



Coldwell Banker Commercial

SAUNDERS RALSTON DANTZLER REALTY

Commercial Real Estate for Central Florida



PROPERTY FOR SALE

WESTERMAN 0.85 ACRES

877.518.5263 | SRDcommercial.com | 114 N. Tennessee Ave. Lakeland, FL 33801

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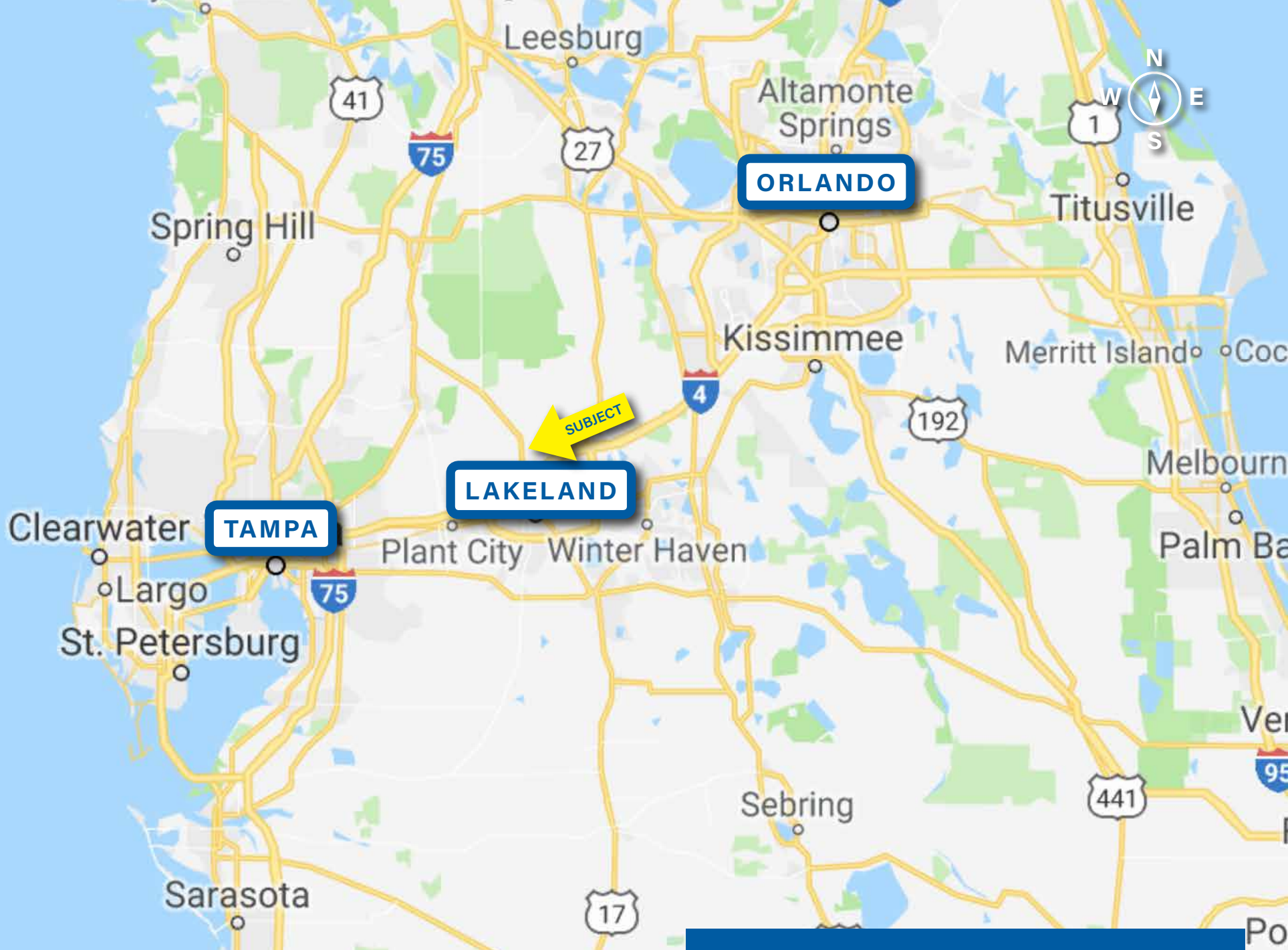


EXECUTIVE SUMMARY

0 BLANTON RD LAKELAND, FL 33809

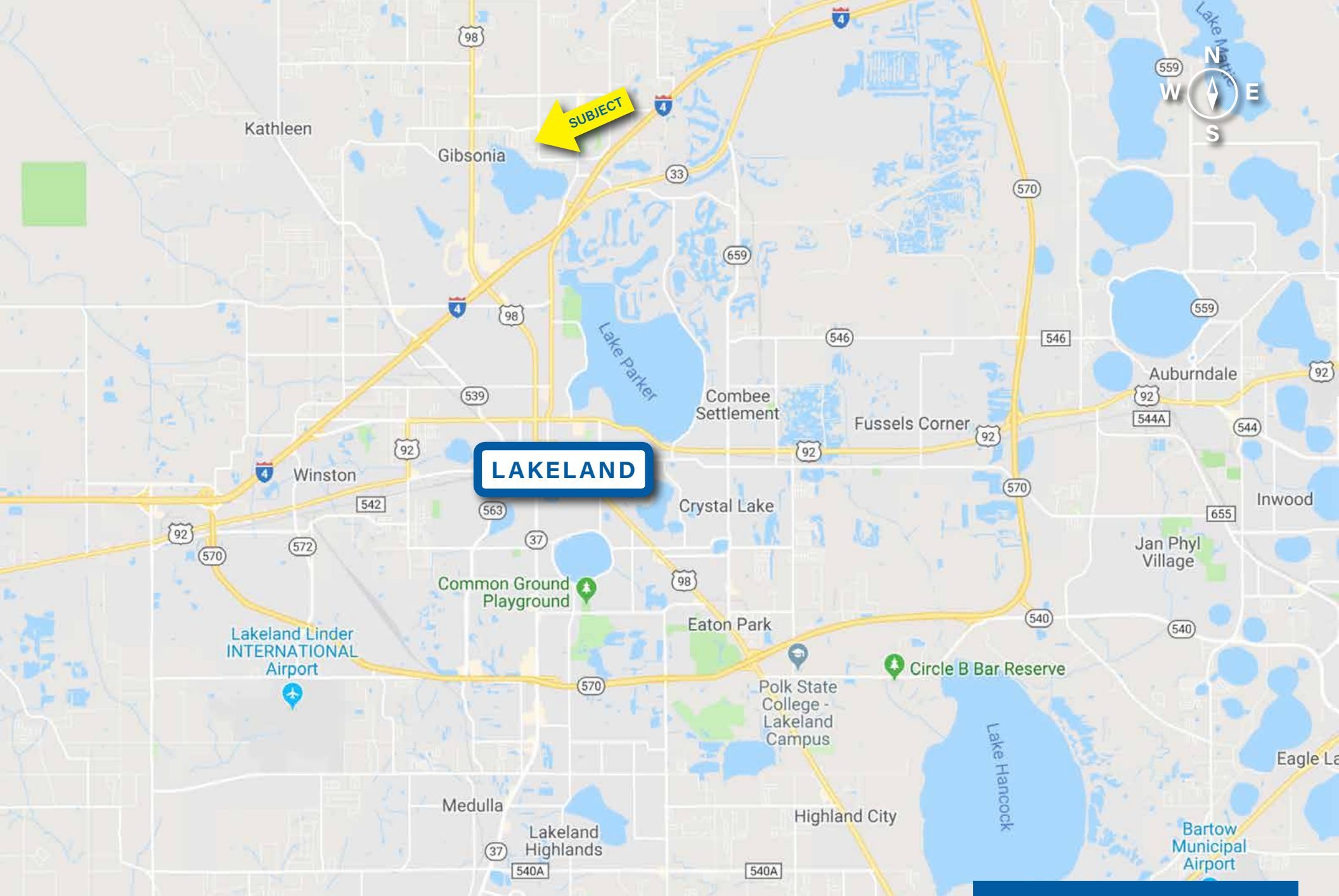
This parcel is situated along Pearce Rd., in North Lakeland. The property is just off busy US 98 N, with quick access to its restaurants and retailers, but also benefits from being in a quiet neighborhood. Current zoning allows for residential uses, and Southern Homes is constructing a new subdivision across the street. The land use could potentially be changed to allow commercial uses, matching some of the surrounding property. This is a growing area with a new shopping plaza planned just to the north, and all 3 public schools are located in close proximity to the property.

Site Address:	0 Blanton Rd, Lakeland, FL 33809
County:	Polk
PIN (Property Identification Number):	232724000000011004, 232724000000011015
Land Size:	0.85 +/- acres
Property Use:	Vacant Residential
Utilities:	Well and Septic Needed
Zoning:	Residential Low - Polk County
Taxes:	\$304.64 total (2018)
Traffic Count:	18,800 cars/day on Marcum Rd
Asking Price:	\$92,400



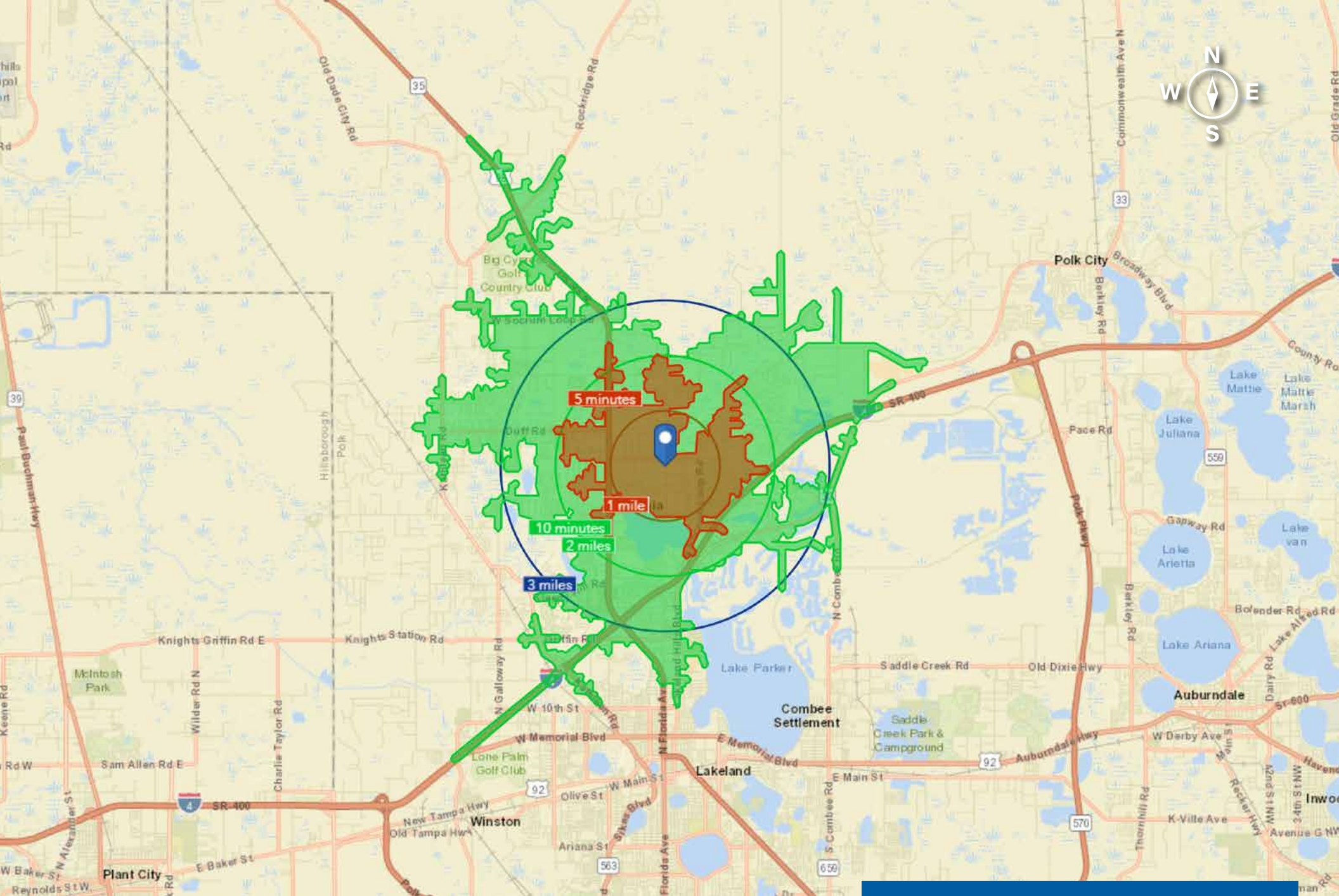
REGIONAL LOCATION MAP

Located in the Lakeland - Winter Haven MSA, between Tampa and Orlando, in the center of the I-4 Corridor.



Located in north Lakeland, FL near I-4

LOCATION MAP



1, 2, 3 mile radius

5, 10 minute drive time

DEMOGRAPHICS MAP

BENCHMARK DEMOGRAPHICS

	1 Mile	2 Miles	3 Miles	5 Mins	10 Mins	Polk	FL	US
Population	6,379	28,205	49,166	11,913	56,063	667,696	20,875,686	330,088,686
Households	2,536	11,732	19,587	4,874	21,830	249,123	8,152,541	124,110,001
Families	1,765	7,897	13,182	3,320	15,180	173,193	5,273,287	81,631,156
Average Household Size	2.51	2.39	2.48	2.43	2.54	2.63	2.51	2.59
Owner Occupied Housing Units	1,744	7,968	12,509	3,480	14,847	169,591	5,193,134	78,262,285
Renter Occupied Housing Units	792	3,764	7,078	1,395	6,984	79,532	2,959,407	45,847,716
Median Age	42.5	45.7	42.6	46.2	42.6	41.4	42.3	38.3
Income								
Median Household Income	\$48,494	\$51,013	\$50,942	\$48,562	\$51,662	\$47,429	\$52,098	\$58,100
Average Household Income	\$62,020	\$64,387	\$64,785	\$63,078	\$64,993	\$64,107	\$75,281	\$83,694
Per Capita Income	\$23,886	\$26,771	\$26,362	\$25,919	\$25,657	\$24,475	\$29,913	\$31,950
Trends: 2015 - 2020 Annual Growth Rate								
Population	0.94%	1.19%	1.35%	1.05%	1.29%	1.55%	1.41%	0.83%
Households	0.88%	1.17%	1.30%	0.99%	1.24%	1.48%	1.36%	0.79%
Families	0.81%	1.06%	1.19%	0.92%	1.14%	1.42%	1.30%	0.71%
Owner HHs	1.63%	1.70%	1.81%	1.59%	1.73%	2.07%	1.91%	1.16%
Median Household Income	1.94%	2.28%	2.34%	2.40%	2.18%	2.65%	2.52%	2.50%

There is great population density within a 2-mile radius of 28,205 people. The Median Household Income in the area is higher than surrounding Polk County.

BENCHMARK DEMOGRAPHICS

1 Mile 2 Miles 3 Miles 5 Mins 10 Mins Polk FL US

Households by Income

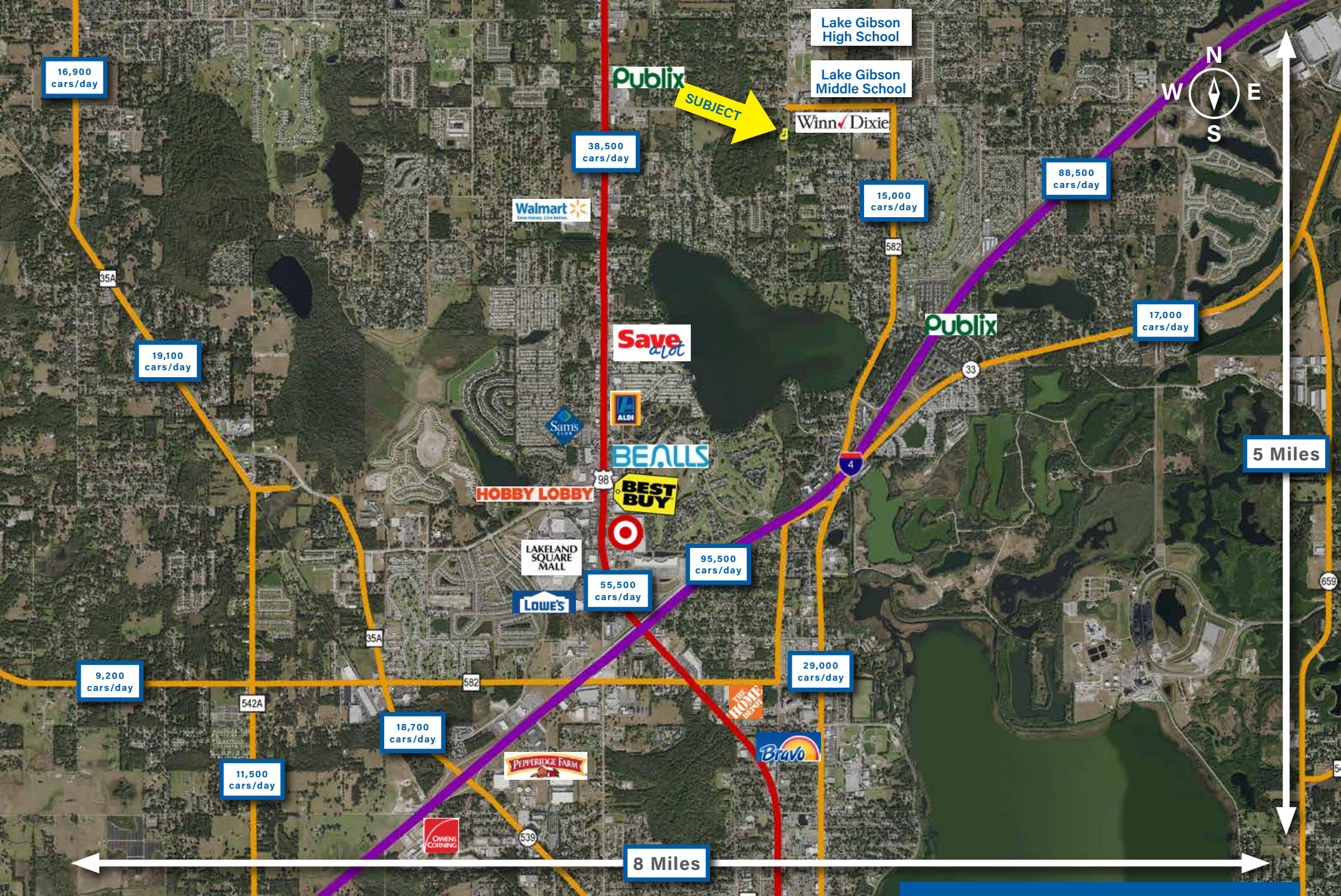
<\$15,000	9.20%	9.30%	9.20%	10.50%	9.60%	12.10%	11.70%	11.20%
\$15,000 - \$24,999	7.10%	10.30%	10.80%	7.90%	10.10%	11.70%	10.60%	9.40%
\$25,000 - \$34,999	11.40%	11.50%	11.30%	11.20%	11.40%	11.80%	10.70%	9.30%
\$35,000 - \$49,999	23.90%	17.60%	17.40%	21.80%	16.80%	16.60%	14.70%	12.80%
\$50,000 - \$74,999	23.40%	20.70%	20.80%	20.50%	21.10%	19.90%	18.70%	17.60%
\$75,000 - \$99,999	11.00%	14.00%	13.90%	12.10%	14.50%	12.30%	11.90%	12.50%
\$100,000 - \$149,999	9.90%	11.80%	11.50%	11.20%	11.50%	9.90%	12.10%	14.40%
\$150,000 - \$199,999	2.60%	3.20%	3.10%	3.30%	3.30%	2.90%	4.50%	6.00%
\$200,000+	1.50%	1.60%	2.00%	1.50%	1.80%	2.90%	5.10%	6.70%

Population by Age

0 - 4	5.30%	4.80%	5.40%	4.80%	5.60%	6.00%	5.30%	6.00%
5 - 9	5.20%	4.90%	5.50%	4.90%	5.70%	6.00%	5.40%	6.20%
10 - 14	5.60%	5.20%	5.50%	5.20%	5.80%	6.00%	5.60%	6.30%
15 - 19	6.10%	5.10%	5.30%	5.30%	5.50%	5.90%	5.70%	6.40%
20 - 24	6.70%	5.70%	6.00%	5.60%	5.70%	5.90%	6.30%	6.90%
25 - 34	12.90%	12.50%	13.30%	12.00%	12.70%	12.70%	13.20%	13.90%
35 - 44	11.10%	11.00%	11.70%	10.80%	11.80%	11.40%	11.70%	12.50%
45 - 54	12.70%	11.80%	12.20%	11.90%	12.20%	11.80%	12.70%	12.80%
55 - 64	13.30%	13.30%	12.80%	13.40%	12.80%	13.10%	13.60%	13.00%
65 - 74	11.10%	13.00%	11.70%	12.90%	11.70%	12.10%	11.50%	9.40%
75 - 84	6.70%	8.10%	7.00%	8.90%	6.90%	6.60%	6.30%	4.60%
85+	3.30%	4.50%	3.60%	4.30%	3.50%	2.40%	2.70%	2.00%

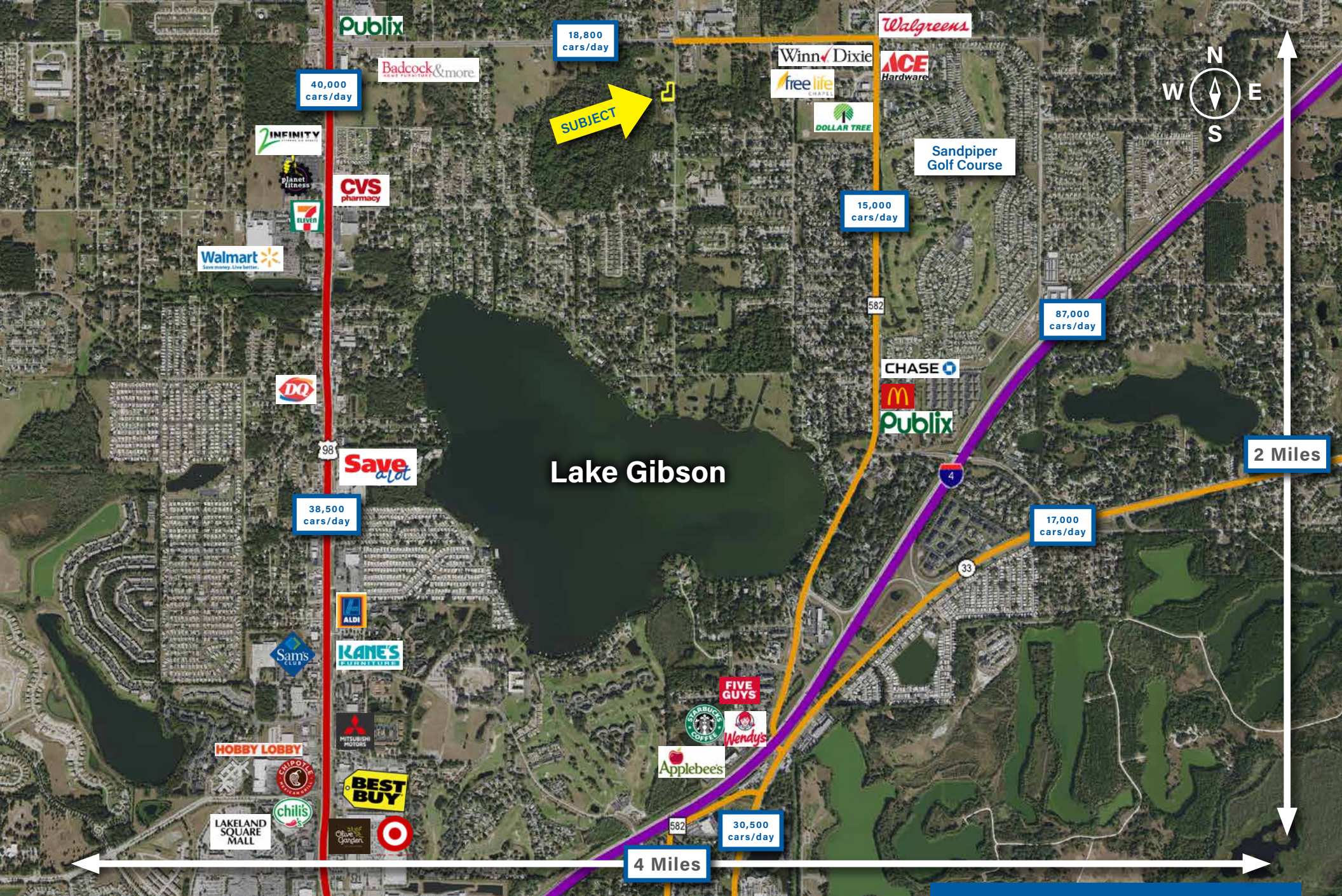
Race and Ethnicity

White Alone	76.40%	80.70%	78.10%	79.40%	76.60%	72.30%	73.00%	69.90%
Black Alone	12.50%	9.80%	11.10%	10.60%	13.20%	15.30%	16.40%	12.90%
American Indian Alone	0.60%	0.40%	0.40%	0.50%	0.40%	0.50%	0.40%	1.00%
Asian Alone	1.40%	2.30%	2.90%	1.80%	2.50%	1.90%	2.80%	5.70%
Pacific Islander Alone	0.20%	0.10%	0.10%	0.10%	0.10%	0.10%	0.10%	0.20%
Some Other Race Alone	5.90%	3.90%	4.40%	4.70%	4.20%	7.00%	4.30%	6.90%
Two or More Races	3.10%	2.90%	3.00%	3.00%	3.00%	3.00%	3.00%	3.40%
Hispanic Origin (Any Race)	18.20%	15.40%	17.10%	16.60%	17.30%	22.60%	25.90%	18.30%



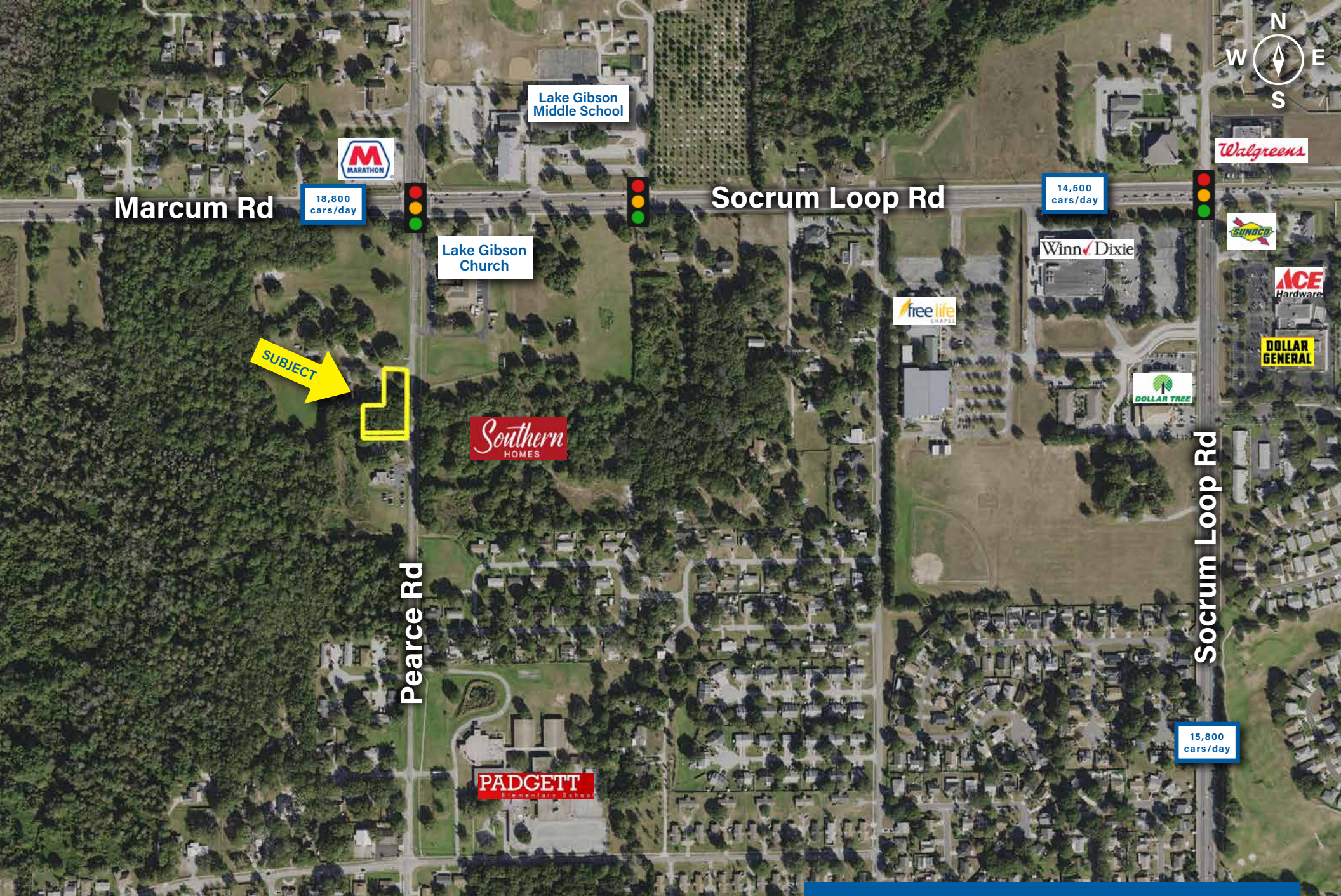
MARKET AREA MAP

The market area encompasses US 98 N, the premier commercial corridor in Lakeland, FL.



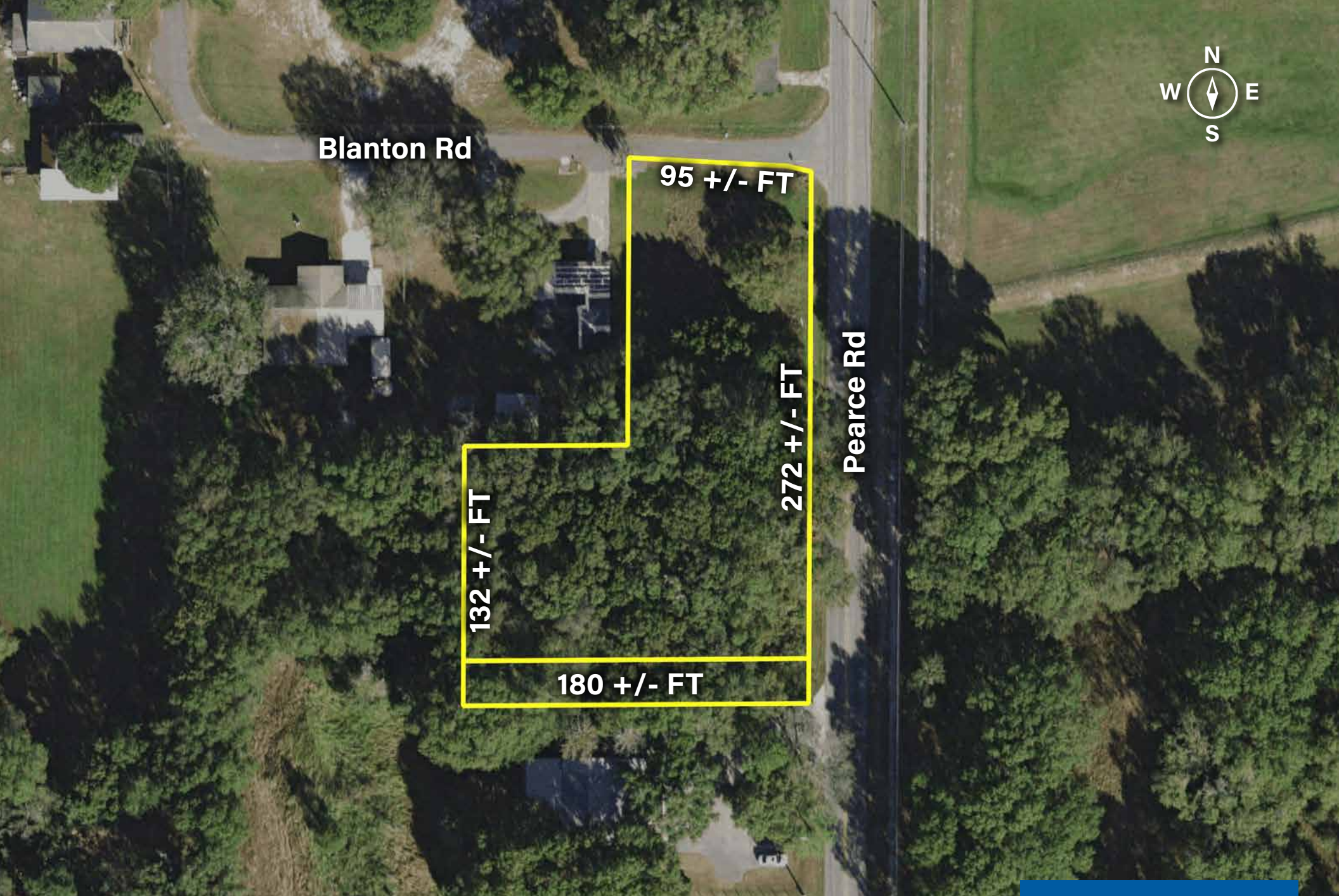
Strong trade area, dense with residential and commercial uses.

TRADE AREA MAP



The subject property is just off busy US 98 N, with quick access to its restaurants and retailers, but also benefits from being in a quiet neighborhood.

NEIGHBORHOOD AERIAL



Currently access to the property is from Blanton Rd.

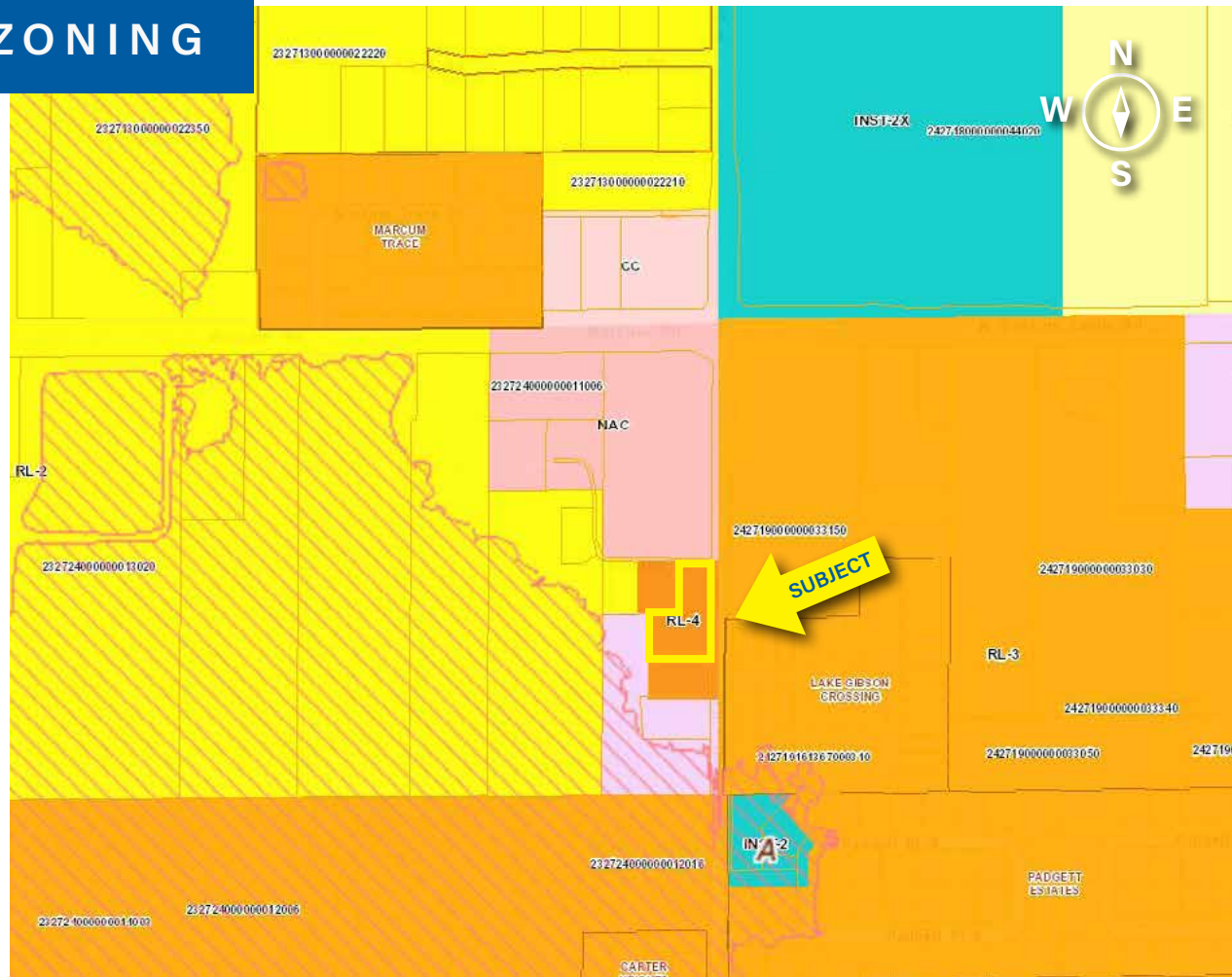
SITE AERIAL

Aerial view facing south





ZONING



Residential Low-4 (RL-4)

The purpose of the RL-4 district is to provide areas for the low density residential needs of residents in urban areas who desire areas with smaller lots, a minimum of 6,000 square feet.



RL-4



INST-2X



NAC



RL-2



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