



FLYER

Freestanding Building For Sale

865 W. NEW YORK AVENUE

DeLand, FL 32720

PRESENTED BY:

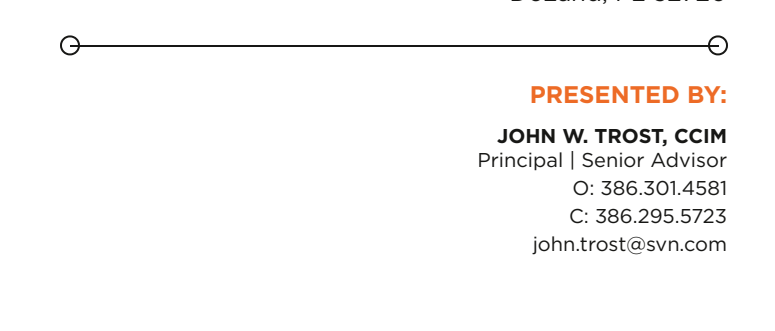
JOHN W. TROST, CCIM

Principal | Senior Advisor

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FREESTANDING BUILDING FOR SALE



PROPERTY DESCRIPTION

For Sale: Prime 40,494+ SF Freestanding Building on 2.73+/- Acres with offsite shared retention.

128 feet of frontage on New York Avenue.

A versatile investment opportunity. The property boasts masonry construction with a steel core, 16' ceiling height, and a fire sprinkler system. The building includes finished office, open warehouse, storage areas, 9 restrooms, and is divisible with potential for condominium conversion.

Situated on a corner along New York Avenue (SR 44), the site offers high visibility and includes 80+/- parking spaces, plus 20+/- shared spaces. Located just a short distance from Downtown DeLand's Historic Garden District and only a short drive to I-4, the property provides excellent accessibility.

The property offers potential for outparcel development and drive-thru configurations, accommodating a wide range of uses including commercial retail, service, and storage.

Contact the listing agent about zoning.

Current survey, Phase I, environmental, and structural reports are available.

With four ingress/egress points and ample parking, this prime location is ideal for various business ventures.

Contact us now to explore this exceptional value-add opportunity.

Seller is open to Sale, Lease, or Lease Option.

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OFFERING SUMMARY

SALE PRICE: \$3,200,000

LEASE OR LEASE OPTION: Negotiable

LOT SIZE: 2.73+/- Acres

BUILDING SIZE: 40,494 SF

YEAR BUILT 1961
Multiple additions through the 1990s

PARCEL NO: 7008-66-00-0050

TRAFFIC COUNT: 11,600 AADT

ZONING: Contact Listing Agent

LOCATION DESCRIPTION

Located at the NEC of New York Avenue (SR 44) and Boundary Avenue.

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LOCATION OVERVIEW



LOCATED APPROXIMATELY:

- 6 blocks to DeLand City Hall
- 7 blocks to Volusia County Clerk
- 8 blocks to DeLand City Center
- 1.3 miles AdventHealth Deland Hospital
- 1.5 miles to Downtown DeLand's Historic Garden District
- 1.6 miles to Stetson University
- 5.6 miles to Interstate 4
- City Of DeLand is consistently recognized as one of the "Best Small Towns in America"

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EXTERIOR PHOTOS



Elevation - Front



Elevation



Elevation - North Side

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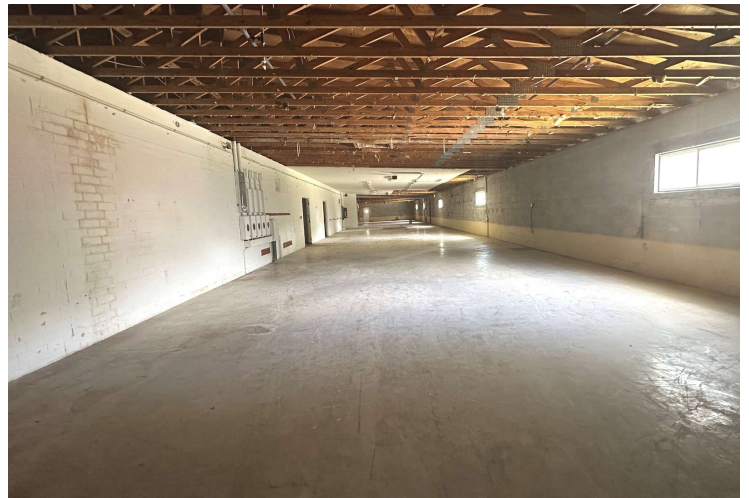
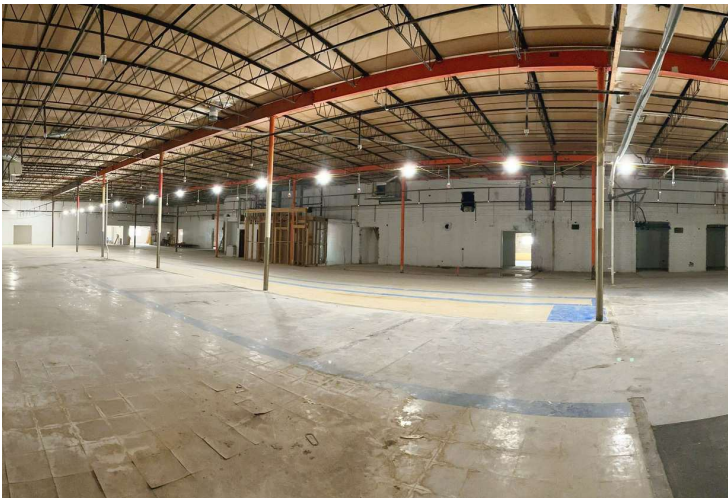
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INTERIOR PHOTOS



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FLOOR PLAN



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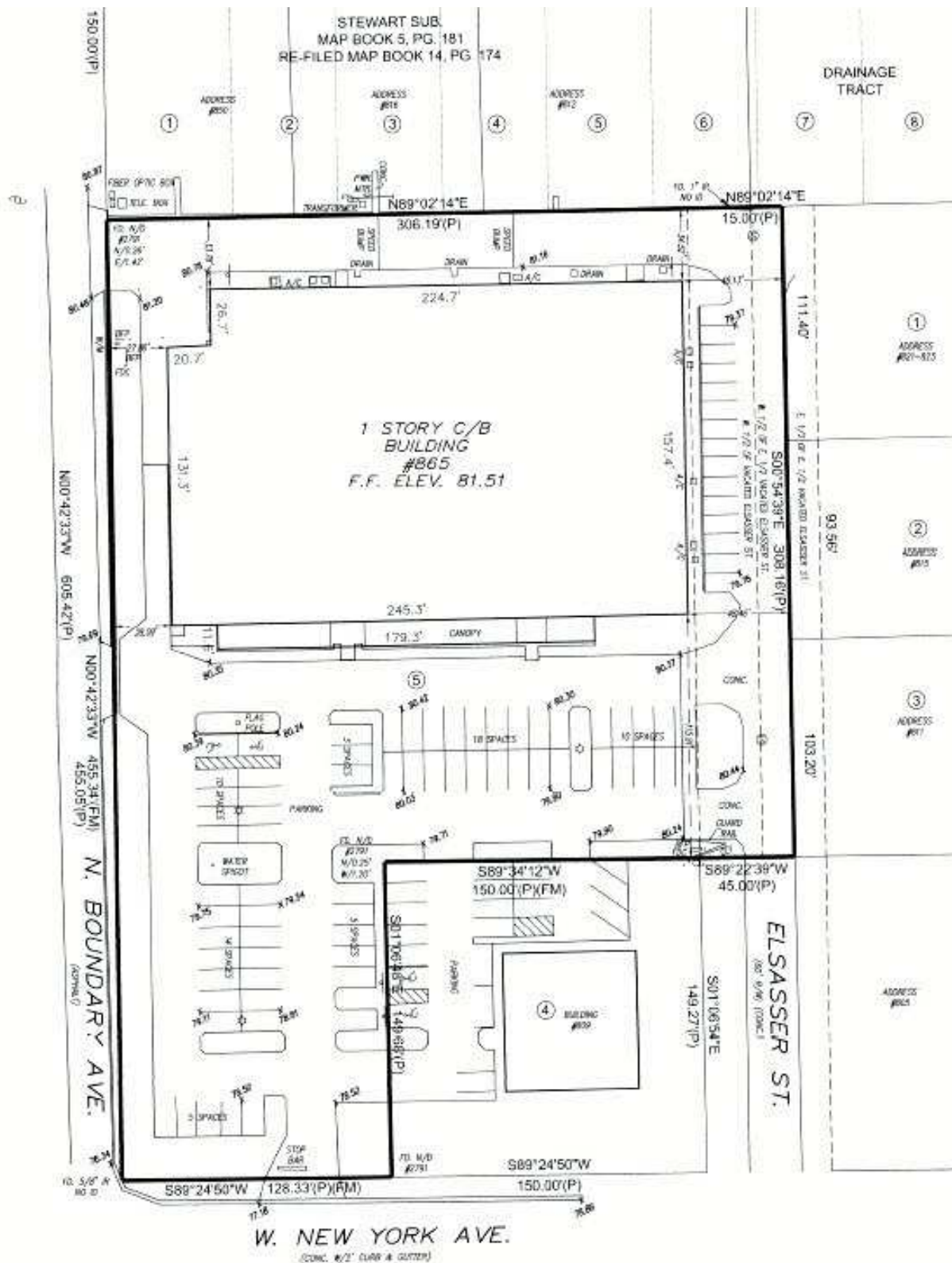
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SURVEY



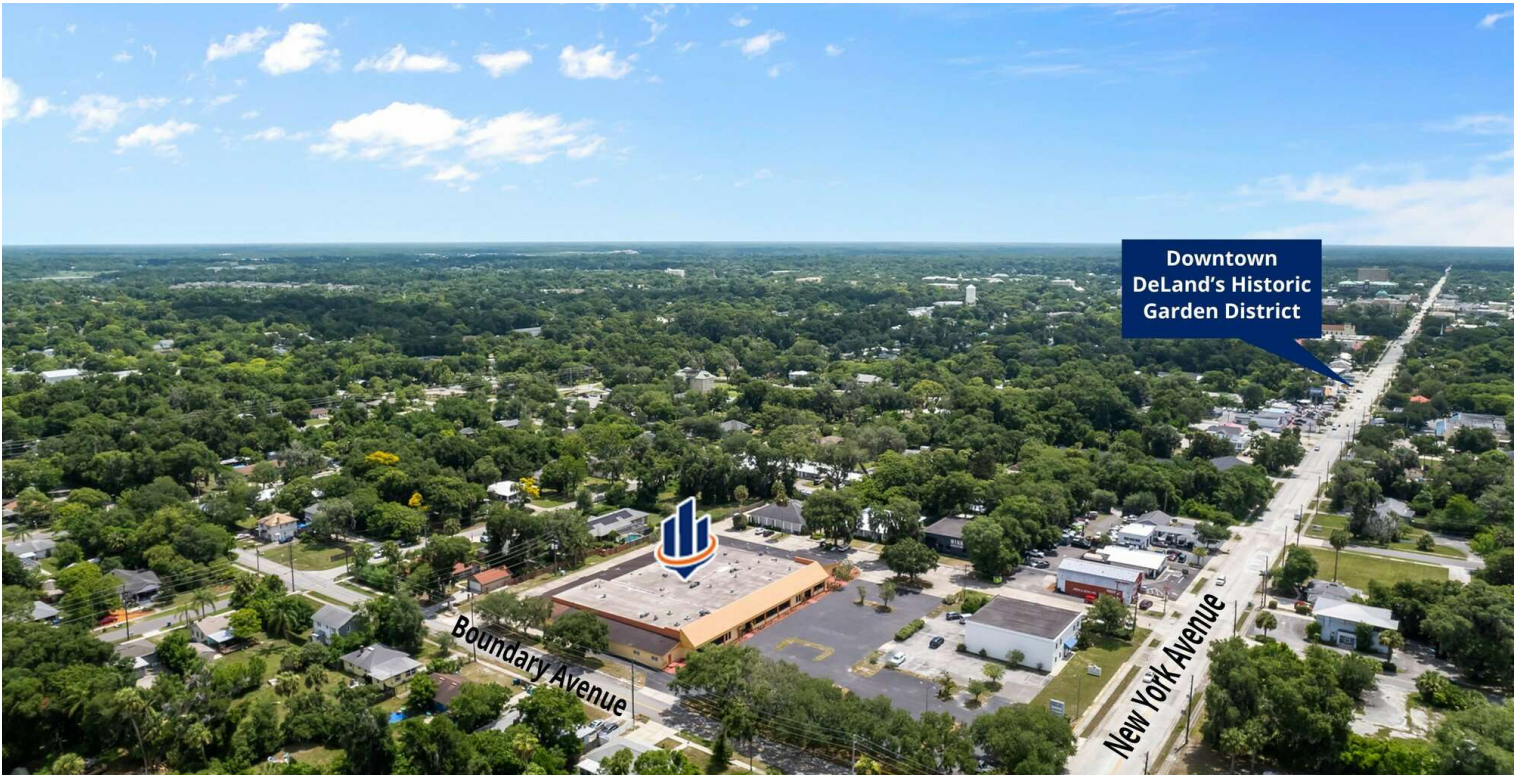
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LOCATION MAPS



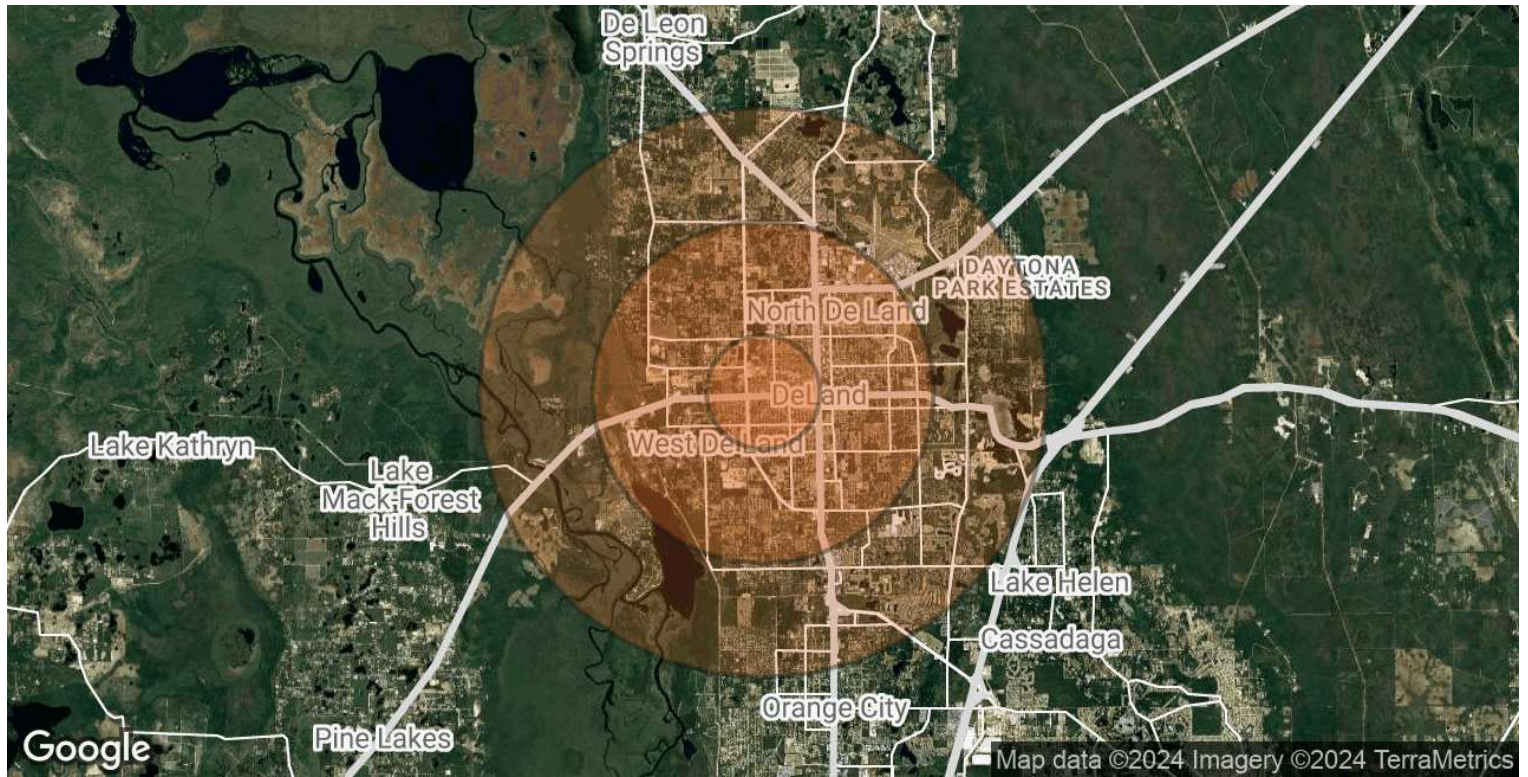
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DEMOGRAPHICS MAP & REPORT



POPULATION	1 MILE	3 MILES	5 MILES
TOTAL POPULATION	8,638	46,119	78,501
AVERAGE AGE	42	43	44
AVERAGE AGE (MALE)	41	41	43
AVERAGE AGE (FEMALE)	43	44	45
HOUSEHOLDS & INCOME	1 MILE	3 MILES	5 MILES
TOTAL HOUSEHOLDS	3,357	17,632	30,664
# OF PERSONS PER HH	2.6	2.6	2.6
AVERAGE HH INCOME	\$86,927	\$77,612	\$86,233
AVERAGE HOUSE VALUE	\$303,332	\$306,227	\$313,968

Demographics data derived from AlphaMap

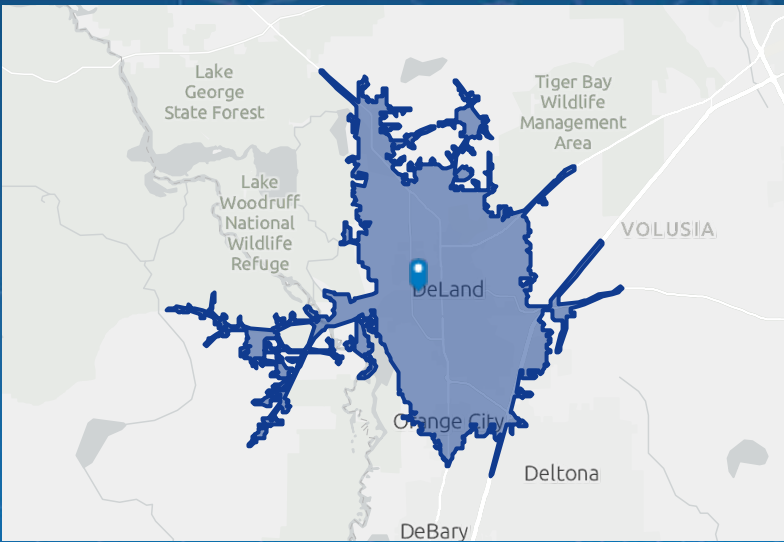
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865 W New York Ave, Deland, Florida, 32720
 Drive time of 15 minutes



BUSINESS



3,944

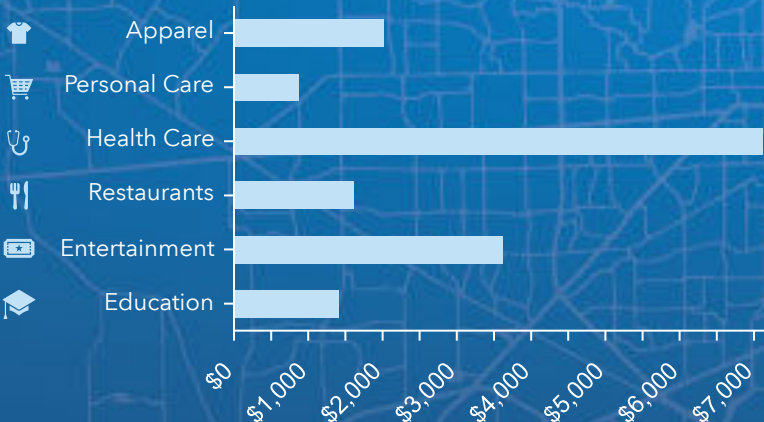
Total Businesses



35,559

Total Employees

ANNUAL SPENDING PER HOUSEHOLD



KEY DEMOGRAPHIC FACTS



94,528

Population



\$71,265

Household Income



90,357

Daytime Population