



## D. NEIGHBORHOOD DISTRICT



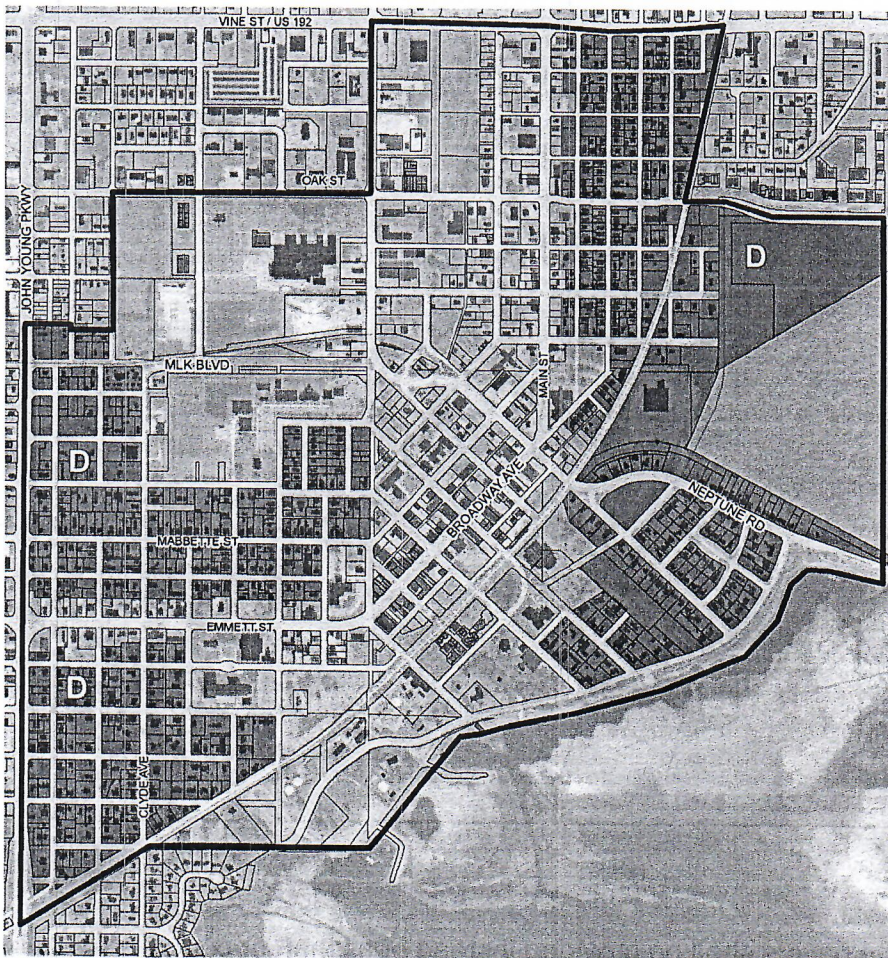
## II-D. PRIVATE DEVELOPMENT STANDARDS - NEIGHBORHOOD DISTRICT



### Introduction to the Neighborhood District

The Neighborhood district includes areas to the northeast and southwest of the CRA divided by the Gateway, Courthouse, and Mixed Employment districts. Residential conversions are prevalent along Emmett and Main Streets and include the conversion of residences to small businesses or professional practices. (See Neighborhood District section in Architectural Guidelines, Volume III for details).

*Photo of a typical residential street*



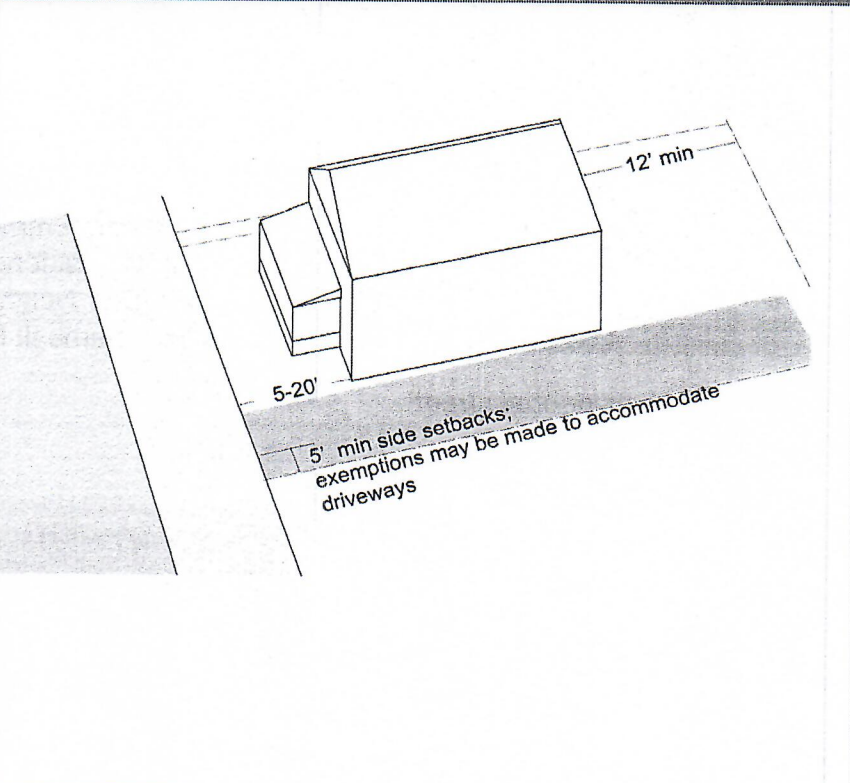
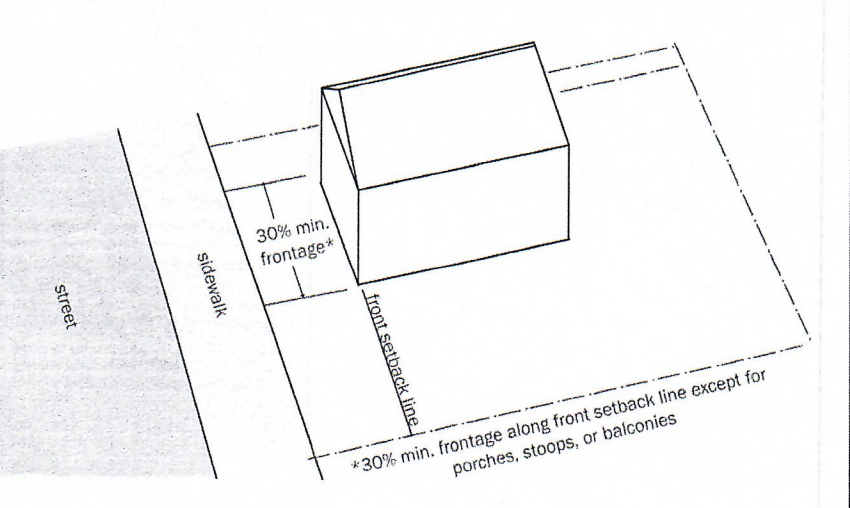
The areas that form the Neighborhood District include a diverse range of housing styles built over various time periods throughout the area's historic development. A common feature across this district is a regularized pattern of gridded streets that provide the framework for a pedestrian-friendly environment. Additionally, the Florida tradition of porches in the front, shallow setbacks, and parking set back from the street further reinforce this framework.

As the district re-develops over time, there is a desire to conserve traditional residential styles and patterns of development. Should residences convert to small businesses, they shall follow the standards set forth for residential development and preserve the historic context of the CRA.

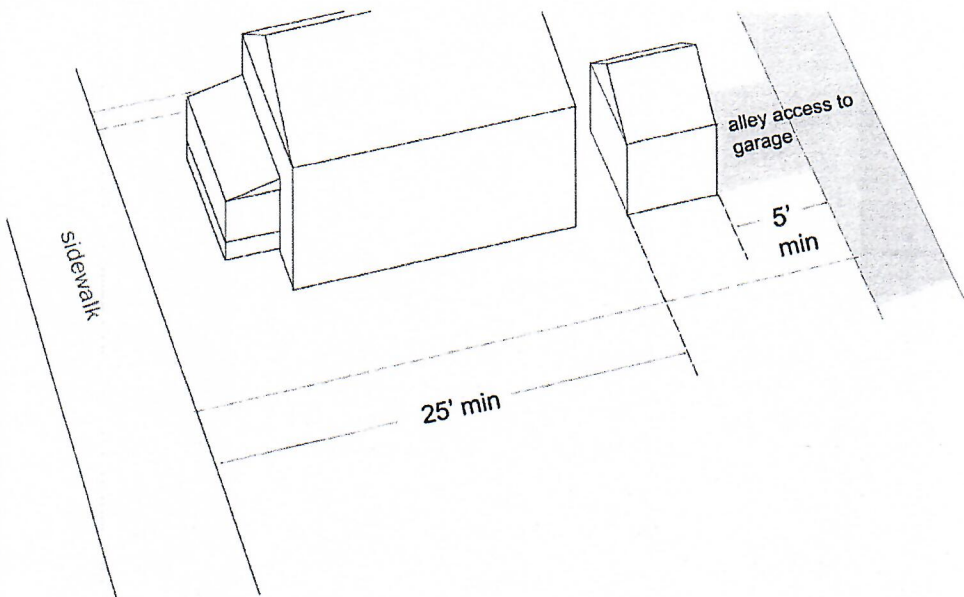
*Neighborhood District Key Map*



## II-D. PRIVATE DEVELOPMENT STANDARDS - NEIGHBORHOOD DISTRICT

1	SITE DESIGN	
a. building setbacks	<p><b>Front facade:</b></p> <p>The street facade (front or side) shall have a minimum front setback of 5 feet and a maximum front setback of 20 feet.</p> <p><b>Side:</b></p> <p>Side setbacks shall be a minimum of 5 feet.</p> <p><b>Rear:</b></p> <p>Where there is no alleyway, a minimum of 12' setback is required from the rear lot line. For lots with alleyways, the minimum rear setback is 5'.</p>	
b. building frontage	<p>A minimum of 30% of the building facade shall be built along the front setback line. However, jogs in the facade wall up to a maximum of 18" are permitted.</p> <p>Porches, stoops, and balconies may project into setback area so long as they do not encroach into the minimum 5' setback area.</p>	
c. paving	<p>For office conversions, decorative pavers shall be provided instead of asphalt or concrete for the extent of the entire parking lot, including drive aisles.</p>	

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1	SITE DESIGN
d. lot size	<p>The minimum lot size for non-residential uses shall be 7,500 square feet and 60 feet wide.</p>
e. parking access	<p>Access shall be from an alleyway, where present. Garages shall be set back a minimum of 5' from the alley.</p>  <p>The diagram shows a perspective view of a lot. On the left, a sidewalk runs parallel to the front property line. A building is situated on the lot. To the right of the building is a garage. An alleyway runs along the right side of the lot. A dimension line indicates a minimum 25-foot setback from the sidewalk to the rear of the building. Another dimension line indicates a minimum 5-foot setback from the alleyway to the garage. A label 'alley access to garage' points to the alleyway.</p>



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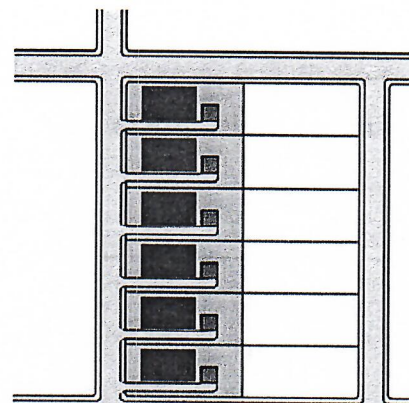
### 1 SITE DESIGN

#### f. parking, residential conversions

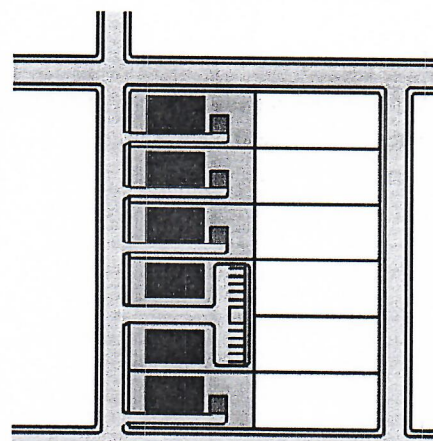
For conversions in the Neighborhood District, parking shall be accommodated to the rear or side of the lot, set back a minimum of 25' from the front lot line. For corner lots, parking shall be setback a minimum of 10' from façade on streetside. Parking lots shall not exceed 30% (not inclusive of the driveways) of the total lot area. Where two non-residential use buildings share adjacent lot lines, shared parking lots and access driveways are encouraged.

All parking areas shall be landscaped and screened from view from the street or adjacent residences.

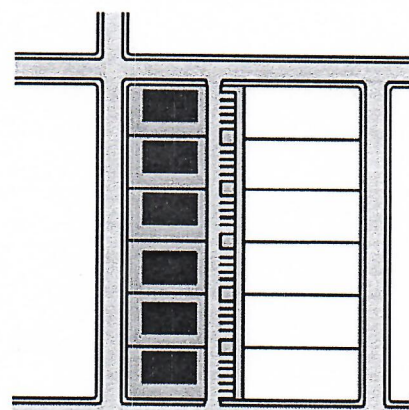
The type of landscaping and specifications shall be referred to the LDC.



*Diagram of Typical Residential Block*



*Diagram of Typical Residential Block with residential conversion parking lots accessed from a shared driveway*



*Diagram of residential conversions integrated into a typical residential block with side-road/alley access to parking*



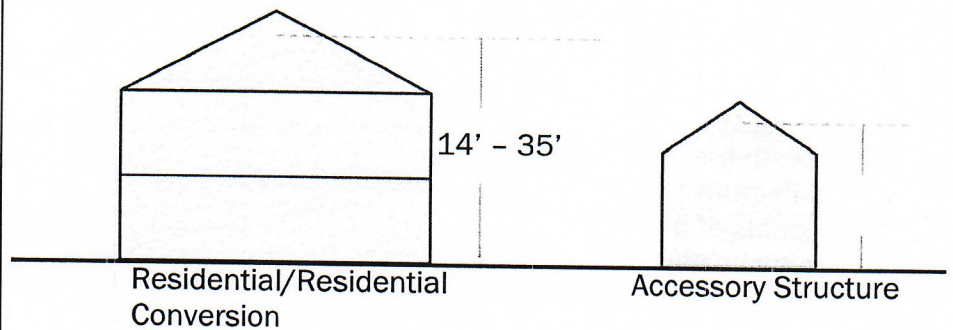
## II-D. PRIVATE DEVELOPMENT STANDARDS - NEIGHBORHOOD DISTRICT

### 2 BUILDING ELEMENTS

#### a. building height

The minimum building height for the Neighborhood District shall be single story at 14' in height measured from the ground floor elevation to the median roof height, and the maximum building height shall be 3 stories with a maximum height of 35'.

Accessory structures including garages shall be subordinate in size to main building structure and not exceed two stories in height.



#### b. entrances

All buildings in the Neighborhood District shall have a main entrance fronting the public street. Buildings on corner lots shall have at least one public entrance fronting a public street.



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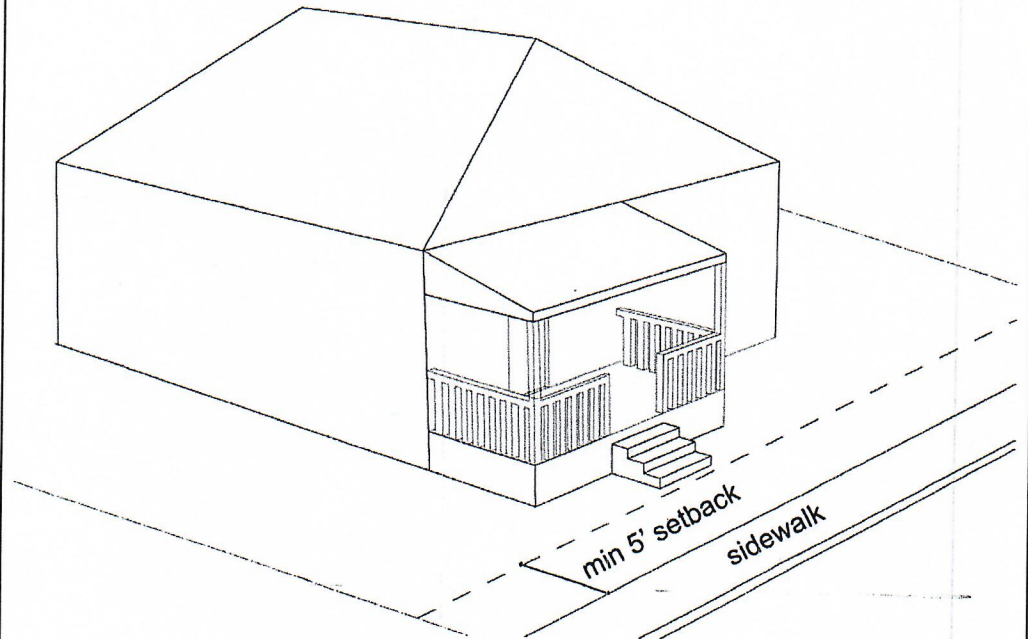
### 2 BUILDING ELEMENTS (CONTINUED)

#### c. porches

Porches are encouraged in the Neighborhood District. The depth and width shall be compatible in size and scale to main building structure, and with the architecture and materials of the primary building (See Volume III: Architectural Standards).

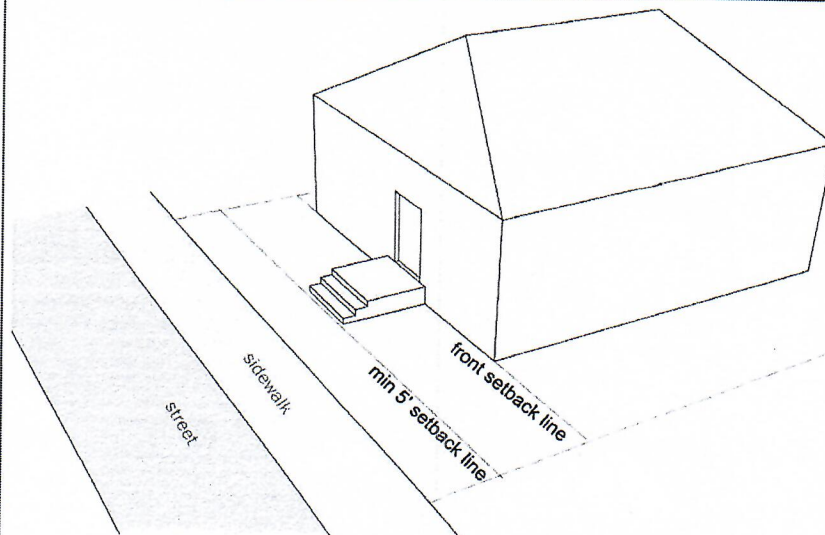
Porches are distinct from front stoops and separate standards apply.

Porches may extend beyond the front setback line toward the sidewalk so long as they do not encroach into the minimum 5' setback area.



#### d. stoops

Stoops and entryways shall be oriented toward the sidewalk. Stoop width and length shall be proportionate to entry way widths. Stoops may extend beyond the front setback line toward the sidewalk.





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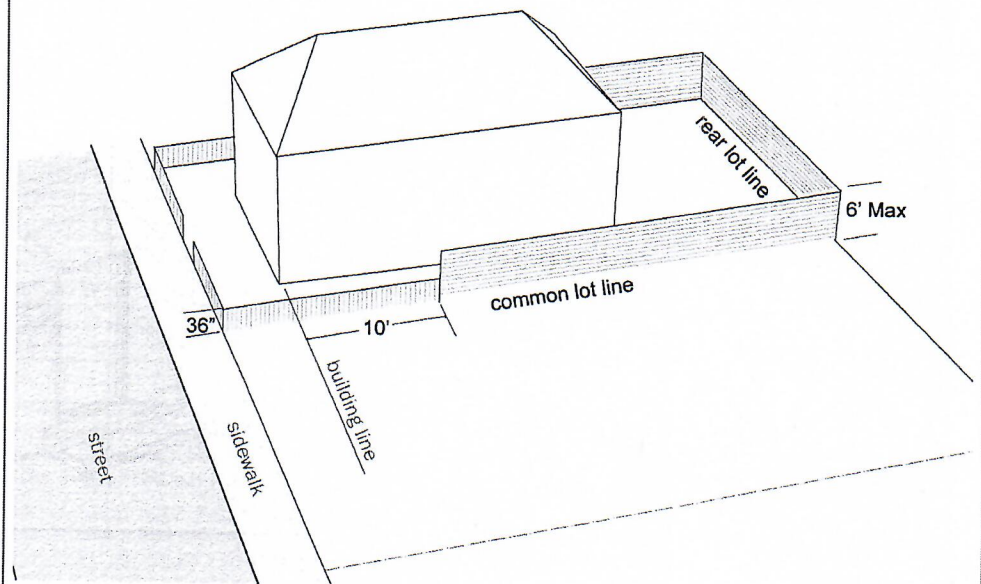
### 2 BUILDING ELEMENTS (CONTINUED)

#### e. balconies

Balconies are permitted in the Neighborhood District and shall be built in proportion to building facade per Architectural Guidelines in Volume III.

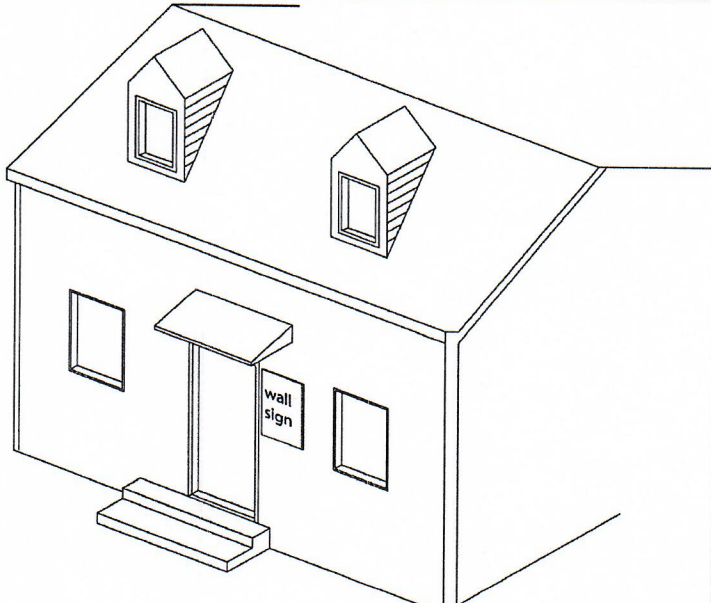
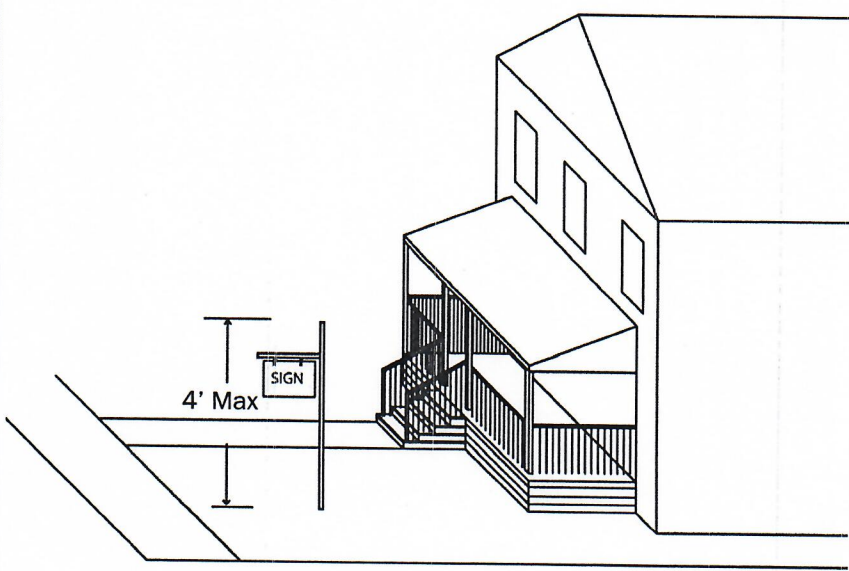
#### f. fences and walls

Ornamental fences or low stone walls are permitted at a maximum height of 36" along the edges of a property (see Architectural Standards on acceptable fencing and wall materials.) At 10' or more behind the front building line, a privacy fence is permitted up to a maximum height of 6'.





## II-D. PRIVATE DEVELOPMENT STANDARDS - NEIGHBORHOOD DISTRICT

3	SIGNAGE
a. general	<p>In general, signs are only permitted for non-residential uses and residential conversions in the Neighborhood District.</p> <p>When residences are converted into businesses, signage shall be permitted in the Neighborhood District. The following section shall be used to select appropriate and context-sensitive signs. In all cases, only one sign per establishment shall be permitted in the Neighborhood District. If multiple businesses occupy the same building, see the section on multiple business signage.</p>
b. wall, residential conversions	<p>Wall signs shall be permitted at 1 sign per establishment with an entrance fronting a public street.</p> <p>Wall signs must not exceed 4 square feet and shall attach to the wall on the first floor.</p> <p>If illuminated, wall sign must be lit by external means only.</p> <p>Placard signs highly encouraged.</p>  <p>The diagram shows a two-story house with a gabled roof and two dormer windows. On the first floor, there is a central entrance with a small overhang and two windows on either side. A rectangular sign is mounted on the wall to the right of the entrance, labeled 'wall sign'.</p>
c. free-standing/monument signs	<p>Monument and post-style, are permitted in the Neighborhood District for non-residential and residential conversion properties.</p> <p>Free-standing signs must not exceed 4' in height and must be a maximum of 6 square feet.</p> <p>Free-standing signs adjacent to arterial/collector roads must not exceed a maximum of 12 square feet.</p>  <p>The diagram shows a two-story building with a covered entrance. A free-standing sign is located in front of the building, adjacent to a road. The sign is mounted on a post and is labeled 'SIGN'. A dimension line indicates the height of the sign is '4' Max'.</p>

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3	SIGNAGE (CONTINUED)
d. multiple business signage	<p>Where multiple businesses occupy the same building in the Neighborhood District, multiple business names may be listed on a single sign, but must conform to the guidelines set forth in the Architectural Standards, Neighborhood District (Volume III).</p>
h. temporary signs	<p>Temporary banners shall be permitted in the CRA and must adhere to the regulations set forth in §14-2-157(A) of the Land Development Code.</p> <p>Cold air balloons shall be prohibited except on those properties with direct frontage on John Young Parkway. Balloons must adhere to those standards set for in §14-2-157(C) of the Land Development Code.</p>
e. lighting	<p>External illumination or sign backlighting are permitted in the CRA district for all sign types. Internal illumination of signage is prohibited.</p>
f. other	<p>No flood lighting, (with the exception of neighborhood-friendly wall packs and/or security and surveillance lights) message board displays, neon or other incompatible signage (refer to the Architectural Standards, volume III) will be permitted in the CRA.</p>



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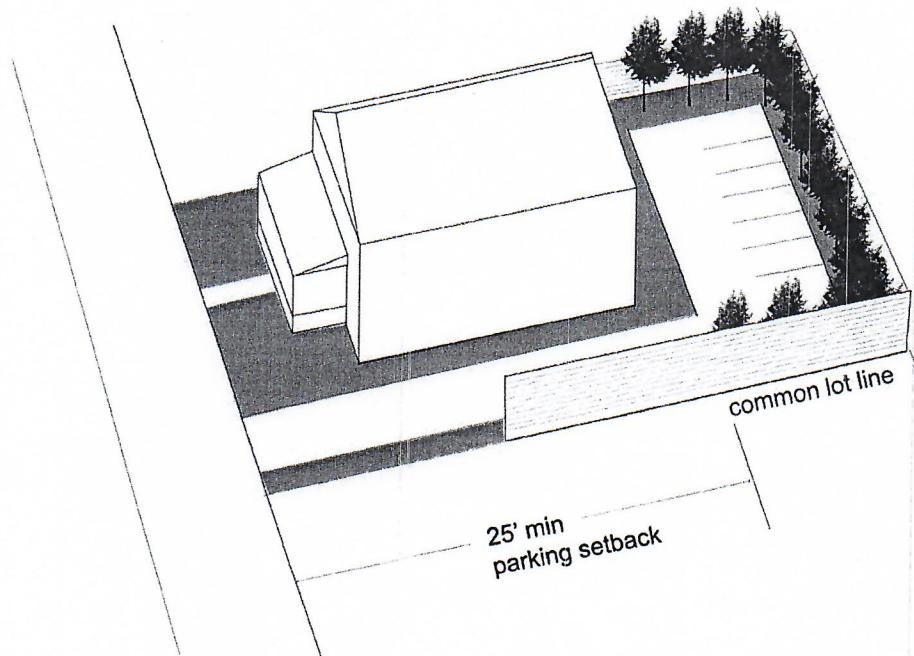
### 4 LANDSCAPE

#### a. parking lots

For all residential conversions, surface parking lots shall be located to the rear or side of the building and shall be screened with landscaping and fencing. Wherever possible, locate parking access from an alleyway.

In the Neighborhood District, perimeter landscaping requirements may be reduced to a width of 3.5'.

The type of landscaping requirements shall follow the LDC.



#### b. other

Landscaping requirements in the CRA District should support the overall design intent. For the Courthouse and Neighborhood Districts, in instances where site constraints make it difficult to meet the landscape requirements, creative solutions should be sought through a Developer's Agreement to locate landscaping in the public right of way.



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5	LIGHTING
a. parking lots	<p>For residential conversion properties, lighting shall be the same as for the existing single family residential in the area. No additional lighting shall be added that would change the character of the area.</p>
b. other	<p>Low level decorative lighting of architecture, walkways, and landscaping is permitted in the CRA, but shall not include flood lighting, with the exception of neighborhood-friendly wall packs and/or security/surveillance lights.</p>



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6	SITE ACCESS AND DRAINAGE
a. access point separation from other access points	<p>The minimum separation between two two-way access points located on the same side of a street specified in § 14-2-81(B) of the Land Development Code may be reduced to 30 feet if the access points are located in an RB-2, RPB, or other residential district. This does not apply to an access point on a street classified by the Comprehensive Plan as a principal arterial, minor arterial, or major collector.</p>
b. access point separation from intersections	<p>The minimum separation between the edge of driveway pavement and an arterial or collector street intersection right-of-way line specified in § 14-2-81(C) of the Land Development Code may be reduced to 25 feet. This does not apply to an access point on a street which is classified by the Comprehensive Plan as a principal arterial, minor arterial, or major collector.</p>
c. access point separation from property line	<p>The minimum separation between an access drive and adjacent lot at the right-of-way line specified in § 14-2-81(E) of the Land Development Code may be reduced to five feet where there is no joint access drive. Such a reduction shall not be allowed along a street which is classified by the Comprehensive Plan as a principal arterial, minor arterial, or major collector.</p>



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6	SITE ACCESS AND DRAINAGE
d. Fire lane access and driveway widths	<p>The minimum width of a fire lane and a fire access drive specified in § 14-2-82(B)(3) of the Land Development Code may be reduced to a minimum of 10' with Fire Department approval. Two-way driveway widths and backing for perpendicular parking must have minimum of 20' and maximum of 24'. Access point widths shall be consistent with driveway widths.</p>
e. parking lot stacking distance	<p>The minimum distance along an entranceway between the street right-of-way line and the first parking space or intersecting driveway specified in § 14-2-80(E) of the Land Development Code may be reduced to five feet for entranceways serving one or more buildings with a total of less than 3,000 square feet of gross floor area which are located in a RB-2 or RPB District. This shall not apply to sites with medical offices or medical clinics.</p>
f. drainage and retention areas	<p>Any required retention in between the building and the public right of way for existing structures cannot be any deeper than one foot and must have a subtle transitional bank to the bottom; pond shall not have any control structures (or similar devices) and a buffer of landscaping or other aesthetic treatments shall be included to soften the vertical transition from yard to pond. In addition, rain gardens that meet all retention requirements may be used in lieu of retention ponds. For new construction, retention must be placed in the rear or side yard, not facing the public right of way, and can be at any depth.</p> <p>Vehicular use areas which have less than 2,000 square feet of area with a durable all-weather surface as described in § 14-2-80(G) may be relieved of the city requirements for providing stormwater detention/ retention, but shall still be required to meet SFWMD water quality standards.</p>
g. parking space size	<p>Parking spaces shall be a minimum of 9 feet wide and 18 feet long (can be reduced to 16' if 2' of vehicular overhang is provided outside of the required sidewalk or buffer widths).</p>