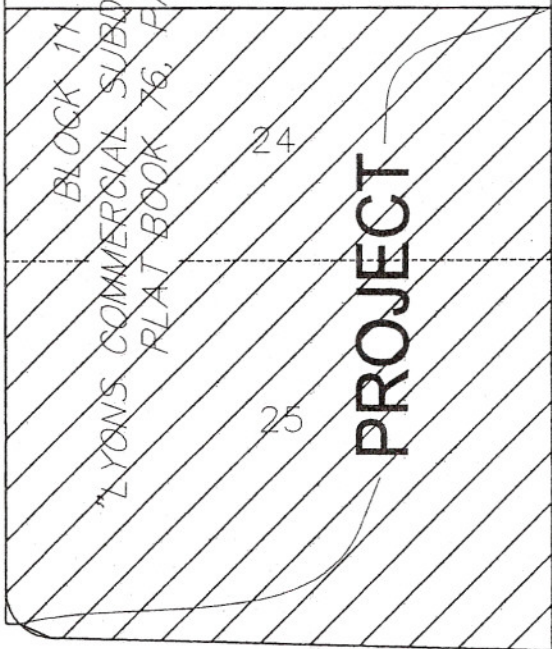
Source: Department of Commerce, National Oceanic and Atmospheric Administration

## STREET AND ADDRESS INFORMATION

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**APPENDIX H**  
**REGULATORY FILE REVIEW EXCERPTS**

UNIVERSITY DRIVE



BLOCK 11  
 "LYONS COMMERCIAL SUBDIVISION NO. 3"  
 PLAT BOOK 76, PAGE 31

23

24

25

**PROJECT**

"HEATHGATE"

PLAT BOOK 72, PAGE 49

1048

1049

1050

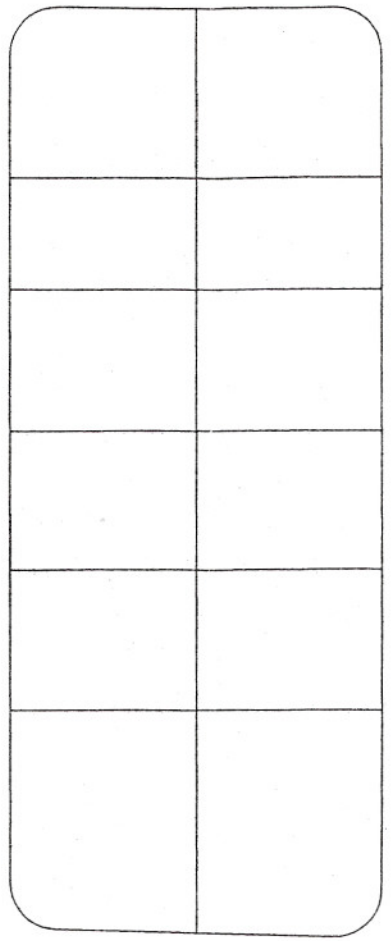
1051

1052

1053

1054

N.W. 77TH STREET



N.W. 78TH COURT

N.W. 75TH AVENUE

N.W. 74TH TERRACE

# LOCATION MAP

(NOT TO SCALE)

SECTION 3, TOWNSHIP 49S, RANGE 41E  
 BROWARD COUNTY, FLORIDA



**LICENSE FOR INSTALLATION OF WASTEWATER  
COLLECTION/TRANSMISSION SYSTEM**

APPLICANT:	BC-EPD LICENSE NO.:	WW-61313
Mr. Joseph Vitolo, President	EXPIRATION DATE:	04/02/2014
Courtyard Joint Venture, LLC	DEP ID NO.:	BCN #051336-902
4577 Nob Hill Rd., #105	SEC-TWP-RNG:	03-49-41
Sunrise, FL 33351	PROJECT:	The Palms Medical Campus

This license is issued under the provisions of Chapter 27 of the Broward County Code of ordinances. The above named-applicant, hereinafter called licensee, is hereby authorized to perform the work shown on the approved drawing(s), plans, documents, and specifications submitted by applicant and made a part hereof and described specifically below. If no objection to this license is received within 14 days you will be deemed to have accepted it and all the attached terms and conditions.

Your notification of Intent to Use General Permit for construction of the referenced wastewater collection system has been evaluated. This project complies with the Department of Environment Protection General Permit conditions of the Florida Administrative Code rule chapters 62-4, Part II., or for Individual Permit, under FS 403.87 and FAC 62-4, 62-600 and 62-604.

GRAVITY SEWER: 130 LF of 8" PVC @ 0.40% Slope (1 Manhole)

SUBJECT TO SPECIFIC CONDITIONS # 1 through # 4.

NOTE: See Addendum to General Permit for State Requirements

In accordance with: Plans, Sheets 1, C-1 thru C-5 of 6 (Received 09/13/2007). None Attached. DCES. Job #: 1637-07.

Located at: 7710 N UNIVERSITY DR, Tamarac 33321

Serving: 17,850 SF Medical Offices w/ 8 Doctors Replacing WW-60526.

Issued this 3rd day of April, 2009.

Environmental Protection Department

Prepared by Yvel Rocher

\_\_\_\_\_  
Garth Hinckle, Jr, P.E., Supervisor  
Water Resources Division

cc: FDEP/WPB  
DMD Front Desk  
John E. Doherty, P.E., Assistant Director of Public Works/City Engineer, City of Tamarac Public Works  
Steven W. Uhrick, P.E., Manager, Broward County  
WWS No. Reg. WWTP  
Neal B. Janov, P.E./DCES

## **GENERAL CONDITIONS:**

1. The terms, conditions, requirements, limitations and restrictions set forth herein are accepted by the licensee and enforceable by the EPD pursuant to Chapter 27 of the Broward County Code of Ordinances. The EPD will review this license periodically and may revoke the license, initiate administrative and/or judicial action for any violation of the conditions by the licensee, its agents, employees, servants or representatives.
2. This license is valid only for the specific uses set forth in the license application and any deviation from the approved uses may constitute grounds for revocation and enforcement action by the EPD.
3. In the event the Licensee is temporarily unable to comply with any of the conditions of the license, the licensee shall notify the Broward County Environmental Protection Department within 8 hours. Within 3 working days of the event, the licensee shall submit a written report to the Broward County Environmental Protection Department that describes the incident, its cause, the measures being taken to correct the problem and prevent its reoccurrence, the owner's intention toward repair, replacement, and reconstruction of destroyed facilities, and a schedule of events leading toward operation within the license condition.
4. The issuance of this license does not convey any vested rights or exclusive privileges, nor does it authorize any injury to public or private property or any invasion of personal rights, or any violations of federal, state or local laws or regulations.
5. This license must be available for inspection on Licensee's premises during the entire life of the license.
6. By accepting this license, the Licensee understands and agrees that all records, notes, monitoring data and other information relating to the construction or operation of this permitted source, that are submitted to the EPD, may be used by the EPD as evidence in any enforcement proceeding arising under Chapter 27 of the Broward County Code of Ordinances, except where such use is prohibited by Section 403.111, Florida Statutes.
7. This Licensee agrees to comply with Chapter 27, Broward County Code of Ordinances, as amended.
8. Any new owner of a licensed facility shall apply by letter for a transfer of license within thirty (30) days after sale or legal transfer. The transferor shall remain liable for performance in accordance with the license until the transferee applies for, and is granted a transfer of license. The Transferee shall also be liable for performance in accordance with the license.
9. The licensee, by acceptance of this license, specifically agrees to allow access to the licensed source at reasonable times by EPD personnel for the purposes of inspection and testing to determine compliance with this license and Chapter 27 of the Broward County Code of Ordinances.
10. This license does not constitute a waiver or approval of any other license that may be required for other aspects of the total project.
11. If the Licensee wishes to renew the license or extend its terms, he shall make application 60 days prior to its expiration. Expired licenses are not renewable.
12. In addition to the general conditions set forth above, each license issued by the EPD shall contain specific conditions determined by site conditions and requirements pursuant to the regulations as determined by the Broward County Environmental Protection Department. Licensee agrees that specific conditions are enforceable by the EPD for any violation thereof.

## **SPECIFIC CONDITIONS:**

1. This license is valid for construction of the sewage collection/transmission system only. All connections to the system must be approved by the Broward Environmental Protection Department prior to the issuance of a building permit.
2. Any deviation from approved plans or specifications affecting capacity, flow or operation of units shall be submitted to and approved by the Broward County Environmental Protection Department before such changes are made.
3. The applicant shall be responsible for supplying as-built drawing to the Broward County Environmental Protection Department on completion of the project. Such drawing will be signed and sealed by an engineer registered in the state of Florida and shall be based on accurate records maintained by the engineer or by a land surveyor currently registered in the state of Florida. Such drawing will indicate locations and elevations of all pipe line, manholes, pump stations and appurtenance installed under this project. No connections to the system Will Be Approved until the above Described As-built Drawings Have Been Delivered to and Approved by the Broward County Environmental Protection Department.



APPLICANT:  
Mr. Joseph Vitolo, President  
Courtyard Joint Venture, LLC  
4577 Nob Hill Rd., #105  
Sunrise, FL 33351

BC-DPEP LICENSE NO.: WW-61313  
EXPIRATION DATE: 04/02/2014  
DEP ID NO.: BCN #051336-902  
SEC-TWP-RNG: 03-49-41  
PROJECT: The Palms Medical Campus

**SPECIFIC CONDITIONS (Continued From Page 2)**

4. An email PDF of the As-Built Site Plan which clearly displays the contents of the project as well as delineating its boundary shall be submitted to EPD at the time of the certification.

**APPENDIX I**  
**LIMITED PHASE II ESA DOCUMENTATION**



**Report To:**  
 Nydia Carrasquillo  
 EE&G Environmental Svcs-Miami  
 5751 Miami Lakes Drive  
 Miami Lakes, FL 33014

**Page 1 of 8**  
**Report Printed:** 06/12/12  
**Submission #** 1206000272  
**Order #** 20221

**Project:** Palm Property  
**Site Location:** 7700 N. University Dr, Tamarac, FL  
**Matrix:** Solids

**Sample I.D.:** SS-1  
**Collected:** 06/11/12 00:00  
**Received:** 06/11/12 16:15  
**Collected by:** Jake Lathrop

**LABORATORY ANALYSIS REPORT**  
 All results reported as dry weight where appropriate.

PARAMETER	RESULT	QC	UNITS	MDL	PQL	METHOD	DATE EXT.	DATE ANALY.	ANALYST
Percent Solids	95.1		%	0.1	0.3	SM2540G	06/12 09:00	06/12 14:28	MCZ
Arsenic	0.379 «		mg/Kg	0.0649	0.1947	3050/6010B	06/11	06/12 10:06	IMN

• Results reported as Dry Weight (( Wet Weight / % Solids) x 100)  
 QC=Qualifier Codes as defined by DEP 62-160  
 Analytes not currently NELAC certified denoted by ~.  
 Work performed by outside (subcontract) labs denoted by Cert.ID in Analyst Field.  
 Results relate only to the sample.  
 Qualifiers:  
 U= Analyzed for but not detected.  
 Q=Sample held beyond accepted holding time.  
 I=Value is between MDL and PQL.

  
 \_\_\_\_\_  
 Authorized CSM Signature  
 Florida Environmental Certification # E86006

Florida-Spectrum Environmental Services, Inc.  
 1460 W. McNab Road, Fort Lauderdale, FL 33309

Pembroke Laboratory  
 528 Gooch Rd.  
 Fort Meade, FL 33841

• Big Lake Laboratory •  
 610 North Parrot Ave.  
 Okeechobee, FL 34972

Spectrum Laboratories  
 630 Indian St.  
 Savannah, GA 31401

[www.flenviro.com](http://www.flenviro.com)

**Report To:**  
 Nydia Carrasquillo  
 EE&G Environmental Svcs-Miami  
 5751 Miami Lakes Drive  
 Miami Lakes, FL 33014

**Page 2 of 8**  
**Report Printed:** 06/12/12  
**Submission #** 1206000272  
**Order #** 20222

**Project:** Palm Property  
**Site Location:** 7700 N. University Dr, Tamarac, FL  
**Matrix:** Solids

**Sample I.D.:** SS-2  
**Collected:** 06/11/12 00:00  
**Received:** 06/11/12 16:15  
**Collected by:** Jake Lathrop

**LABORATORY ANALYSIS REPORT**  
 All results reported as dry weight where appropriate.

PARAMETER	RESULT	QC	UNITS	MDL	PQL	METHOD	DATE EXT.	DATE ANALY.	ANALYST
Percent Solids	78.9		%	0.1	0.3	SM2540G	06/12 09:00	06/12 14:28	MCZ
Arsenic	0.292 «		mg/Kg	0.0649	0.1947	3050/6010B	06/11	06/12 10:10	IMN

« Results reported as Dry Weight (( Wet Weight / % Solids) x 100)  
 QC=Qualifier Codes as defined by DEP 62-160  
 Analytes not currently NELAC certified denoted by ~.  
 Work performed by outside (subcontract) labs denoted by Cert.ID in Analyst Field.  
 Results relate only to the sample.  
 Qualifiers:  
 U= Analyzed for but not detected.  
 Q= Sample held beyond accepted holding time.  
 I= Value is between MDL and PQL.

  
 \_\_\_\_\_  
 Authorized CSM Signature  
 Florida Environmental Certification # E86006

Report To:  
 Nydia Carrasquillo  
 EE&G Environmental Svcs-Miami  
 5751 Miami Lakes Drive  
 Miami Lakes, FL 33014

Page 3 of 8  
 Report Printed: 06/12/12  
 Submission # 1206000272  
 Order # 20223

Project: Palm Property  
 Site Location: 7700 N. University Dr, Tamarac, FL  
 Matrix: Solids

Sample I.D.: SS-3  
 Collected: 06/11/12 00:00  
 Received: 06/11/12 16:15  
 Collected by: Jake Lathrop

**LABORATORY ANALYSIS REPORT**  
 All results reported as dry weight where appropriate.

PARAMETER	RESULT	QC	UNITS	MDL	PQL	METHOD	DATE EXT.	DATE ANALY.	ANALYST
Percent Solids	87.7		%	0.1	0.3	SM2540G	06/12 09:00	06/12 14:28	MCZ
Arsenic	0.251 «		mg/Kg	0.0649	0.1947	3050/6010B	06/11	06/12 10:15	IMN

« Results reported as Dry Weight (( Wet Weight / % Solids) x 100)  
 QC=Qualifier Codes as defined by DEP 62-160  
 Analytes not currently NELAC certified denoted by ~.  
 Work performed by outside (subcontract) labs denoted by Cert.ID in Analyst Field.  
 Results relate only to the sample.  
 Qualifiers:  
 U= Analyzed for but not detected.  
 Q= Sample held beyond accepted holding time.  
 I= Value is between MDL and PQL.

  
 \_\_\_\_\_  
 Authorized CSM Signature  
 Florida Environmental Certification # E86006

Report To:  
 Nydia Carrasquillo  
 EE&G Environmental Svcs-Miami  
 5751 Miami Lakes Drive  
 Miami Lakes, FL 33014

Page 4 of 8  
 Report Printed: 06/12/12  
 Submission # 1206000272  
 Order # 20224


Project: Palm Property  
 Site Location: 7700 N. University Dr, Tamarac, FL  
 Matrix: Solids

Sample I.D.: SS-4  
 Collected: 06/11/12 00:00  
 Received: 06/11/12 16:15  
 Collected by: Jake Lathrop

**LABORATORY ANALYSIS REPORT**  
 All results reported as dry weight where appropriate.

PARAMETER	RESULT	QC	UNITS	MDL	PQL	METHOD	DATE EXT.	DATE ANALY.	ANALYST
Percent Solids	87.8		%	0.1	0.3	SM2540G	06/12 09:00	06/12 14:29	MCZ
Arsenic	0.444 «		mg/Kg	0.0649	0.1947	3050/6010B	06/11	06/12 10:19	IMN

« Results reported as Dry Weight (( Wet Weight / % Solids) x 100)  
 QC=Qualifier Codes as defined by DEP 62-160  
 Analytes not currently NELAC certified denoted by ~.  
 Work performed by outside (subcontract) labs denoted by Cert.ID in Analyst Field.  
 Results relate only to the sample.  
 Qualifiers:  
 U=Analyzed for but not detected.  
 Q=Sample held beyond accepted holding time.  
 I=Value is between MDL and PQL.



Authorized CSM Signature  
 Florida Environmental Certification # E86006

**Report To:**  
 Nydia Carrasquillo  
 EE&G Environmental Svcs-Miami  
 5751 Miami Lakes Drive  
 Miami Lakes, FL 33014

Page 5 of 8  
 Report Printed: 06/12/12  
 Submission # 1206000272  
 Order # 20225

**Project:** Palm Property  
**Site Location:** 7700 N. University Dr, Tamarac, FL  
**Matrix:** Solids

**Sample I.D.:** SS-5  
**Collected:** 06/11/12 00:00  
**Received:** 06/11/12 16:15  
**Collected by:** Jake Lathrop

**LABORATORY ANALYSIS REPORT**  
 All results reported as dry weight where appropriate.

PARAMETER	RESULT	QC	UNITS	MDL	PQL	METHOD	DATE EXT.	DATE ANALY.	ANALYST
Percent Solids	95.2		%	0.1	0.3	SM2540G	06/12 09:00	06/12 14:29	MCZ
Arsenic	0.252 «		mg/Kg	0.0649	0.1947	3050/6010B	06/11	06/12 10:24	IMN

« Results reported as Dry Weight (( Wet Weight / % Solids) x 100)  
 QC=Qualifier Codes as defined by DEP 62-160  
 Analytes not currently NELAC certified denoted by -  
 Work performed by outside (subcontract) labs denoted by Cert.ID in Analyst Field.  
 Results relate only to the sample.  
 Qualifiers:  
 U=Analyzed for but not detected.  
 Q=Sample held beyond accepted holding time.  
 I=Value is between MDL and PQL.

  
 \_\_\_\_\_  
 Authorized CSM Signature  
 Florida Environmental Certification # E86006

**Report To:**  
 Nydia Carrasquillo  
 EE&G Environmental Svcs-Miami  
 5751 Miami Lakes Drive  
 Miami Lakes, FL 33014

**Page 6 of 8**  
**Report Printed:** 06/12/12  
**Submission #** 1206000272  
**Order #** 20226

**Project:** Palm Property  
**Site Location:** 7700 N. University Dr, Tamarac, FL  
**Matrix:** Solids

**Sample I.D.:** SS-6  
**Collected:** 06/11/12 00:00  
**Received:** 06/11/12 16:15  
**Collected by:** Jake Lathrop

**LABORATORY ANALYSIS REPORT**  
 All results reported as dry weight where appropriate.

PARAMETER	RESULT	QC	UNITS	MDL	PQL	METHOD	DATE EXT.	DATE ANALY.	ANALYST
Percent Solids	79.1		%	0.1	0.3	SM2540G	06/12 09:00	06/12 14:29	MCZ
Arsenic	0.379 «		mg/Kg	0.0649	0.1947	3050/6010B	06/11	06/12 10:42	IMN

« Results reported as Dry Weight (( Wet Weight / % Solids) x 100)  
 QC=Qualifier Codes as defined by DEP 62-160  
 Analytes not currently NELAC certified denoted by ~.  
 Work performed by outside (subcontract) labs denoted by Cert.ID in Analyst Field.  
 Results relate only to the sample.  
 Qualifiers:  
 U=Analyzed for but not detected.  
 Q=Sample held beyond accepted holding time.  
 I=Value is between MDL and PQL.

  
 \_\_\_\_\_  
 Authorized CSM Signature  
 Florida Environmental Certification # E86006



**Report To:**  
 Nydia Carrasquillo  
 EE&G Environmental Svcs-Miami  
 5751 Miami Lakes Drive  
 Miami Lakes, FL 33014

Page 7 of 8  
 Report Printed: 06/12/12  
 Submission # 1206000272  
 Order # 20228

**Project:** Palm Property  
**Site Location:** 7700 N. University Dr, Tamarac, FL  
**Matrix:** Solids

**Sample I.D.:** SS-7  
**Collected:** 06/11/12 00:00  
**Received:** 06/11/12 16:15  
**Collected by:** Jake Lathrop

**LABORATORY ANALYSIS REPORT**  
 All results reported as dry weight where appropriate.

PARAMETER	RESULT	QC	UNITS	MDL	PQL	METHOD	DATE EXT.	DATE ANALY.	ANALYST
Percent Solids	80.0		%	0.1	0.3	SM2540G	06/12 09:00	06/12 14:30	MCZ
Arsenic	0.288 «		mg/Kg	0.0649	0.1947	3050/6010B	06/11	06/12 10:46	IMN

\* Results reported as Dry Weight (( Wet Weight / % Solids) x 100)  
 QC=Qualifier Codes as defined by DEP 62-160  
 Analytes not currently NELAC certified denoted by ~.  
 Work performed by outside (subcontract) labs denoted by Cert.ID in Analyst Field.  
 Results relate only to the sample.  
 Qualifiers:  
 U= Analyzed for but not detected.  
 Q= Sample held beyond accepted holding time.  
 I= Value is between MDL and PQL.

  
 \_\_\_\_\_  
 Authorized CSM Signature  
 Florida Environmental Certification # E86006

**Report To:**  
 Nydia Carrasquillo  
 EE&G Environmental Svcs-Miami  
 5751 Miami Lakes Drive  
 Miami Lakes, FL 33014

**Page 8 of 8**  
**Report Printed:** 06/12/12  
**Submission #** 1206000272  
**Order #** 20229

**Project:** Palm Property  
**Site Location:** 7700 N. University Dr, Tamarac, FL  
**Matrix:** Solids

**Sample I.D.:** SS-8  
**Collected:** 06/11/12 00:00  
**Received:** 06/11/12 16:15  
**Collected by:** Jake Lathrop

**LABORATORY ANALYSIS REPORT**  
 All results reported as dry weight where appropriate.

PARAMETER	RESULT	QC	UNITS	MDL	PQL	METHOD	DATE EXT.	DATE ANALY.	ANALYST
Percent Solids	89.7		%	0.1	0.3	SM2540G	06/12 09:00	06/12 14:30	MCZ
Arsenic	0.870 «		mg/Kg	0.0649	0.1947	3050/6010B	06/11	06/12 10:50	IMN

« Results reported as Dry Weight (( Wet Weight / % Solids) x 100)  
 QC=Qualifier Codes as defined by DEP 62-160  
 Analytes not currently NELAC certified denoted by ~.  
 Work performed by outside (subcontract) labs denoted by Cert.ID in Analyst Field.  
 Results relate only to the sample.  
 Qualifiers:  
 U= Analyzed for but not detected.  
 Q=Sample held beyond accepted holding time.  
 I=Value is between MDL and PQL.

  
 \_\_\_\_\_  
 Authorized CSM Signature  
 Florida Environmental Certification # E86006



**SUBMISSION #**  
1206-272

Logged in LIMS by  
CSM assigned

**CHAIN OF CUSTODY RECORD**

- 1460 W. McNab Road Ft. Laud, FL 33309
- 630 Indian Street Savannah, GA 31401
- 528 Gooch Road Fort Meade, FL 33841
- 610 Parrot Ave. N. Okeechobee, FL 34972

Tel: (954) 978-6400  
Tel: (912) 238-5050  
Tel: (863) 285-8145  
Tel: (863) 763-3336

Fax: (954) 978-2233  
Fax: (912) 234-4815  
Fax: (863) 285-7030  
Fax: (863) 763-1544

Original-Return w/report

Yellow-Lab File Copy

Pink - Sampler Copy

**DUE DATE Requested**  
06/11/12  
**RUSH RESERVATION #**  
MEC4951  
Rush Surcharges apply

Report to:  
Invoice to:  
(company name)

EEE+G

Purchase Order #

Report to Address:  
Invoice to Address:

5751 Miami Lakes Dr.  
Miami Lakes, FL 33014

Project Name

Palm Property

Site

7700 W. University Dr, Temarac, FL

Project Contact:

Nydia Comasquillo

Phone: 305-374-8300

Location: 7700 W. University Dr, Temarac, FL

Fax: 305-374-9004

Email:

Sampler Name:

Take Left Way

Affiliation: EELG 345-722-2002

Sampler Signature

J. L. Anthony

**Analysis Required**

**Field Tests**

**ORDER #**  
**Lab Control Number**  
**Shaded Areas For Laboratory Use Only**

Sample ID

Date Sampled

Time Sampled

Matrix  
DW SW  
GW WW  
S SED  
HW BIO  
SEA OIL  
X AIR

Bottle & Pres. Combo Codes

Number of Containers Received & NELAC Letter Suffixes A-?

1-MS

T E M P  
P H  
C O N D  
C H L O R

ORDER #	Lab Control Number	Sample ID	Date Sampled	Time Sampled	Matrix	Bottle & Pres. Combo Codes	Number of Containers Received & NELAC Letter Suffixes A-?	Field Tests
200271		SS-1	6-11		S	52	1	
200272		SS-2						
200273		SS-3						
200274		SS-4						
200275		SS-5						
200276		SS-6						
200278		SS-7						
200279		SS-8						
10								

**RUSH**

Special Comments: 24-hr TAT please.

Deliverables: "I waive TNI protocol" (emergency) (sign here) >

QA/QC Report Needed?

Yes No (additional charge)

Signature

Affiliation

Date/Time

Sample Custody & Field Comments

Temp as received Y N C  
Custody seals? Y N  
FIELD TIME: hrs  
Sampling hrs  
Pick-Up hrs  
Misc Charges

Bottle Type

Preservatives

Additional Preservatives

Received by:

J. L. Anthony / EELG 6/11/12/1415

A-amber  
B-Bacteria bag/bottle  
F-500 ml  
H-Plastic Amber Lifer  
L-lifer bottle  
S2-2 oz soil jar  
S4-4 oz soil jar / S8-8 oz soil jar  
T-250 ml  
V-40 ml vial  
W-wide mouth  
X-other  
B-brown liter plastic

O-125 ml  
0-125 ml

TED-Tedlar Air Bag  
Additional Bottle Types

A-ascorbic acid  
C-HCL  
Cu-CuSO4  
DI-DI water  
H-HNO3  
M-MCAB  
MeOH-Methanol  
Z-zinc acetate

F-H3PO4  
S-H2SO4  
T-Na2S2O3  
U-Unpreserved  
N-NaOH  
NH4-NH4CL

Received by:

Received by: [Signature]

Additional Preservatives

Hex-Hex Cr Buffer  
EDA-Ethylene Diamine

Received by:

Received by:

Received by: [Signature]

Additional Preservatives

Hex-Hex Cr Buffer  
EDA-Ethylene Diamine

Received by:

Received by:

Received by: [Signature]



ENVIRONMENTAL SERVICES, LLC

 5751 Miami Lakes Dr.  
 Miami Lakes, FL 33014  
 Phone: (305)374-8300 Fax: (305)374-9004

## SOIL SAMPLING LOG

SITE NAME:	Palm Property		LAB ID: FS 6-11 @1615
SITE LOCATION:	7700 N. University Dr., Tamarac, FL		DATE: 6-11-12
SAMPLED BY (PRINT)/ AFFILIATION	Jake Lathrop/EE&G	SAMPLER(S) SIGNATURE(S):	J. Lathrop
EQUIPMENT:	SS hand-riggers, other tools		
FIELD DECONTAMINATION:	SOP		
GROUNDWATER DEPTH OTHER CONDITIONS:	GW N/A. All surfaces unpaved.		

SAMPLE ID	CNTR No(s)	TIME	DEPTH (Feet)	OVA VALUES (ppm)			DESCRIPTION REMARKS
				HIGH	FILTER	NET	
SS-1	1	1325	0-1.5				Dark brown sand
			1.5-2				Sand-rock fill
SS-2	2	1345	0-1				Dark brown sand
			1-2				Tan sand
SS-3	3	1405	0-1.5				Dark brown sand
			1.5-2				Tan sand
SS-4	4	1425	0-1.5				Dark brown sand
			1.5-2				Red-tan sand
SS-5	5	1445	0-1				Dark brown sand
			1-2				Rock-sand fill
SS-6	6	1505	0-1				Dark brown sand
			1-2				Rock-sand fill
SS-7	7	1525	0-1				Dark brown sand
			1-2				Rock-sand fill
SS-8	8	1545	0-1				Dark brown sand
			1-2				Rock-sand fill

**APPENDIX J**

**RESUMES & COMPANY STATEMENT OF QUALIFICATIONS**

## COMPANY PROFILE

EE&G is a full-service environmental, engineering, and consulting firm offering its clients a broad range of consulting, testing, and laboratory services. EE&G and its management have provided environmental consulting services for over 20 years. EE&G companies are headquartered in Miami Lakes, Florida, with other offices strategically located in Tampa, Melbourne, and Orlando, Florida, and Houston, Texas. Additionally, EE&G is poised to provide immediate access and rapid deployment of resources to meet client's project needs throughout the United States and Caribbean. Our multidisciplinary team of professionals consists of geologists, engineers, environmental scientists, industrial hygienists, general and electrical contractors, hazardous materials managers, and safety professionals. All work is conducted by well trained, educated, and licensed (where appropriate) personnel working under the direct supervision of a licensed professional.

Phase I and Phase II Environmental Site Assessments are performed by a team of experienced environmental specialists and under the supervision of Environmental Professionals (and licensed professionals when required) to assure accurate, high-quality deliverables. EE&G has extensive experience in the environmental consulting industry and provides services to a wide range of clientele, including local, state, and federal government agencies, military services, and private individuals/corporations. EE&G specializes in the following main areas:

### REAL ESTATE ASSESSMENTS

- Property Transaction Screening Process (TSP) Assessments
- Phase I Environmental Site Assessments (ESAs)
- Phase II Environmental Site Assessments (ESAs)
- Property Cleanup & Remediation Design, Budgeting and Implementation

### PETROLEUM, HAZARDOUS SUBSTANCE & WASTE CONSULTING

- Site Assessment & Remediation (Soil, Groundwater, Vapor & Surface Water)
- Source Removals / De Minimis Cleanups / Interim Remedial Action (IRA) Plans
- Compliance Audits/Pollution Prevention Plans
- Storage Tank Removal, Assessment & Management
- Brownfields Site Rehabilitation Services
- Landfill Assessments and Monitoring
- Risk-Based Corrective Action (RBCA) Evaluation

### ASBESTOS, LEAD-BASED PAINT & RADON CONSULTING

- Building Inspections
- Design of Abatement Plans & Specifications
- Contractor Oversight & Performance Evaluations
- Air Quality Testing
- O&M Programs
- Risk Assessments
- Assessments with XRF Device (X-Ray Fluorescence)

### INDOOR AIR QUALITY

- Mold Assessment & Remediation
- General Air Quality Inspections & IAQ Complaint Assessments
- HVAC Inspections and Maintenance Program Review
- Monitoring of Thermal Comfort Parameters
- Screening for Chemical Agents (e.g. Formaldehyde, TVOCs)

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**ENVIRONMENTAL PROFESSIONAL / ASSOCIATE STAFF PROFESSIONAL**

**EDUCATION:**

Bachelor of Science – Environmental Engineering,  
Polytechnic University of Puerto Rico – Graduated 2006

Microbiology and Cell Science Curriculum, University of  
Florida (studied 1998 – 2001)

**CERTIFICATIONS:**

40-Hour OSHA HAZWOPER Certified  
8-Hour HAZWOPER Supervisor /Management Certified

**PROFESSIONAL EXPERIENCE:**

Ms. Carrasquillo is considered to be an Environmental Professional pursuant to ASTM 1527-05 and Pursuant to 40 CFR.10 based on education and experience. Ms. Carrasquillo has over 5 years of experience in the environmental consulting field, specializing in conducting Phase I and II Environmental Site Assessments.

Ms. Carrasquillo has conducted over 100 due diligence assessments, including Phase I ESAs, Phase II ESAs and Transaction Screen Process, in accordance with the ASTM 1527 and 1528 Practices, FDIC Guidelines, as well as those of major national lending institutions. Assessments were performed in Florida, California, and Texas.

Ms. Carrasquillo is experienced in soil and groundwater sampling in accordance with the Florida Department of Environmental Protection (FDEP) Standard Operating Procedures (SOPs) per Chapter 62-160, Florida Administrative Code (FAC).

Ms. Carrasquillo is experienced in the field management, data interpretation and report preparation, under the supervision of a Professional Geologist and/or Professional Engineer, of Site Assessment Reports (SARs), Source Removals/Interim Remedial Actions (IRAs), Tank Closure Assessment Reports (TCARs) and Remedial Action Plans (RAPs), in accordance with Chapters 62-761, FAC, 62-770, FAC and 62-780, FAC.

Ms. Carrasquillo has assisted a diverse group of clients with their due diligence requirements, ranging from bankers, lawyers, independent property owners to municipalities.

Assessment activities have been conducted at a variety of commercial properties including vacant land, warehouses, multi-family residences, schools, hospitals, hotels, resorts, retail centers, manufacturing facilities, fueling facilities, automobile repair facilities, gas stations, and dry-cleaning facilities.

## ENVIRONMENTAL PROFESSIONAL / STAFF PROFESSIONAL

### CERTIFICATIONS:

40-Hour OSHA HAZWOPER Certified  
 8-Hour HAZWOPER Supervisor /Management Certified  
 Florida DEP SOP Training – Ground/Water, Surface Water,  
 Waste Water, Sediment and Trace Metals  
 NIOSH Phase Contrast Microscopy Certified

### PROFESSIONAL EXPERIENCE:

Mr. Brosius is considered to be an Environmental Professional pursuant to ASTM 1527-05 and Pursuant to 40 CFR.10, based on having over 14 years of project management experience in environmental consulting, specializing in environmental due diligence (Phase I and Phase II Environmental Site Assessments).

Additionally, Mr. Brosius has supervised numerous contamination site assessment projects including all aspects of field management for boring/well installations, soil, groundwater, surface water and soil vapor sampling, source removal, tank removals/closure assessments, data interpretation and report preparation.

- Mr. Brosius has conducted over 500 due diligence assessments, including Phase I ESAs, Phase II ESAs and Transaction Screen Process, in accordance with the ASTM 1527 and 1528 Practices, FDIC Guidelines, as well as those of major national lending institutions. Assessments were performed in Florida, California, Ohio, North and South Carolina, Washington, Nevada, New York, New Jersey, Virginia, Michigan, Missouri, Illinois and Indiana.
- Landfill Assessments
  - Site Assessment and Site Rehabilitation during redevelopment of the Poinciana Elementary School in Key West, FL (former landfill).
  - Site Assessment and Site Rehabilitation during redevelopment of the Horace O'Bryant Elementary School in Key West, FL (former landfill).
  - Long-term Monitoring Monroe County Solid Waste Landfills at Cudjoe Key, Long Key, and Key Largo.
  - Ammonia Assessments at the North Dade County, FL Landfill.

- Field/Project management during sampling, site assessment, tank removal, and/or source removal projects for the following projects and/or clients:

#### Domestic –

- City of Miami Brownfields Grant Program.
- City of Fort Lauderdale Brownfields Grant Program and Corridor Studies.
- City of Margate ESA Assessment.
- City of Oakland Park ESA Assessment.
- Monroe County School Board – Poinciana Elementary School Engineering Controls.
- United States Post Office Compliance Issues and Source Removal projects.
- United States National Park Service – Assessments, Compliance Issues/Tank Closures.
- Jackson Memorial Hospital Tank Upgrades and Assessment.
- Marriott Hotel - Source Removal, Tank Closure Assessments and Compliance Issues.
- Former Nike Missile Base, Everglades National Park, Homestead, FL
- Heery International – Health and Safety Oversight.
- Technology Center of America - Source Removal and Emergency Tank Closures.
- Terremark Construction – Assessment and Tank Closures.
- Scott Robbins Construction – Assessment and Tank Closures.

#### International –

- Fuel leak mitigation and assessment at the Ritz-Carlton Hotel in Montego Bay, Jamaica.
- Phase I ESA for the Guanahani Luxury Resort in Saint Barthelemy, French West Indies.
- Assessment of resort, marina and landfill area at Walkers Cay, Bahamas
- Baseline assessment of the Trutier landfill in Port-Au-Prince, Haiti.



**APPENDIX K**  
**TERMS, DEFINITIONS & ACRONYMS**

## DEFINITIONS

- **Abandoned Property** – *property* that can be presumed to be deserted, or an intent to relinquish possession or control can be inferred from the general disrepair or lack of activity thereon such that a reasonable person could believe that there was an intent on the part of the current owner to surrender rights to the *property*.
- **Activity and use limitations** – legal or physical restrictions or limitations on the use of, or access to, a site or facility: (1) to reduce or eliminate potential exposure to hazardous substances in the soil or ground water on the property, or (2) to prevent activities that could interfere with the effectiveness of a response action, in order to ensure maintenance of a condition of no significant risk to public health or the environment. These legal or physical restrictions, which may include institutional and/or engineering controls, are intended to prevent adverse impacts to individuals or populations that may be exposed to hazardous substances in the soil or ground water on the property.
- **Actual knowledge** – the knowledge actually possessed by an individual who is a real person, rather than an entity. Actual knowledge is to be distinguished from constructive knowledge that is knowledge imputed to an individual or entity.
- **Adjoining properties** – any real property or properties the border of which is contiguous or partially contiguous with that of the property, or that would be contiguous or partially contiguous with that of the property but for a street, road, or other public thoroughfare separating them.
- **Aerial photographs** – photographs taken from an aerial platform with sufficient resolution to allow identification of development and activities of areas encompassing the property. Aerial photographs are often available from government agencies or private collections unique to a local area. See 8.3.4.1 of this practice.
- **All appropriate inquiry** – that inquiry constituting “all appropriate inquiry into the previous ownership and uses of the property consistent with good commercial or customary practice” as defined in CERCLA, 42 USC § 9601(35) (B), that will qualify a party to a *commercial real estate* transaction for one of the threshold criteria for satisfying the LLPs to CERCLA liability (42 USC § 9601(35)(A) & (B) §9607(b) (3), §9607(q); and §9607(r) ), assuming compliance with other elements of the defense. See Appendix X1 of this practice.
- **Approximate minimum search distance** – the area for which records must be obtained and reviewed pursuant to Section 8 subject to the limitations provided in that section. This may include areas outside the property and shall be measured from the nearest property boundary. This term is used in lieu of radius to include irregularly shaped properties.
- **Bona Fide prospective purchaser liability protection** – (42 U.S.C. §9607(r) – a person may qualify as a bona fide prospective purchaser if, among other requirements, such person made “all appropriate inquiries into the previous ownership and uses of the facility in accordance with generally accepted good commercial and customary standards and practice. “Knowledge of contamination resulting from all appropriate inquiry would not generally preclude this liability

protection. A person must make all appropriate inquiry on or before the date of purchase. The facility must have been purchased after January 11<sup>th</sup>, 2002. See ASTM E 1527-05 Appendix X1 for the other necessary requirements that are beyond the scope of this practice.

- **Brownfields amendments** – amendments to CERCLA pursuant to the Small Business Liability Relief and Brownfields Revitalization Act, Pub. L. No. 107-118 (2002), 42 U.S.C. §§9601 *et seq.*
- **Building department records** – those records of the local government in which the property is located indicating permission of the local government to construct, alter, or demolish improvements on the property. Often building department records are located in the building department of a municipality or county. See 8.3.4.7.
- **Commercial real estate** - any real *property* except a *dwelling* or *property* with no more than four dwelling units exclusively for residential use (except that a dwelling or property with no more than four dwelling units exclusively for residential use is included in this term when it has a commercial function, as in the building of such dwelling for profit). This term includes but is not limited to undeveloped real property and real property used for industrial, retail, office, agricultural, other commercial, medical, or educational purposes; property used for residential use when it has a commercial function, as in the building of such dwellings for profit.
- **Commercial real estate transactions** – A transfer of title to or possession of real property, except that it does not include transfer of title to or possession of real property with respect to an individual dwelling or building containing fewer than five dwelling units, nor does it include the purchase of a lot or lots to construct a dwelling for occupancy by a purchaser, but a commercial real estate transaction does include real property purchased or leased by person or entities in the business of building or developing dwelling units.
- **Comprehensive Environmental Response, Compensation and Liability Information Systems (CERCLIS)** – the list of sites compiled by EPA that EPA has investigated or is currently investigating for potential hazardous substance contamination for possible inclusion on the National Priorities List.
- **Construction debris** – concrete, brick, asphalt, and other such building materials discarded in the construction of a building or other improvement to property.
- **Contiguous property owner liability protection**-(42 U.S.C. §9607(q))-a person may qualify for the *contiguous property owner liability protection* if, among other requirements, such person owns real property that is contiguous to, and that is or may be contaminated by hazardous substance from other real property that is not owned by that person. Furthermore, such person conducted *all appropriate inquiry* at the time of acquisition of the property and did not know or have reason to know that the property was or could be contaminated by a *release* or threatened release from the contiguous property. The all appropriate inquiry must not result in knowledge of contamination. If it does, then such person did “know” or “had reason to know” of contamination and would not be eligible for the

*contiguous property owner liability protection*. See Appendix X1 for the other necessary requirements that are beyond the scope of this practice.

- **CORRACTS list** – list of hazardous waste treatment, storage, or disposal facilities and other RCRIS facilities (due to past interim status or storage of hazardous waste beyond 90 days) that have been notified by the U.S. Environmental Protection Agency to undertake corrective action under RCRA.
- **Data Failure** – a failure to achieve the historical research objectives in 8.3.1 through 8.3.2.2 even after reviewing the standard historical sources in 8.3.4.1 through 8.3.4.8 that are reasonably ascertainable and likely to be useful. Data failure is one type of data gap. See 8.3.2.3 of this practice.
- **Data gap** – A lack of or inability to obtain information required by this practice despite good faith efforts by the environmental professional to gather such information. Data gaps may result from incompleteness in any of the activities required by this practice, including, but not limited to site reconnaissance (for example, an inability to interview the key site manager, regulatory officials, etc.) See 12.7 of this practice.
- **Demolition debris** – concrete, brick, asphalt, and other such building materials discarded in the demolition of a building or other improvement to property.
- **Drum** – a container (typically, but not necessarily, holding 55 gal (208 L) of liquid) that may be used to store hazardous substance or petroleum products.
- **Dry wells** – underground areas where soil has been removed and replaced with pea gravel, coarse sand, or large rocks. Dry wells are used for drainage, to control storm runoff, for the collection of spilled liquids (intentional and non-intentional) and wastewater disposal (often illegal).
- **Dwelling**-structure or portion thereof used for residential habitation.
- **Engineering controls** – physical modifications to a site or facility (for example, capping, slurry walls, or point of use water treatment) to reduce or eliminate the potential for exposure to hazardous substances or petroleum products in the soil or ground water on the property.
- **Environmental lien** – a charge, security, or encumbrance upon title to a *property* to secure the payment of a cost, damage, debt, obligation, or duty arising out of response actions, cleanup, or other remediation of *hazardous substances* or *petroleum products* upon a *property*, including (but not limited to) liens imposed pursuant to CERCLA 42 USC§ 9607(1) and similar state or local laws.
- **ERNS list** – EPA's emergency response notification system list of reported CERCLA hazardous substance releases or spills in quantities greater than the reportable quantity, as maintained at the National Response Center. Notification requirements for such releases or spills are codified in 40 CFR Parts 302 and 355.
- **Federal Registration (FR)** - publication of the United State government published daily (except for federal holidays and weekends) containing all proposed and final regulations and some other activities of the federal

government. When regulations become final, they are included in the Code of Federal Regulations (CFR), as well as published in the Federal Register.

- **Fill dirt** - dirt, soil, sand, or other earth, that is obtained off-site, and is used to fill holes or depressions, create mounds, or otherwise artificially change the grade or elevation of real property. It does not include material that is used in limited quantities for normal landscaping activities.
- **Fire insurance maps** – maps produced for private fire insurance map companies that indicate uses of properties at specified dates and that encompass the property. These maps are often available at local libraries, historical societies, private resellers, or from the map companies who produces them.
- **Good faith** – The absence of any intention to seek an unfair advantage or to defraud another party; an honest and sincere intention to fulfill one's obligations in the conduct or transaction concerned.
- **Hazardous substance** – A substance defined as a hazardous substance pursuant to CERCLA 42 USC§ 9601(14), as interpreted by EPA regulations and the courts: (A) any substance designated pursuant to section 1321(b)(2)(A) of Title 33, (B) any element, compound, mixture, solution, or substance designated pursuant to section 9602 of this title, (C) any hazardous waste having the characteristics identified under or listed pursuant to section 3001 of the Solid Waste Disposal Act (42 USC § 6921) (but not including any waste the regulation of which under the Solid Waste Disposal Act (42 USC § 6901 *et seq.*) has been suspended by Act of Congress), (D) any toxic pollutant listed under section 1317(a) of Title 33, (E) any hazardous air pollutant listed under section 112 of the Clean Air Act (42 USC § 7412), and (F) any imminently hazardous chemical substance or mixture with respect to which the Administrator (of EPA) has taken action pursuant to section 2606 of Title 15. The term does not include petroleum, including crude oil or any fraction thereof which is not otherwise specifically listed or designated as a hazardous substance under subparagraphs (A) through (F) of this paragraph, and the term does not include natural gas, natural gas liquids, liquefied natural gas, or synthetic gas usable for fuel (or mixtures of natural gas an such synthetic gas).” (See Appendix XI.)
- **Hazardous waste** – any hazardous waste having the characteristics identified under or listed pursuant to section 3001 of the Solid Waste Disposal Act (42 USC § 6921) (but not including any waste the regulation of which under the Solid Waste Disposal Act (42 USC § 6901 *et seq.*) has been suspended by Act of Congress). The Solid Waste Disposal Act of 1980 amended RCRA. RCRA defines a hazardous waste, in 42 USC § 6903, as: “a solid waste, or combination of solid wastes, which because of its quantity, concentration, or physical, chemical, or infectious characteristics may- (A) cause, or significantly contribute to an increase in mortality or an increase in serious irreversible, or incapacitating reversible illness; or (B) pose a substantial present or potential hazard to human health or the environment when improperly treated, stored, transported, or disposed of, or otherwise managed.”
- **IC/EC registries** – database of institutional controls or engineering controls that may be maintained by a federal, state or local environmental agency for purposes of tracking sites that may contain residual contamination and AULs.

The names for these may vary from program and state to state, and include term such as Declaration of Environmental Use Restriction database (Arizona), list of “deed restrictions” (California), environmental real covenants list (Colorado), brownfields site list (Indiana, Missouri, Pennsylvania).

- **Institutional controls** – a legal or administrative restriction (for example, deed restriction, restrictive zoning) on the use of, or access to, a site or facility to reduce or eliminate potential exposure to hazardous substances in the soil or ground water on the property.
- **Interviews** – those portions of this practice that are contained in Section 10 and 11 thereof and address questions to be asked of past and present owners, operators, and occupants of the property and question to be asked of local government officials.
- **Landfill** – a place, location, tract of land, area, or premises used for disposal of solid waste as defined by state solid waste regulations. The term is synonymous with the term *solid waste disposal site* and is also known as a garbage dump, trash dump, or similar term.
- **Local government agencies** – those agencies of municipal or county government having jurisdiction over the property. Municipal and county government agencies include but are not limited to cities, parishes, townships and similar entities.
- **Local street directories** – directories published by private (or sometimes government) sources that show ownership, occupancy, and/or use of sites by reference to street addresses. Often local street directories are available at libraries, or historical societies, and/or local municipal offices. See 8.3.4.6 of this practice.
- **Lust sites** – state lists of leaking underground storage tank sites. RCRA gives EPA and states, under cooperative agreements with EPA, authority to clean up release from UST systems or require owner and operators to do so. (42 U.S.C. §6991b).
- **Major occupants** – those tenants, subtenants, or other persons or entities each of which uses at least 40%
- **Material safety data sheet (MSDS)** – written or printed material concerning a hazardous substance which is prepared by chemical manufacturers, importers, and employers for hazardous chemicals pursuant to OSHA’s Hazard Communication Standard, 29 CFR 1910.1200.
- **National Contingency Plan (NCP)** – the National Oil and Hazardous Substance Pollution Contingency Plan, found at 40 CFR § 300, that is the EPA’s blueprint on how hazardous substances are to be cleaned up pursuant to CERCLA.
- **Occupants** – those tenants, subtenants, or other persons or entities using the *property* or a portion of the *property*.
- **Owner** – generally the fee owner of record of the *property*.

- **Petroleum exclusion** – the exclusion from CERCLA liability provided in 42 USC § 9601(14), as interpreted by the courts and EPA: “The term (hazardous substance) does not include petroleum, including crude oil or any fraction thereof which is not otherwise specifically listed or designated as a hazardous substance under subparagraphs (A) through (F) of this paragraph, and the term does not include natural gas, natural gas liquids, liquefied natural gas, or synthetic gas usable for fuel (or mixtures of natural gas and such synthetic gas).”
- **Petroleum products** – those substances included within the meaning of the *petroleum exclusion* to CERCLA, 42 USC § 9601(14), as interpreted by the courts and EPA, that is: petroleum, including crude oil or any fraction thereof which is not otherwise specifically listed or designated as a hazardous substance under Subparagraphs (a) through (f) of 42 USC § 9601(14), natural gas, natural gas liquids, liquefied natural gas, and synthetic gas usable for fuel (or mixtures of natural gas and such synthetic gas). (The word fraction refers to certain distillates of crude oil, including gasoline, kerosene, diesel oil, jet fuels, and fuel oil, pursuant to *Standard Definitions of Petroleum Statistics*.)
- **Pits, ponds, or lagoons** – man-made or natural depressions in a ground surface that are likely to hold liquids or sludge containing *hazardous substances* or *petroleum products*. The likelihood of such liquids or sludge being present is determined by evidence of factors associated with the pit, pond, or lagoon, including, but not limited to, discolored water, distressed vegetation, or the presence of an obvious wastewater discharge.
- **Property** – the real property that is the subject of the *environmental site assessment* described in this practice. Real property includes buildings and other fixtures and improvements located on the property and affixed to the land.
- **RCRA TSD facilities** – those facilities on which treatment, storage, and/or disposal of hazardous wastes take place, as defined and regulated by RCRA.
- **Solvent** - a chemical compound that is capable of dissolving another substance and may itself be a *hazardous substance*, used in a number of manufacturing/industrial processes including but not limited to the manufacture of paints and coatings for industrial and household purposes, equipment clean-up, and surface degreasing in metal fabricating industries.
- **Sump** – a pit, cistern, cesspool, or similar receptacle where liquids drain, collect, or are stored.
- **TSD facility** – treatment, storage, or disposal facility (see RCRA TSD facilities).
- **Underground storage tanks (UST)** – any tank, including underground piping connected to the tank, that is or has been used to contain *hazardous substances* or *petroleum products* and the volume of which is 10% or more beneath the surface of the ground.
- **Wastewater** – water that (1) is or has been used in an industrial or manufacturing process, (2) conveys or has conveyed sewage, or (3) is directly related to manufacturing, processing, or raw materials storage areas at an industrial plant. Wastewater does not include water originating on or passing through or adjacent to a site, such as storm water flows, that has not been used

in industrial or manufacturing processes, has not been combined with sewage, or is not directly related to manufacturing, processing, or raw materials storage areas at an industrial plant.

#### ADDITIONAL DEFINITIONS – SPECIFIC TO ESA

- **Actual knowledge** – the knowledge actually possessed by an individual who is a real person, rather than an entity. Actual knowledge is to be distinguished from constructive knowledge that is knowledge imputed to an individual or entity.
- **Adjoining properties** – any real property or properties the border of which is contiguous or partially contiguous with that of the property, or that would be contiguous or partially contiguous with that of the property but for a street, road, or other public thoroughfare separating them.
- **Appropriate inquiry** – that inquiry constituting “all appropriate inquiry into the previous ownership and uses of the property consistent with good commercial or customary practice” as defined in CERCLA, 42 USC § 9601(35)(B), that will give a party to a *commercial real estate* transaction the *innocent landowner defense* to CERCLA liability (42 USC § 9601(A) and (B) and § 9607(b)(3)), assuming compliance with other elements of the defense. See Appendix X1.
- **Business environmental risk** – a risk which can have a material environmental or environmentally-driven impact on the business associated with the current or planned use of a parcel of commercial real estate, not necessarily limited to those environmental issues required to be investigated in this practice. Consideration of *business environmental risk* issues may involve addressing one or more non-scope considerations, some of which are identified in Section 12.
- **Due diligence** – the process of inquiring into the environmental characteristics of a parcel of *commercial real estate* or other conditions, usually in connection with a commercial real estate transaction. The degree and kind of due diligence vary for different properties and differing purposes.
- **Environmental audit** – the investigative process to determine if the operations of an existing facility are in compliance with applicable environmental laws and regulations. This term should not be used to describe Practice E 1528 or 1527, although an environmental audit may include an *environmental site assessment* or, if prior audits are available, may be part of an environmental site assessment.
- **Environmental professional** – a person possessing sufficient training and experience necessary to conduct a *site reconnaissance*, *interviews*, and other activities in accordance with this practice, and from the information generated by such activities, having the ability to develop opinions and conclusions regarding *recognized environmental conditions* in connection with the *property* in question. An individual’s status as an environmental professional may be limited to the type of assessment to be performed or to specific segments of the assessment for which the professional is responsible. The person may be an independent contractor or an employee of the *user*.
- **Environmental site assessment (ESA)** – the process by which a person or entity seeks to determine if a particular parcel of real *property* (including improvements) is subject to *recognized environmental conditions*. At the option



of the user, and environmental site assessment may include more inquiry than that constituting *appropriate inquiry* or, if the user is not concerned about qualifying for the *innocent landowner defense*, less inquiry than that constituting *appropriate inquiry*. An environmental site assessment is both different from and less rigorous than an *environmental audit*.

- **Historical recognized environmental condition** – environmental condition that in the past would have been considered a *recognized environmental condition*, but which may or may not be considered a *recognized environmental condition* currently. The final decision rests with the *environmental professional* and will be influenced by the current impact of the *historical recognized environmental condition* on the property. If a past release of any hazardous substances or petroleum products has occurred in connection with the property and has been remediated, with such remediation accepted by the responsible regulatory agency (for example, as evidenced by the issuance of a no further action letter or equivalent), this condition shall be considered an *historical recognized environmental condition* and included in the findings section of the Phase I *Environmental Site Assessment* report. The *environmental professional* shall provide an opinion of the current impact on the property of this *historical recognized environmental condition* in the opinion section of the report. If this *historical recognized environmental condition* at the time the Phase I *Environmental Site Assessment* is conducted, the condition shall be identified as such and listed in the conclusions section of the report.
- **Innocent landowner defense** – that defense to CERCLA liability provided in 42 USC § 9601(35) and § 9607(b)(3). One of the requirements to qualify for this defense is that the party makes “all appropriate inquiry into the previous ownership and uses of the property consistent with good commercial or customary practice.” There are additional requirements to qualify for this defense. See Appendix X1.
- **Key site manager** – the person identified by the *owner* of a *property* as having good knowledge of the uses and physical characteristics of the property. See 9.5.1.
- **Landowner Liability Protections (LLPs)** – landowner liability protections under CERCLA; these protections include the bona fide prospective purchaser liability protection, contiguous property owner liability protection, and innocent landowner defense from CERCLA liability, See 42 USC § §9601(35)(A), 9601(40), 9607(b), 9607(q), 9607 (r).
- **Material threat** – a physically observable or obvious threat which is reasonably likely to lead to a release that, in the opinion of the *environmental professional*, is threatening and might result in impact to public health of the environment. An example might include an aboveground storage tank that contains a hazardous substance and which shows evidence of damage. The damage would represent a material threat if it is deemed serious enough that it may cause or contribute to tank integrity failure with a release of contents to the environment.
- **Obvious** – that which is plain or evident; a condition or fact that could not be ignored or overlooked by a reasonable observer while *visually or physically observing the property*.

- **Other historical sources** – any source or sources other than those designated in 7.3.4.1 through 7.3.4.8 that are credible to a reasonable person and that identify past uses of the property. The term includes, but is not limited to : miscellaneous maps, newspaper archives, and records in the files and/or personal knowledge of the *property owner* and/or *occupants*. See 7.3.4.9.
- **Practically reviewable** – information that is practically reviewable means that the information is provided by the source in a manner and in a form that, upon examination, yields information relevant to the *property* without the need for extraordinary analysis or irrelevant data. The form of the information shall be such that the user can review the records for a limited geographic area. Records that cannot be feasibly retrieved by reference to the location of the *property* or a geographic area in which the *property* is located are not generally *practically reviewable*. Most databases of public records are *practically reviewable* if they can be obtained from the source agency by the county, city, zip code, or other geographic area of the facilities listed in the record system. Records that are sorted, filed, organized, or maintained by the source agency only chronologically are not generally practically reviewable. Listings in publicly available records which do not have adequate address information to be located geographically are not generally considered practically reviewable. For large databases with numerous facility records (such as RCRA hazardous waste generators and registered underground storage tanks), the records are not *practically reviewable* unless they can be obtained from the source agency in the smaller geographic area of zip codes. Even when information is provided by zip code for some large databases, it is common for an unmanageable number of sites to be identified within a given zip code. In these cases, it is not necessary to review the impact of all of the sites that are likely to be listed in any given zip code because that information would not be *practically reviewable*. In other words, when so much data is generated that it cannot be feasibly reviewed for its impact on the *property*, it is not *practically reviewable*.
- **Publicly available** – information that is publicly available means that the source of the information allows access to the information by anyone upon request.
- **Reasonably ascertainable** – for purposes of both Practice E 1527 and 1528, information that is (1) *publicly available*, (2) obtainable from its source within reasonable time and cost constraints, and (3) *practically reviewable*.
- **Recognized environmental conditions** – the presence or likely presence of any *hazardous substances* or *petroleum products* on a *property* under conditions that indicate an existing release, a past release, or a material threat of a release of any *hazardous substances* or *petroleum products* into structures on the *property* or into the ground, ground water, or surface water of the *property*. The term includes *hazardous substances* or *petroleum products* even under conditions in compliance with laws. The term is not intended to include *de minimis* conditions that generally do not present a material risk of harm to public health or the environment and that generally would not be the subject of enforcement action if brought to the attention of appropriate governmental agencies. Conditions determined to be *de minimis* are not *recognized environmental conditions*.
- **User** – the party seeking to use Practices E 1527 or E 1528 to perform an *environmental site assessment* of the *property*. A user may include, without

limitation, a purchaser of *property*, a potential tenant of property, an *owner* of *property*, a lender, or a property manager.

- **Visually and/or physically observed** – during a *site visit* pursuant to Practice E 1528, or pursuant to this practice, this term generally means observations made by vision while walking through a *property* and the structures located on it and observations made by the sense of smell, particularly observations of noxious or foul odors. The term “walking through” is not meant to imply that disabled persons who cannot physically walk may not conduct a *site visit*; they may do so by the means at their disposal for moving through the *property* and the structures located in it.

## ACRONYMS

- **AULs** – Activity and Use Limitations
- **CERCLA**-Comprehensive Environmental Response, Compensation and Liability Act of 1980 (as amended, 42 USC § 9601 *et seq.*).
- **CERCLIS**-Comprehensive Environmental Response, Compensation and Liability Information System (maintained by EPA).
- **CFR**-Code of Federal Regulations.
- **CORRACTS**-facilities subject to Corrective Action under RCRA.
- **ECs** – Engineering Controls
- **EPA**-United States Environmental Protection Agency.
- **EPCRA**-Emergency Planning and Community Right to Know Act ((also known as SARA Title III), 42 USC § 11001 *et seq.*).
- **ERNS**-emergency response notification system.
- **ESA**-Environmental Site Assessment (different than an *environmental audit*; see 3.3.13).
- **FINDS**- Facility Index System
- **FOIA**-U.S. Freedom of Information Act (5 USC 552 *et seq.*).
- **FR**-Federal Register.
- **GWCTLs** – Groundwater Clean-up Target Levels
- **ICs** – Institutional Controls
- **LLPs** – Landowner Liability Protections under the Brownfields Amendments
- **LUST**-Leaking Underground Storage Tank.

- **MSDS**-Material Safety Data Sheet.
- **NCP**-National Contingency Plan.
- **NFRAP**-former CERCLIS sites where no further remedial action is planned under CERCLA.
- **NPDES**-National Pollutant Discharge Elimination System.
- **NPL**-National Priorities List.
- **PERC**- Perchloroethylene
- **PCBs**-Polychlorinated Biphenyls.
- **PRP**-Potentially Responsible Party (pursuant to CERCLA 42 USC § 9607(a)).
- **RCRA**-Resource Conservation and Recovery Act (as amended, 42 USC § 6901 *et seq.*).
- **SARA**-Superfund Amendments and Reauthorization Act of 1986 (amendment to CERCLA).
- **TSDF**-hazardous waste treatment, storage or disposal facility.
- **USC**-United States Code.
- **USGS**-United States Geological Survey.
- **UST**-underground storage tank.