

DOYON CONTRACTOR SUITES

GRAND HAVEN, MI 49417

OWNER REVIEW	
BIDDING AND PERMITS	
ADDENDUM 01	
04/25/24	
05/01/24	
09/20/24	

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STUDIOintrigue
ARCHITECTS

1114 S. WASHINGTON AVE #100 LANSING MI, 48910 517.372.8804

GENERAL NOTES

- NO WORK SHALL COMMENCE ON THIS PROJECT UNTIL ALL REQUIRED PERMITS ARE EXECUTED BY LOCAL BUILDING AUTHORITIES. FAILURE TO COMPLY MAY RESULT IN REMOVAL OF WORK-IN-PLACE FOR INSPECTION AND / OR CODE COMPLIANCE. ALL COST ASSOCIATED WITH REMOVAL, CHANGES, AND RECONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- DO NOT SCALE THESE DRAWINGS
- ALL WORK ON THIS PROJECT SHALL BE COMPLETED IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL CODES.
- DEFECTS IN SERVICE:**
THE OWNER SHALL PROMPTLY REPORT TO STUDIO [INTRIGUE] ARCHITECTS ANY DEFECTS OR SUSPECTED DEFECTS IN THE SERVICES OF WHICH THE OWNER BECOMES AWARE, SO THAT STUDIO [INTRIGUE] ARCHITECTS MAY TAKE MEASURES TO MINIMIZE THE CONSEQUENCES OF SUCH A DEFECT. THE OWNER FURTHER AGREES TO IMPOSE A SIMILAR NOTIFICATION REQUIREMENT ON ALL CONTRACTORS IN ITS OWNER/CONTRACTOR CONTRACT AND SHALL REQUIRE ALL SUBCONTRACTS AT ANY LEVEL TO CONTAIN A LIKE REQUIREMENT. FAILURE TO NOTIFY SHALL RELIEVE STUDIO [INTRIGUE] ARCHITECTS OF THE COSTS OF REMEDIATING THE DEFECTS ABOVE THE SUM SUCH REMEDY WOULD HAVE COST HAD PROMPT NOTIFICATION BEEN GIVEN WHEN SUCH DEFECTS WERE FIRST DISCOVERED.
- DESIGN / DOCUMENT OWNERSHIP:**
DRAWINGS, DESIGN & SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, AS WELL AS THE DESIGN OF ANY WORK PRODUCED BY STUDIO [INTRIGUE] ARCHITECTS SHALL REMAIN THE PROPERTY OF STUDIO [INTRIGUE] ARCHITECTS WHETHER THE PROJECT WHICH THEY ARE INTENDED FOR IS EXECUTED OR NOT. STUDIO [INTRIGUE] ARCHITECTS HOLDS THE COPYRIGHT AND ANY AND ALL RIGHTS ASSOCIATED THEREWITH FOR THE INSTRUMENTS OF SERVICES AND THE FINISHED WORK, INCLUDING THE RIGHT TO SELL, PUBLISH, MAKE DERIVATIVE WORKS OR USE IN ANY MANNER DESIRED. THE CLIENT OF STUDIO [INTRIGUE] ARCHITECTS SHALL BE PERMITTED TO OBTAIN COPIES OF THESE INSTRUMENTS OF SERVICE FOR THEIR USE IN THE OCCUPANCY AND PLANNING OF THIS PROJECT. THE DRAWINGS, SPECIFICATIONS AND/OR DESIGN SHALL NOT BE USED BY THE CLIENT OF STUDIO [INTRIGUE] ARCHITECTS ON OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT, OR FOR COMPLETION OF THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO STUDIO [INTRIGUE] ARCHITECTS. THE CLIENT IS GRANTED A LIMITED REPRODUCTION LICENSE TO REPRODUCE DRAWINGS AND SPECIFICATIONS AS NEEDED IN THE EXECUTION OF THIS PROJECT. SHOULD THIS AGREEMENT BE TERMINATED, THE LIMITED LICENSE IS TERMINATED. IF TERMINATION IS DUE TO BREACH OF CONTRACT BY ARCHITECT, THE LICENSE IS TERMINATED AND A NEW LICENSE SHALL BE GRANTED FOR THE CLIENT TO CONTINUE WITH A NEW DESIGN PROFESSIONAL. THE CLIENT IS NOT PERMITTED UNDER ANY CIRCUMSTANCES TO SELL, LEASE, RENT, PUBLISH OR OTHERWISE DISTRIBUTE THESE INSTRUMENTS OF SERVICE OR DESIGNS TO OTHER PARTIES WITHOUT THE EXPRESS WRITTEN CONSENT OF AN APPROPRIATE COMPENSATION AND CREDIT TO STUDIO [INTRIGUE] ARCHITECTS.
- ELECTRONIC DOCUMENTS:**
THE CLIENT OF STUDIO [INTRIGUE] ARCHITECTS HAS NOT BEEN GRANTED A LICENSE TO OBTAIN, UTILIZE OR DISTRIBUTE ELECTRONIC FILES CONTAINING INSTRUMENTS OF SERVICE OR DESIGNS OF STUDIO [INTRIGUE] ARCHITECTS WITHOUT THE EXPRESS WRITTEN AGREEMENT OF, AND APPROPRIATE COMPENSATION TO: STUDIO [INTRIGUE] ARCHITECTS.
- CONSTRUCTION MEANS AND METHODS:**
CONSTRUCTION MEANS AND METHODS ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR FOR THE PROJECT. STUDIO [INTRIGUE] ARCHITECTS ASSUMES NO RESPONSIBILITY FOR THE CONSTRUCTION MEANS AND METHODS PROVIDED BY THE CONTRACTOR, NOR SHALL ANY REVIEW OR OBSERVATION OF WORK BY STUDIO [INTRIGUE] ARCHITECTS RELIEVE THE CONTRACTOR OF THAT RESPONSIBILITY.
- CONSTRUCTION OBSERVATION:**
UNDER THIS AGREEMENT, CONSTRUCTION OBSERVATION, IF PROVIDED IN THE PROPOSAL BY STUDIO [INTRIGUE] ARCHITECTS, IS INTENDED SOLELY TO MONITOR GENERAL CONFORMANCE WITH THE PLANS AND SPECIFICATIONS PRODUCED BY STUDIO [INTRIGUE] ARCHITECTS AND IS NOT A GUARANTEE THAT THE CONTRACTOR HAS PROPERLY PERFORMED ITS WORK. A SEPARATE WRITTEN AGREEMENT DETAILING THE EXTENT OF OBSERVATION AND/OR INSPECTION MAY BE PROVIDED; IF DESIRED, IN THE ABSENCE OF ANY SUCH OVERRIDING AGREEMENT, THE CONDITIONS STATED ABOVE SHALL REMAIN IN EFFECT.
- REQUEST FOR CLARIFICATION OR INTERPRETATION:**
THE OWNER'S AGREEMENT WITH THE CONTRACTOR SHALL STATE THAT THE CONTRACTOR MAY, AFTER EXERCISING DUE DILIGENCE TO LOCATE REQUIRED INFORMATION, REQUEST FROM STUDIO [INTRIGUE] ARCHITECTS, LLC CLARIFICATION OR INTERPRETATION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. STUDIO [INTRIGUE] ARCHITECTS, LLC SHALL, WITH REASONABLE PROMPTNESS, RESPOND TO SUCH CONTRACTOR'S REQUESTS FOR CLARIFICATION OR INTERPRETATION. HOWEVER, IF THE INFORMATION REQUESTED BY THE CONTRACTOR IS APPARENT FROM FIELD OBSERVATIONS, IS CONTAINED IN THE CONTRACT DOCUMENTS OR IS REASONABLY INFERRABLE FROM THEM, THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR ALL REASONABLE COSTS CHARGED BY STUDIO [INTRIGUE] ARCHITECTS, LLC TO THE OWNER FOR THE ADDITIONAL SERVICES REQUIRED TO PROVIDE SUCH INFORMATION.

GENERAL NOTES CONT...

- UNAUTHORIZED CHANGES:**
IN THE EVENT THE OWNER, THE OWNER'S CONTRACTORS OR SUBCONTRACTORS, OR ANYONE FOR WHOM THE OWNER IS LEGALLY LIABLE MAKES OR PERMITS TO BE MADE ANY CHANGES TO ANY REPORTS, PLANS, SPECIFICATIONS OR OTHER CONSTRUCTION DOCUMENTS PREPARED BY STUDIO [INTRIGUE] ARCHITECTS WITHOUT OBTAINING PRIOR WRITTEN CONSENT OF STUDIO [INTRIGUE] ARCHITECTS, THE OWNER SHALL ASSUME FULL RESPONSIBILITY FOR THE RESULTS OF SUCH CHANGES. THEREFORE THE OWNER AGREES TO WAIVE ANY CLAIM AGAINST AND TO RELEASE FROM ANY LIABILITY, STUDIO [INTRIGUE] ARCHITECTS, ARISING DIRECTLY OR INDIRECTLY FROM SUCH CHANGES.
- STUDIO [INTRIGUE] ARCHITECTS, ITS CONSULTANTS, OFFICERS AND EMPLOYEES ARE NOT RESPONSIBLE FOR JOB SITE SAFETY PRECAUTIONS, COMPLIANCE, MEANS/METHODS. JOB SAFETY IS THE FULL RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- ALL BIDDERS MUST VISIT THE SITE TO EXAMINE THE EXISTING CONDITIONS AND ANY OBSTACLES. NO ADDITIONAL PAYMENT WILL BE APPROVED BY THE OWNER FOR CONDITIONS AND/OR OBSTACLES THAT THE BIDDER COULD HAVE IDENTIFIED THROUGH THE REQUIRED SITE VISIT.
- CONTRACTOR SHALL INCLUDE THE COST OF ALL LABOR, MATERIALS, STATE SALES TAX AND USE TAXES TO COMPLETE THE PROJECT IN ACCORDANCE WITH THE DOCUMENTS.
- CONTRACTOR SHALL INCLUDE THE COST OF ALL PLAN REVIEW BUILDING PERMITS (INCLUDING TRADE PERMITS) AND INSPECTION FEES NECESSARY TO COMPLETE THE CONSTRUCTION OF THIS PROJECT.
- CONTRACTOR SHALL PROVIDE AND PAY FOR TEMPORARY UTILITIES SUCH AS WATER, ELECTRIC, HEAT, ETC. AS NECESSARY TO COMPLETE PROJECT.
- CONTRACTOR SHALL VERIFY ALL MEASUREMENTS, DIMENSIONS AND EXISTING CONDITIONS PRIOR TO COMMENCEMENT. PRIOR TO COMMENCEMENT OR PLACEMENT OF INTERIOR WALLS, THE CONTRACTOR SHALL COMPLETE A PRELIMINARY WALL LAYOUT ON THE FLOOR SYSTEM. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT.
- VERIFY LOCATION OF ALL EXISTING UTILITIES--NOTIFY OWNER OF SCHEDULE TO TURN OFF ANY UTILITIES. DRAWINGS ARE NOT INTENDED TO SHOW THE LOCATION OF UTILITIES. THOSE SHOWN OR NOTED ARE APPROXIMATE.
- BARRICADE AND PROTECT WORK AREAS, ADJACENT WALKWAYS AND ACCESSES TO PROTECT WORKMEN, PEDESTRIANS, ADJACENT TENANTS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL JOB SITE SAFETY PRECAUTIONS AND OBSERVATIONS.
- AVOID ENCROACHMENT ON ADJACENT PROPERTIES OR TENANT SPACES. THE GENERAL CONTRACTOR SHALL REPLACE AND/OR REPAIR DAMAGE TO ADJACENT PROPERTIES OR TENANT SPACES RESULTING FROM ENCROACHMENT DURING CONSTRUCTION OPERATIONS.
- KEEP ALL DRIVE LANES AND BUILDING EXITS CLEAN AND CLEAR AT ALL TIMES.
- STRUCTURAL COMPONENTS SHALL NOT BE REMOVED OR MODIFIED WITHOUT THE APPROVAL OF THE ARCHITECT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL GENERAL CLEANING DUTIES TO REMOVE ALL DEBRIS ASSOCIATED WITH THE DEMOLITION INCLUDING, BUT NOT LIMITED TO: LOT SWEEPING, INSPECTION / REPLACEMENT OF HVAC FILTERS, DUSTING, WINDOW CLEANING, ETC.
- DESIGN/BUILD TRADES**
THE GENERAL CONTRACTOR SHALL EMPLOY THE SERVICES OF AN ELECTRICAL CONTRACTOR TO DESIGN/BUILD A LIGHTING AND ELECTRICAL SYSTEM FOR THE SPACE. THE E.C. DESIGN/BUILD SERVICES SHALL INCLUDE THE DESIGN AND INSTALLATION OF LIGHTING CONTROLS AND SENSORS IN COMPLIANCE WITH THE MICHIGAN ENERGY CODE.

UNDER NORMAL POWER, THE LIGHTING IN THE SPACE SHALL BE DESIGNED SO THAT THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1.0 FOOT-CANDLE AT THE FLOOR LEVEL.

UNDER EMERGENCY POWER, THE EMERGENCY LIGHTING IN THE SPACE SHALL BE DESIGNED SO THAT THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 0.1 FOOT-CANDLE WITH AN AVERAGE NOT LESS THAN 1.0 FOOT-CANDLE AT THE FLOOR LEVEL.

THE GENERAL CONTRACTOR SHALL EMPLOY THE SERVICES OF A PLUMBING CONTRACTOR TO DESIGN/BUILD A PIPING AND SANITARY SYSTEM FOR THE SPACE.

THE GENERAL CONTRACTOR SHALL EMPLOY THE SERVICES OF AN HVAC CONTRACTOR TO DESIGN/BUILD AN HVAC SYSTEM FOR THE SPACE.

THE GENERAL CONTRACTOR SHALL EMPLOY THE SERVICES OF A FIRE STOPPING CONTRACTOR TO DESIGN/BUILD FIRE STOPPING SYSTEMS FOR THROUGH AND MEMBRANE PENETRATIONS IN FIRE-RATED BUILDING COMPONENTS.

GENERAL NOTES CONT...

- PENETRATIONS**
PENETRATIONS THROUGH UNRATED ROOF/CEILING AND FLOOR/CEILING ASSEMBLIES SHALL HAVE THE ANNULAR SPACE AROUND THE PENETRATION FILLED IN ACCORDANCE WITH 2015 MEG 714.5 TO RESIST THE FREE PASSAGE OF FLAME AND THE PRODUCTS OF COMBUSTION.

PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES SHALL BE PROTECTED BY UL LISTED FIRE-STOPPING SYSTEMS IN ACCORDANCE WITH 2015 MEG 714.

NOT USED.
- INTERIOR COLORS AND FINISHES SHALL BE SELECTED BY THE OWNER.
- NOT USED.
- NOT USED.
- ALL SLABS ON GRADE SHALL HAVE CONSTRUCTION OR CONTROL JOINTS NOT TO EXCEED 20'-0" SPACING, UNLESS OTHERWISE NOTED. CONSTRUCTION JOINTS SHALL BE DOVELEDED W/ #4 BARS @ 24" O.C. W/ 8" EMBEDMENT MIN.
- INTERIOR FINISHES SHALL CONFORM TO THE REQUIREMENTS OF 2015 MEG 803.

THE CORRIDOR (AND CONTIGUOUS SPACES) SHALL HAVE MINIMUM CLASS B WALL AND CEILING FINISHES - FLAME SPREAD OF 26-75; SMOKE-DEVELOPED 0-450.

ROOMS AND ENCLOSED SPACES SHALL HAVE MINIMUM CLASS C WALL AND CEILING FINISHES - FLAME SPREAD OF 76-200; SMOKE-DEVELOPED 0-450.
- ALL FLOOR SURFACES SHALL BE SLIP RESISTANT AND SECURELY ATTACHED IN ACCORDANCE WITH 2015 MEG 1003.4. THE STATIC COEFFICIENT OF FRICTION FOR ALL FLOOR SURFACES SHALL BE 0.6 MINIMUM.
- PROVIDE ADEQUATE CLEARANCES FOR SERVICING OF EQUIPMENT PER CODE.
- PROVIDE ALL NECESSARY NAILERS, BLOCKING AND GROUNDS AS REQUIRED TO SUPPORT HANDRAILS, GUARDRAILS, WINDOW COVERINGS, DOORSTOPS, WALL MOUNTED CABINETS, ETC. SET WORK PLUMB, LEVEL AND ACCURATELY CUT.
- GRAB BARS INSTALLED IN THE TOILET ROOMS SHALL BE DESIGNED TO RESIST A SINGLE CONCENTRATED LOAD OF 250 POUNDS APPLIED IN ANY DIRECTION AT ANY POINT.
- ALL WATER FAUCETS SHALL MEET ICC/ANSI REQUIREMENT FOR OPERABLE PARTS - OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, FINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS MAXIMUM.
- TOILET ROOM SIGNAGE (VISUAL/TACTILE) SHALL BE LOCATED ALONGSIDE THE DOOR ON THE LATCH SIDE. TOILET ROOM SIGNAGE SHALL BE MOUNTED SO THAT THE BASELINE OF THE VISUAL CHARACTERS IS 48" TO 60" ABOVE THE ADJACENT FLOOR SURFACE.
- EACH PANE OF TEMPERED GLAZING SHALL BE LABELLED TO SPECIFY THE LABELER, THE SAFETY GLAZING STANDARD, THE TYPE AND THE THICKNESS. THE LABEL SHALL BE ACID-ETCHED, SAND BLASTED, CERAMIC FIRED, OR EMBOSSED, OR SHALL BE OF A TYPE THAT ONCE APPLIED CANNOT BE REMOVED WITHOUT BEING DESTROYED
- ALL FIRE EXTINGUISHER LOCATIONS SHOWN ARE APPROXIMATE. EXTINGUISHERS LOCATED IN PUBLIC AREAS SHALL BE INSTALLED IN SEMI-RECESSED CABINETS (PROJECTION NOT TO EXCEED 4"). EXTINGUISHERS IN NONPUBLIC AREAS (HVAC CLOSETS, STORAGE ROOMS, EQUIPMENT ROOMS) SHALL BE BRACKET-MOUNTED. ALL FIRE EXTINGUISHER LOCATIONS AND MOUNTING HEIGHTS SHALL BE APPROVED BY THE LOCAL FIRE MARSHAL PRIOR TO INSTALLATION.
- WHERE REQUIRED BY THE LOCAL FIRE MARSHAL, A KNOX BOX SHALL BE INSTALLED ON THE EXTERIOR OF THE BUILDING.
- THE G.C. SHALL INSTALL ADDRESS NUMBERS OF THE SIZE, TYPEFACE AND LOCATION AS REQUIRED BY THE LOCAL JURISDICTION.
- INSTALL SUSPENDED CEILING GRID IN ACCORDANCE WITH ASTM C686-76 "STANDARD PRACTICE FOR INSTALLATION OF METAL CEILING SUSPENSION SYSTEMS FOR ACOUSTICAL TILE AND LAY-IN PANELS". GRID WORK SHALL BE SUPPORTED W/ A MINIMUM OF 1/2 GA. HANGER WIRE TO STRUCTURE ABOVE AT 4'-0" O.C. EACH WAY.
- BRILLE EXIT SIGN FLAGARDS TO BE LOCATED ADJACENT TO EACH DOOR TO AN EGRESS STAIRWAY, AN EXIT PASSAGEWAY, AND THE EXIT DISCHARGE. IN ACCORDANCE WITH SECTION 1013.4 OF THE 2015 MEG AND COMPLYING WITH ICC A111.1.
- CONTRACTOR SHALL PROVIDE ACCESS OR ACCESS PANELS TO ALL VALVES, DAMPERS AND OTHER NECESSARY UTILITY ADJUSTMENT ITEMS.

GENERAL NOTES CONT...

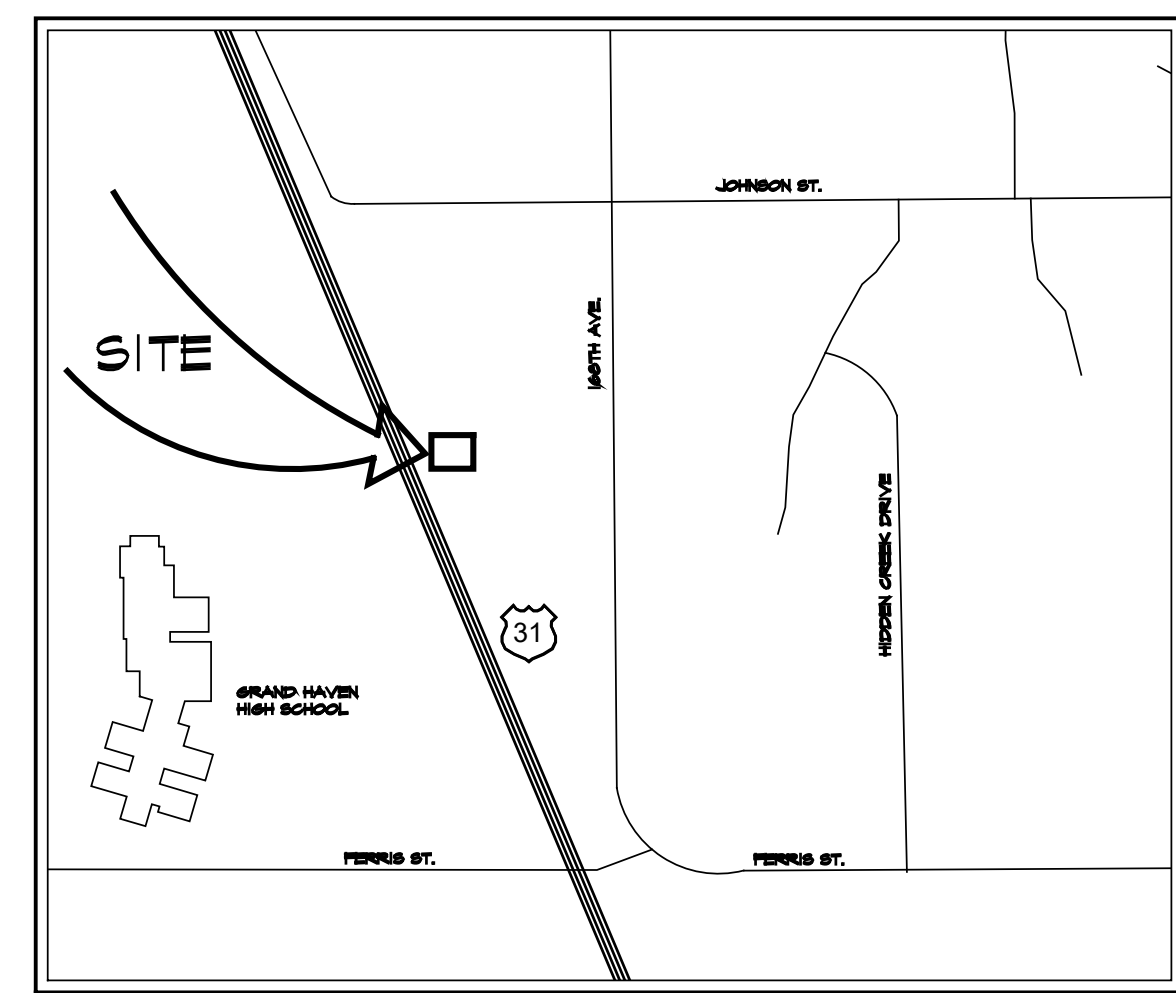
- CONTRACTOR SHALL PROVIDE ACCESS OR ACCESS PANELS TO ALL VALVES, DAMPERS AND OTHER NECESSARY UTILITY ADJUSTMENT ITEMS.
- COORDINATE SIZE AND LOCATION OF OPENINGS AND STEEL SUPPORTS FOR MECHANICAL EQUIPMENT PRIOR TO FABRICATION.
- GYPSON BOARD MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C1396.
- GYPSON BOARD MATERIALS USED IN FIRE RATED ASSEMBLIES SHALL CONFORM TO THE REQUIREMENTS OF THE UL ASSEMBLIES LISTED.
- PITCH ALL GRADES AND EXTERIOR SLABS AWAY FROM BUILDING FOR DRAINAGE.
- COMPACT ALL FILL AND BACK FILL TO MINIMUM 95% MODIFIED PROCTOR.

PROJECT DATA

APPLICABLE CODES	
BUILDING CODE	2015 MICHIGAN BUILDING CODE
MECHANICAL CODE	2021 MICHIGAN MECHANICAL CODE
PLUMBING CODE	2021 MICHIGAN PLUMBING CODE
ELECTRICAL CODE	2017 NATIONAL ELECTRIC CODE (WITH STATE OF MICHIGAN PART 8 AMENDMENTS)
ENERGY CODE	2015 MICHIGAN ENERGY CODE -- 2013 ASHRAE 90.1
ACCESSIBILITY	2009 ICC/ANSI A117.1 -- 2015 MI BLDG CODE CH. II
GENERAL PROJECT DATA	
CONSTRUCTION TYPE	VB (COMBUSTIBLE)
OCCUPANCY CLASSIFICATION(S)	S-1 (MODERATE HAZARD STORAGE)
FIRE SUPPRESSION	NOT REQUIRED
FIRE ALARM SYSTEM	NOT REQUIRED
SMOKE DETECTION	NOT REQUIRED
ZONING	C-1 (NEIGHBORHOOD COMMERCIAL)
BUILDING AREA (INSIDE EXTERIOR WALLS PER CODE - NOT FOR LEASING)	
GROSS AREA	5,041 S.F. PER BUILDING
AREA CALCULATIONS	
TABLE 504.3 (BLDG HGT) 40'-0" ALLOWABLE, 21'-0" AS DESIGNED	
TABLE 504.4 (NO. OF STORIES) 01 ALLOWABLE, 01 AS DESIGNED	
TABLE 506.2 (FLOOR AREA) 9,000 S.F. ALLOWABLE (S-1 TYPE V-B), 5,041 AS DESIGNED	
BUILDING AREA = 5,041 S.F. < 9,000 S.F. BASE TABULAR (OKAY)	
OCCUPANCY CALCULATIONS	
GROUP 'S' OCCUPANCY	
GROUP 'S' FLOOR AREA:	5,041 S.F. (GROSS)
TABLE 1004.1.2:	500 (GROSS) S.F. / OCCUPANT
USE OCCUPANT LOAD:	5,041 (GROSS) S.F. / 500 = 10.08 OCCUPANTS
TOTAL OCCUPANT LOAD:	10 OCCUPANTS PER BUILDING
STRUCTURAL LOADS	
ROOF LOADS	DEAD = 25 PSF LIVE = 50 PSF (GROUND SNOW LOAD WITH UNBALANCED DRIFT)
SOIL BEARING	2,500 PSF (ASSUMED)
BUILDING CATEGORY	CATEGORY II
EXPOSURE CATEGORY	B
WIND	115 MPH 3-SECOND GUST (89 MPH SUSTAINED)
SEISMIC	ZONE 1

SHEET INDEX

SHEET	SHEET DESCRIPTION	DATE
IX	SHEET INDEX / CODE DATA / LOCATION MAP	09/20/24
BF	BARRIER FREE REFERENCE SHEET	09/20/24
S-100	FOUNDATION PLAN / NOTES	09/20/24
S-101	ROOF FRAMING PLAN	09/20/24
A-101	FLOOR PLAN / WALL TYPES	09/20/24
A-102	ROOF PLAN	09/20/24
A-103	DOOR AND WINDOW ELEVATIONS / DOOR SCHEDULE / ROOM FINISH SCHEDULE	09/20/24
A-301	EXTERIOR ELEVATIONS / EXTERIOR FINISH SCHEDULE	09/20/24
A-401	BUILDING SECTIONS	09/20/24
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E-100	SITE PHOTOMETRIC PLAN	09/20/24



NOTE:
MECHANICAL, ELECTRICAL AND PLUMBING DESIGN WILL BE PERFORMED AS A DESIGN BUILD PROJECT DELIVERY METHOD. DESIGN IS BY OTHERS.

Project Type
NEW CONSTRUCTION

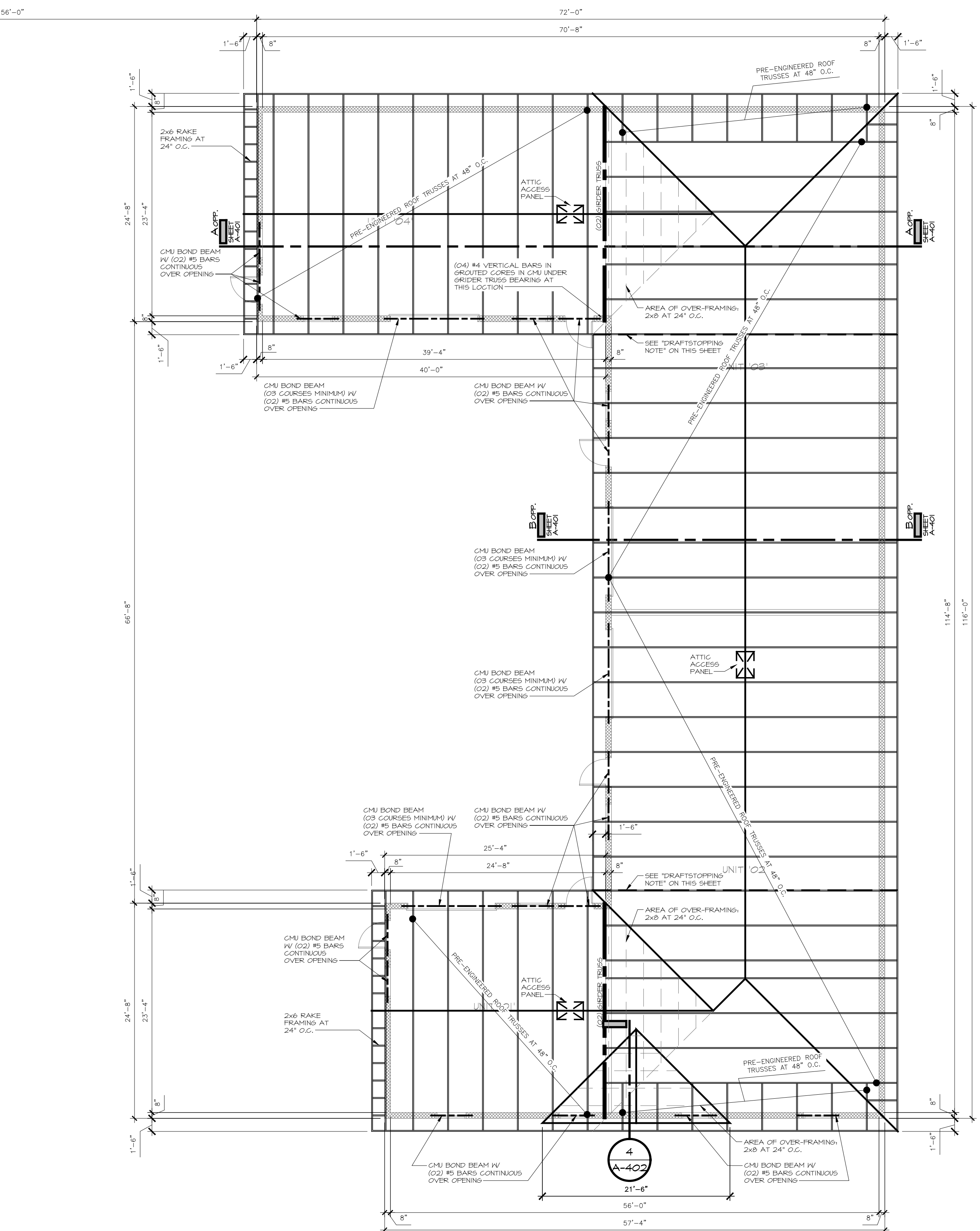
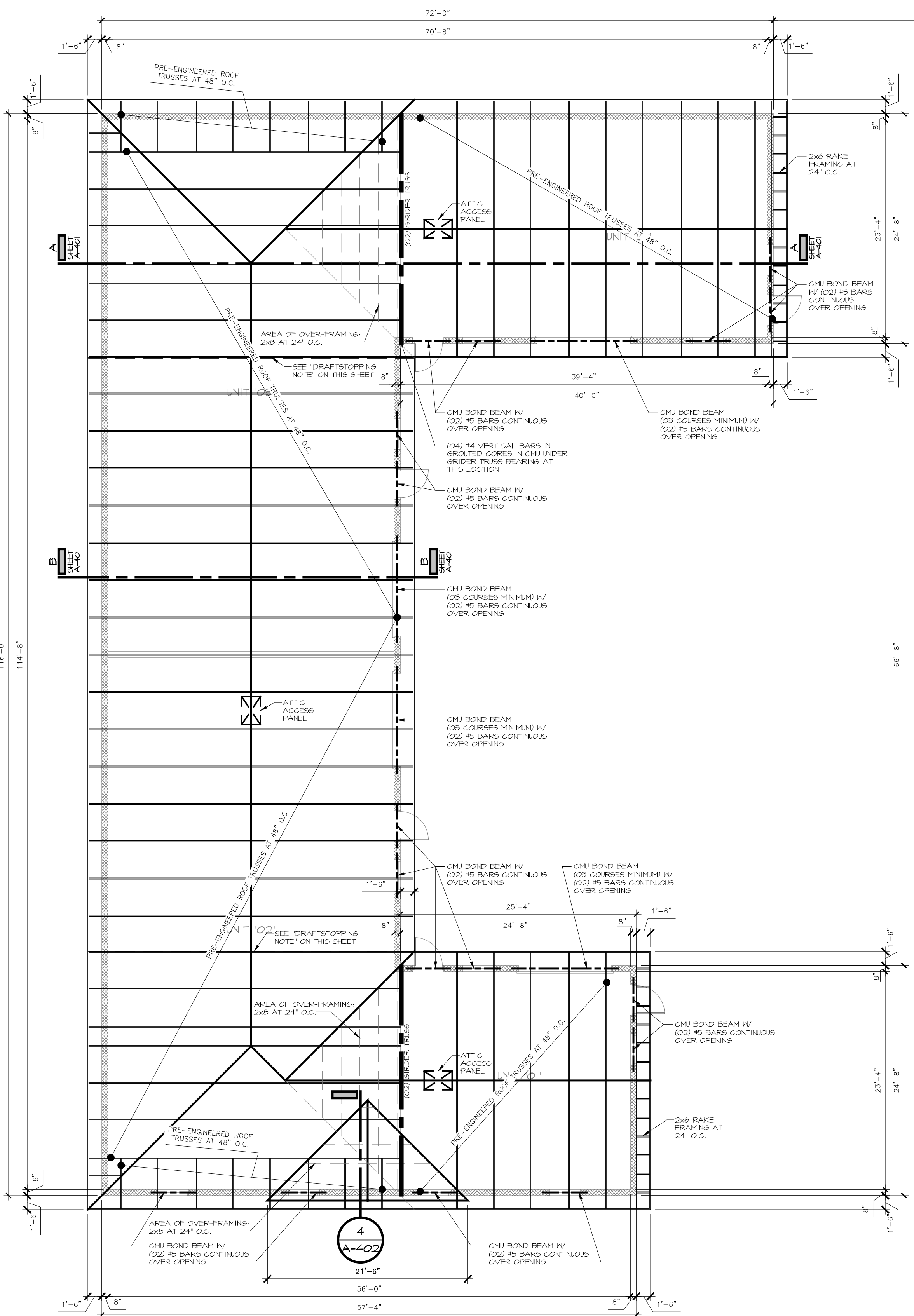
Project
DOYON CONTRACTOR SUITES
GRAND HAVEN, MI 49417

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Project Number
23.045

Sheet
IX

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NOTE:
OVERFRAMING TO BEAR ON SOLID BLOCKING BETWEEN TRUSSES

ROOF FRAMING PLAN
1/8"=1'-0"

MASONRY NOTES (CONTINUED)

10. ALL DOUBLE ANGLE LINTELS SHALL BE WELDED BACK TO BACK WITH A MINIMUM 2 INCH STITCH WELD EVERY 8 INCHES.

11. ANGLE LINTELS SHALL BEAR A MINIMUM OF 4" ON MASONRY AT EACH END.

12. UNLESS SHOWN ON PLANS, LINTELS OVER OPENINGS IN MASONRY WALLS, SHALL BE AS NOTED (MEMBERS LISTED ARE PER 4" OF WALL THICKNESS)

- 1 - L 3 1/2x3 1/2x1/4 SPANS TO 4'-0"
- 1 - L 4x3 1/2x1/4 L.L.V. SPANS TO 6'-0"
- 1 - L 5x3 1/2x5/16 L.L.V. SPANS TO 8'-0"

MASONRY NOTES (CONTINUED)

6. ALL REINFORCING BARS, DONELS AND TIES SHALL CONFORM TO A.S.T.M. A615 GRADE 60. REINFORCING STEEL SHALL BE CONTINUOUS, FABRICATED AND PLACED IN ACCORDANCE WITH A.C.I. - 315 LATEST EDITION AND HAVE THE FOLLOWING MINIMUM LAP LENGTHS:

BAR SIZE	8" CMU	12" CMU
#3	14"	14"
#4	25"	25"
#5	31"	31"

7. ALL MASONRY BEARING STEEL BEAMS AND LINTELS TO BEAR 8" MINIMUM ON 3 COURSES SOLID MASONRY, WITH 2-3/4" DIAMETER BOLTS EACH END, UNLESS OTHERWISE NOTED.

8. ALL MASONRY BELOW GRADE SHALL BE GROUTED SOLID.

9. MASONRY GROUT SHALL CONFORM TO ASTM C 416, WITH PEA GRAVEL AGGREGATE AND A MINIMUM STRENGTH OF 2000 PSI, BUT NOT LESS THAN SPECIFIED F'm.

MASONRY NOTES

1. ALL MASONRY WORK IS TO BE IN ACCORDANCE WITH THE LATEST BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530/ASCE 5) AND SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530./ASCE 6) AND N.C.M.A. SPECIFICATIONS.

2. ALL BLOCK SHALL CONFORM TO ASTM C90, TYPE I, GRADE N, WITH A MINIMUM UNIT NET AREA COMPRESSIVE STRENGTH OF 1900 PSI.

3. MASONRY COMPRESSIVE STRENGTH F'm = 1500 PSI MINIMUM.

4. MORTAR SHALL BE TYPE "S" (1800 PSI) CONFORMING TO ASTM C-270. USE MORTAR CEMENT WHERE EXTERIOR WALLS ARE UNREINFORCED.

5. PROVIDE HORIZONTAL WIRE TYPE REINFORCING WITH 9 GAUGE SIDE AND CROSS MEMBERS IN EVERY SECOND COURSE (16" O.C.), IN ALL MASONRY WALLS. WALLS WITH VERTICAL REINFORCING SHALL ONLY HAVE "LADDER" TYPE REINFORCING.

FRAMING PLAN NOTES

- LOADS**
ROOF LL = 50 PSF GROUND
SNOW LOAD W/ UNBALANCED DRIFT
ROOF DL = 20 PSF
WIND = 115 MPH 3 SECOND GUST
/84 MPH SUSTAINED
- WOOD CONSTRUCTION SHALL BE PER AMERICAN INSTITUTE OF TIMBER CONSTRUCTION (AITC) STANDARDS AND SPECIFICATIONS, AND NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS) AS PUBLISHED BY NATIONAL FOREST PRODUCTS ASSOCIATION.
- ROOF SHOP DWGS SHALL BE SUBMITTED TO THE ARCHITECT'S OFFICE PRIOR TO FABRICATION FOR REVIEW. SHOP DRAWINGS SHALL BE PREPARED UNDER THE DIRECT SUPERVISION OF AN ENGINEER LICENSED IN THE STATE OF MICHIGAN. SUBMISSIONS SHALL BE SIGNED & SEALED BY THE ENGINEER OF RECORD. ROOF DESIGN SHALL INCLUDE DESIGN AND DETAILING OF ALL REQUIRED BRIDGING, BRACING AND SUPPLEMENTAL MATERIAL TO PROVIDE A COMPLETE SYSTEM FOR THE LOADS AND PERFORMANCE REQUIREMENTS LISTED.
- TRUSS MANUFACTURER TO INCLUDE DRIFTING SNOW LOAD AS REQUIRED BY CODE, NOT INCLUDED IN INDICATED ROOF LOADS.
- TRUSS MANUFACTURER SHALL PROVIDE PERMANENT BRACING PLAN, SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MICHIGAN. TRUSS MANUFACTURER SHALL VERIFY WITH ARCHITECT AND MECHANICAL CONTRACTOR SIZE, LOCATION & SUPPORT OF MECHANICAL UNITS. TRUSS FRAMING AND TRUSS TO TRUSS CONNECTIONS ARE TO BE DESIGNED BY TRUSS MANUFACTURER.
- TRUSS MANUFACTURER SHALL CERTIFY THAT TRUSSES & ASSOCIATED BRACING HAVE BEEN INSTALLED IN ACCORDANCE WITH SEALED ENGINEER PERMANENT BRACING PLAN.
- STEEL SHOP DWGS SHALL BE SUBMITTED TO THE ARCHITECT'S OFFICE PRIOR TO FABRICATION FOR REVIEW. SHOP DRAWINGS SHALL BE PREPARED UNDER THE DIRECT SUPERVISION OF AN ENGINEER LICENSED IN THE STATE OF MICHIGAN. SUBMISSIONS SHALL BE SIGNED & SEALED BY THE ENGINEER OF RECORD.

ABBREVIATIONS
T.O.S. - TOP OF STEEL
B.O.S. - BOTTOM OF STEEL
A.B.S. - ANCHOR BOLTS
B.P. - BEARING PLATE
O.C. - ON CENTER

8. ALL LUMBER FRAMING MEMBERS ARE TO HAVE THE FOLLOWING MINIMUM BASE DESIGN VALUES IN ACCORDANCE WITH THE LATEST ISSUE OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS) AS PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION (NFFA).
9. DIMENSIONAL LUMBER SHALL BE:
SPF #2 OR BETTER
Fb = 875 P.S.I. MIN.
Fv = 10 P.S.I. MIN.
Fc_perp = 425 P.S.I.
Fc_parallel = 125 P.S.I.
E = 1.3
15. A 2x PRESSURE TREATED BEARING PLATE SHALL BE PROVIDED ON THE TOP FLANGE OF ALL STEEL BEAMS AND ATTACHED WITH 3/8" DIA. THRU-BOLTS THRU PREDRILLED 7/16" HOLES STAGGERED @ 32" O.C. ON EACH SIDE OF WEB, UNLESS OTHERWISE NOTED.

SEE SITE PLANS & TRASH ENCLOSURE DETAILS FOR ADDITIONAL STEEL REQUIREMENTS (GATE, RAILS, BOLLARDS, ETC.)

DRAFTSTOPPING NOTE

3/8" MINIMUM THICKNESS OSB SHEATHING DRAFTSTOPPING INSTALLED SUCH THAT ALL ATTIC COMPARTMENTS DO NOT EXCEED 3,000 SF OF HORIZONTAL AREA. PROVIDE SELF-CLOSING ACCESS DOOR WITH AUTOMATIC LATCH BETWEEN COMPARTMENTS (MEC 710.4.3) - PROVIDE BLOCKING OVER AND UNDER TRUSS (BETWEEN FURLING) TO MAKE DRAFTSTOPPING CONTINUOUS.

CONTRACTORS OPTION
TO INCLUDE OVERFRAMING IN TRUSS DESIGN

OWNER REVIEW	
BIDDING AND PERMITS	
ADDENDUM 01	
04/25/24	
05/01/24	
09/20/24	

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ARCHITECTS

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Project Type
NEW CONSTRUCTION

Project
DOYON CONTRACTOR SUITES
GRAND HAVEN, MI 49417

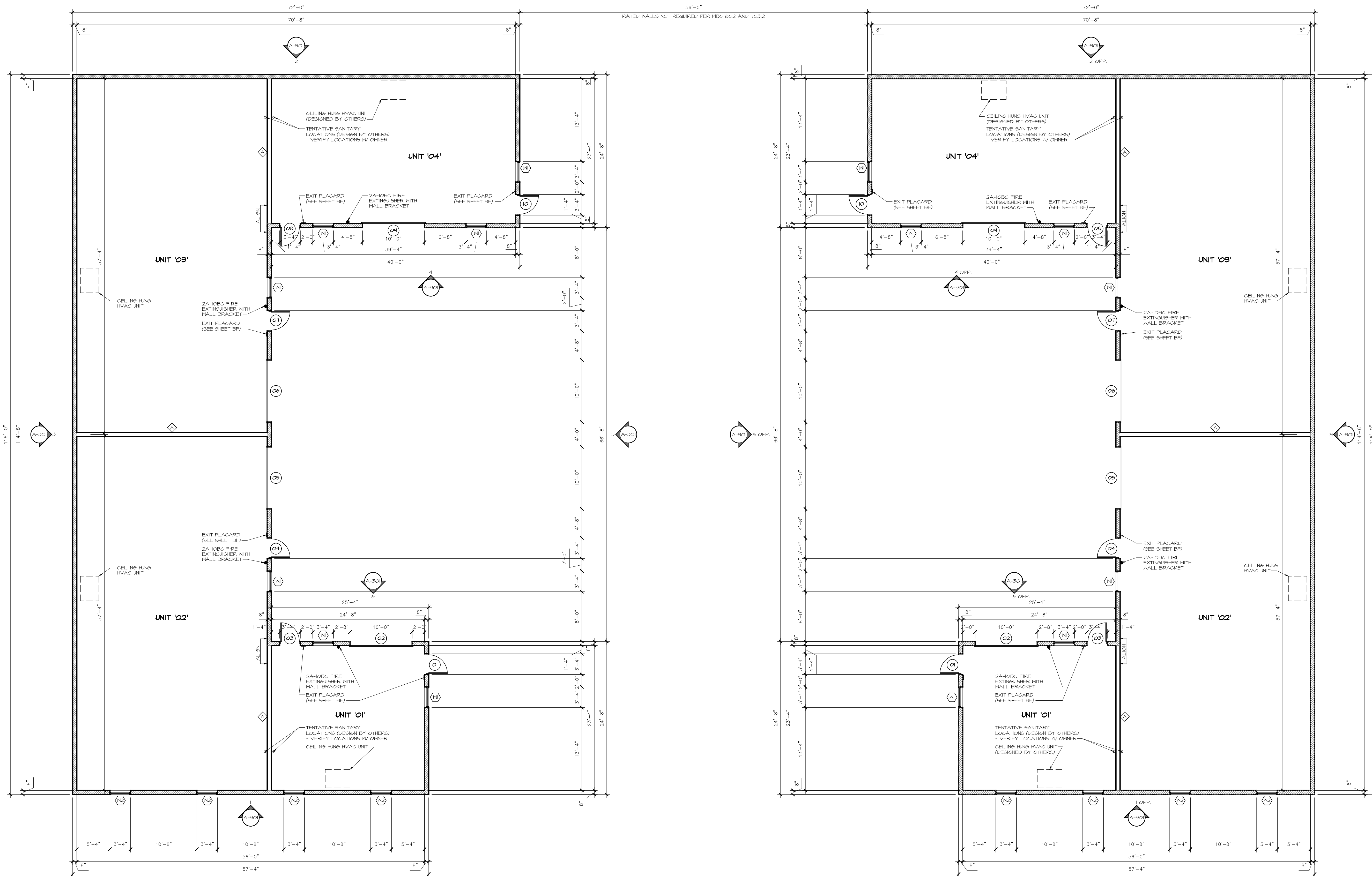
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KYLE DOYON

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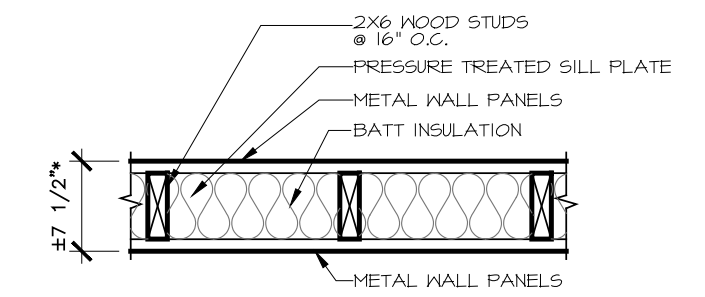
Project Number
23.045

Sheet
S-101



FLOOR PLAN
 1/8"=1'-0"

LEGEND	
	WALL CONSTRUCTION DESIGNATION
	WINDOW DESIGNATION
	DOOR DESIGNATION



ACTUAL WIDTH = 47 1/2"
 DRAWN AS = 8"
 VERIFY W/ METAL WALL PANEL SELECTION. PROVIDE HORIZONTAL FERRING AS NEEDED IF METAL PANELS ARE INSTALLED VERTICALLY.

WALL TYPE 'A'
 EXTEND WALL TO LID ABOVE UNLESS NOTED OTHERWISE

WALL TYPE
 3/4" = 1'-0"

OWNER REVIEW	
BIDDING AND PERMITS	
ADDENDUM 01	

04/25/24	
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Project Type
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DOYON CONTRACTOR SUITES
 GRAND HAVEN, MI 49417

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KYLE DOYON

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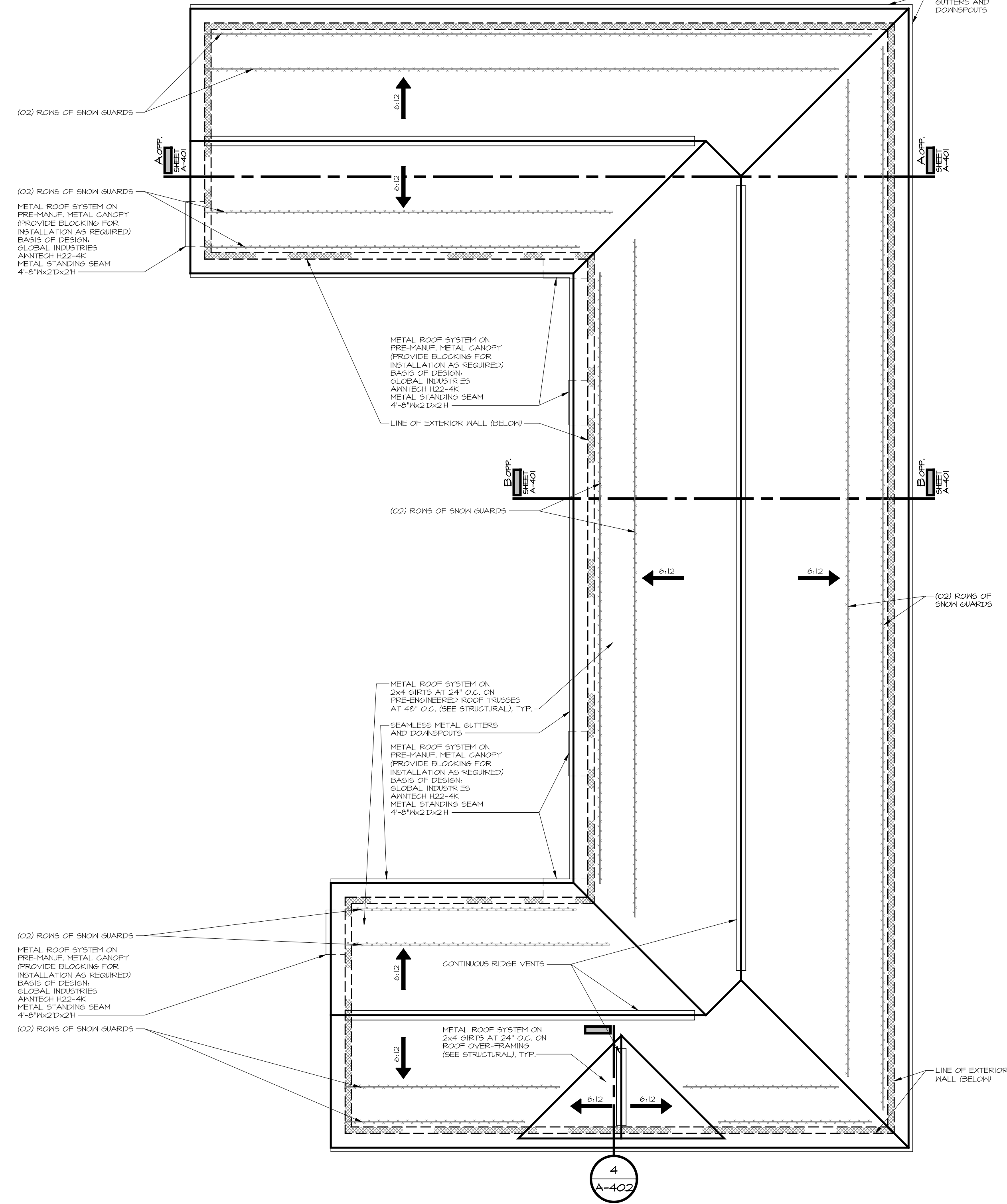
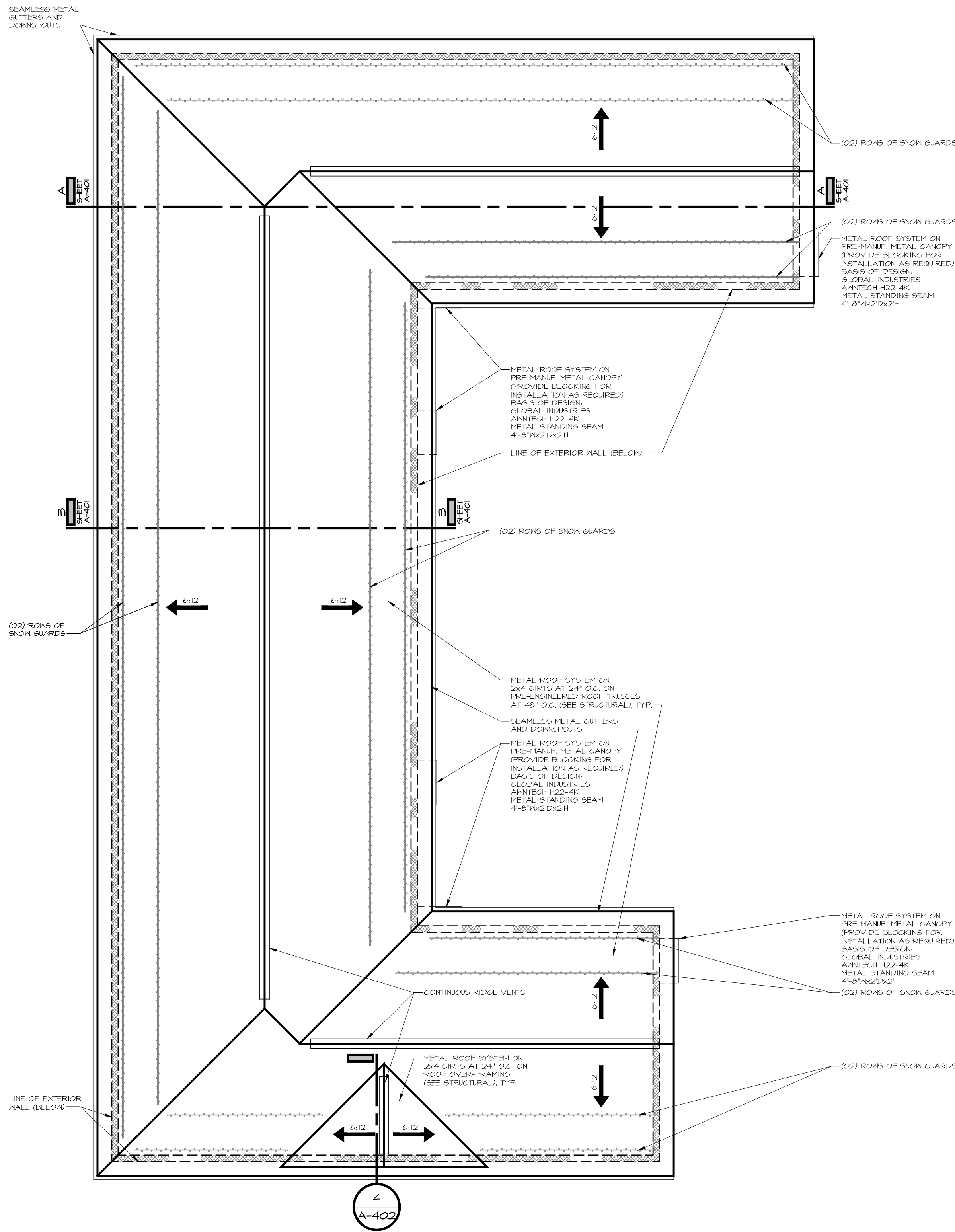
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Sheet
A-101

NOTE:
 SEE MECHANICAL, ELECTRICAL AND PLUMBING DESIGN BUILD DRAWINGS (BY OTHERS) FOR REQUIRED UNDER SLAB UTILITIES, PRIOR TO CONCRETE POUR

BUILDING NOTE:
 THIS SET OF CONSTRUCTION DOCUMENTS IS FOR (04) TOTAL BUILDINGS ON (02) SEPARATE PARCELS.
PARCEL 1:
 (01) BUILDING CONTAINING UNITS 01-04
 (01) BUILDING CONTAINING UNITS 05-08
PARCEL 2:
 (01) BUILDING CONTAINING UNITS 09-12
 (01) BUILDING CONTAINING UNITS 13-16
 THIS SET OF DRAWINGS SHOWS THE PROPOSED CONSTRUCTION FOR THE BUILDINGS ON PARCEL 1; THE PROPOSED CONSTRUCTION FOR THE BUILDINGS ON PARCEL 2 IS AN EXACT COPY OF THIS SET OF CONSTRUCTION DOCUMENTS.
 REFER TO CIVIL DRAWINGS FOR SPECIFIC SITE INFORMATION.



ROOF PLAN
1/8"=1'-0"

ATTIC VENTILATION

ROOF AREA = 860,048 SQ. IN.

860,048 SQ. IN. / 150 = 5,734 SQ. IN. NET FREE VENTILATION

5,734 SQ. IN. / 2 = 2,867 SQ. IN. NET FREE VENTILATION AT SOFFIT

5,734 SQ. IN. / 2 = 2,867 SQ. IN. NET FREE VENTILATION AT RIDGE

NOTE:
CALCULATION INCLUDES VENTILATION FOR (01) OF THE (02) STRUCTURES BEING CONSTRUCTED ON EACH PARCEL. THE BUILDING CONTAINING SUITES 01-04 IS A MIRROR IMAGE OF THE BUILDING CONTAINING SUITES 05-08. THE BUILDING CONTAINING SUITES 09-12 IS A MIRROR IMAGE OF THE BUILDING CONTAINING SUITES 13-16.

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A-102

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FINISH SCHEDULE								LEGEND		
ROOM	FLOOR	BASE	WALL		CEILING		REMARKS	ABBR	DESCRIPTION	
			MAT.	FIN.	MAT.	FIN.				
UNIT '01'	SC	MT	CMU/MP	PF	MP	PF	11'-11"		CMU	CONCRETE MASONRY UNIT
UNIT '02'	SC	MT	CMU/MP	PF	MP	PF	11'-11"		DYN	DRYWALL
UNIT '03'	SC	MT	CMU/MP	PF	MP	PF	11'-11"		MP	METAL PANEL
UNIT '04'	SC	MT	CMU/MP	PF	MP	PF	11'-11"		MT	METAL TRIM
UNIT '05'	SC	MT	CMU/MP	PF	MP	PF	11'-11"		PF	PREFINISHED PAINT
UNIT '06'	SC	MT	CMU/MP	PF	MP	PF	11'-11"		SC	SEALED CONCRETE
UNIT '07'	SC	MT	CMU/MP	PF	MP	PF	11'-11"		WD	WOOD
UNIT '08'	SC	MT	CMU/MP	PF	MP	PF	11'-11"			

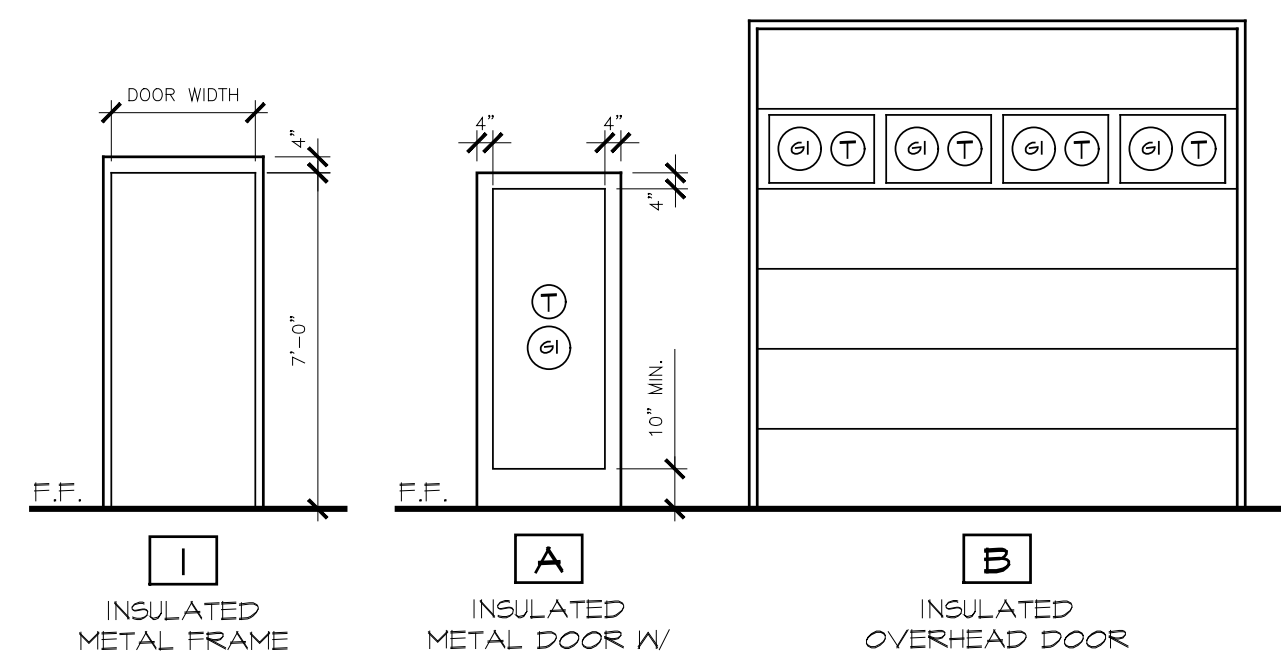
NOTES

- ALL FINISHES NOTED ARE 'GENERIC' - FINAL SELECTIONS SHALL BE AS SELECTED BY OWNER.
- SANITARY BASES IN TOILET ROOMS AND BATHROOMS SHALL BE 6" TALL MINIMUM.
- ALL FLOOR FINISHES SHALL BE SLIP RESISTANT AND SECURELY ATTACHED IN ACCORDANCE WITH 2015 MBC 1003.4. THE STATIC COEFFICIENT OF FRICTION (FET) FOR ALL FLOOR SURFACES SHALL BE 0.6 MINIMUM.
- DRYWALL IN TOILET ROOMS AND BATHROOMS SHALL BE MOISTURE-RESISTANT (GREEN TYPE) IN AREAS EXPOSED TO MOISTURE.
- WALL SURFACES IN TOILET ROOMS AND BATHROOMS SHALL BE NONABSORBENT IN ACCORDANCE W/ 2015 MBC 1210.2.
- DRYWALL FINISH GRADE TO BE LEVEL 4 UNLESS OTHERWISE NOTED.
- REFER TO GENERAL NOTES FOR OTHER INTERIOR FINISH REQUIREMENTS.

DOOR SCHEDULE (PARCEL 1 DOORS LISTED ONLY)											
NO.	WIDTH	HEIGHT	THK.	DOOR		FRAME		HWDR.	F.R.	REMARKS	
				TYPE	FIN.	TYPE	FIN.				
01	3'-0"	7'-0"	1 3/4"	A	PF	I	PT	I	-	THRESHOLD, 1/A-403, JAMB DETAIL, 8/A-403, HEAD DETAIL, 9/A-403	
02	10'-0"	10'-0"	2"	B	PF	-	-	-	-	"	
03	3'-0"	7'-0"	1 3/4"	A	PF	I	PT	I	-	THRESHOLD, 1/A-403, JAMB DETAIL, 8/A-403, HEAD DETAIL, 9/A-403	
04	3'-0"	7'-0"	1 3/4"	A	PF	I	PT	I	-	THRESHOLD, 1/A-403, JAMB DETAIL, 8/A-403, HEAD DETAIL, 9/A-403	
05	10'-0"	10'-0"	2"	B	PF	-	-	-	-	"	
06	10'-0"	10'-0"	2"	B	PF	-	-	-	-	"	
07	3'-0"	7'-0"	1 3/4"	A	PF	I	PT	I	-	THRESHOLD, 1/A-403, JAMB DETAIL, 8/A-403, HEAD DETAIL, 9/A-403	
08	3'-0"	7'-0"	1 3/4"	A	PF	I	PT	I	-	THRESHOLD, 1/A-403, JAMB DETAIL, 8/A-403, HEAD DETAIL, 9/A-403	
09	10'-0"	10'-0"	2"	B	PF	-	-	-	-	"	
10	3'-0"	7'-0"	1 3/4"	A	PF	I	PT	I	-	THRESHOLD, 1/A-403, JAMB DETAIL, 8/A-403, HEAD DETAIL, 9/A-403	

NOTES

- FIELD VERIFY OP66 PRIOR TO ORDERING OR FABRICATING MATERIALS
- ALL DOORS TO BE COMMERCIAL GRADE, FINISHED ON ALL (06) SIDES
- Ⓢ = TEMPERED
- EACH PANE OF TEMPERED GLAZING SHALL BE LABELED TO SPECIFY THE LABELER, THE SAFETY GLAZING STANDARD, THE TYPE AND THE THICKNESS. THE LABEL SHALL BE ACID-ETCHED, SAND BLASTED, CERAMIC FIRED, OR EMBOSSED OR SHALL BE OF A TYPE THAT ONCE APPLIED CANNOT BE REMOVED WITHOUT BEING DESTROYED
- ALL HARDWARE SHALL HAVE A DULL CHROME FINISH
- ALL HARDWARE KEYING SHALL BE COORDINATED WITH THE OWNER
- ALL HARDWARE NOTED ARE STANDARD SETS AS PROVIDED BY RITNER FRENCH ASSOCIATES. 248-651-1333 PHONE, 248-651-2650 FAX

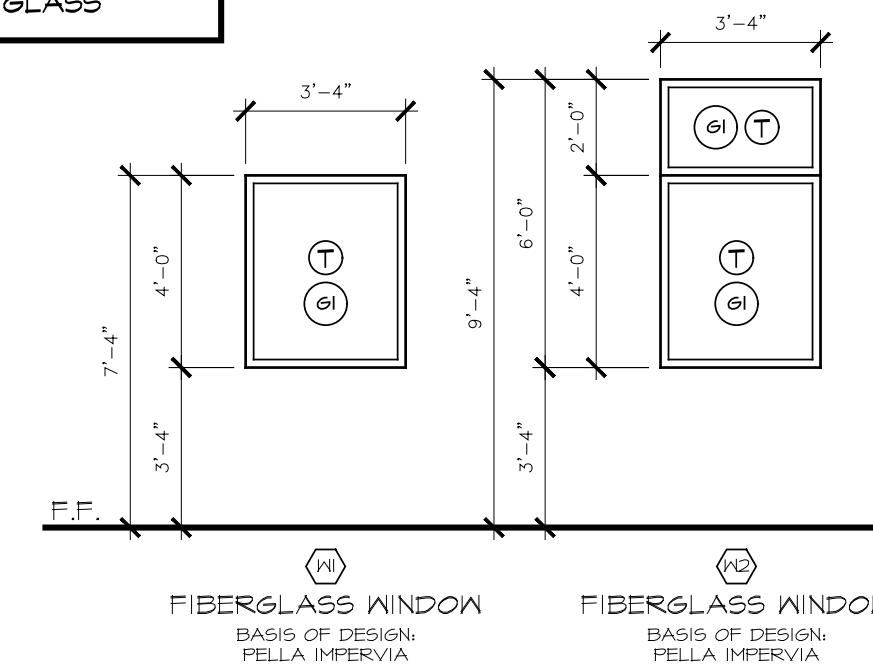


DOOR AND FRAME SCHEDULE

1/4"=1'-0"

GLAZING SCHEDULE

Ⓢ1 1" INSULATED GLASS LOW E COATING FOR EXTERIOR GLASS



WINDOW SCHEDULE

1/4"=1'-0"

HARDWARE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS AND NOTIFY ARCHITECT IMMEDIATELY IF EXISTING DIFFERS FROM THAT SHOWN ON DRAWINGS.
- ALL WORK TO COMPLY WITH CURRENT FEDERAL, STATE AND LOCAL CODES, LAWS AND ORDINANCES. THE REQUIREMENTS OF ICC/ANSI A117.1 AND THE AMERICANS WITH DISABILITIES ACT (ADA) ARE TO BE FULLY SATISFIED. ALL WORK SHALL MEET THE MOST STRINGENT REQUIREMENTS OF BOTH INCLUDING, BUT NOT LIMITED TO CLEARANCES, LIMITATIONS, ACCESSORIES, ETC.
- THESE DRAWINGS ARE PREPARED IN ACCORDANCE WITH THE LIMITED SERVICES FOR WHICH THE ARCHITECT WAS CONTRACTED. THE ARCHITECT MAKES NO REPRESENTATION THAT THE INTERPRETATION OF THESE DOCUMENTS WILL RESULT IN COMPLETE COMPLIANCE WITH THE ADA.
- ALL DOORS REQUIRED TO BE LABELED SHALL BE SET IN LABELED FRAMES AND IDENTIFIED WITH UL LABEL AND BE PROVIDED WITH APPROVED SELF-CLOSING DEVICES AND POSITIVE LATCHING HARDWARE.
- ALL DESIGNATED EXIT DOORS SHALL BE EQUIPPED WITH THE REQUIRED EGRESS HARDWARE.
- FURNISH HARDWARE AS SCHEDULED WITHOUT SUBSTITUTION, NO ALTERNATES WILL BE APPROVED.
- PROVIDE PDQ CYLINDERS, COMBINATION IC CORES AND KEYS; KEYED TO MASTER SYSTEM. INCLUDE KEY CONFERENCE AND KEY SYSTEM SCHEDULE, WHERE "PDQ2" IS INDICATED, FURNISH A KEYED CORE AND TWO CUT KEYS FOR EACH LOCKING DEVICE SPECIFIED; PLUS TWO MASTER KEYS AND TWO CONTROL KEYS.
- FURNISH AND PROVIDE ALL NECESSARY REINFORCEMENTS, BRACKETS, FASTENERS, SPACERS AND FILLERS TO PROVIDE A COMPLETE FUNCTIONING OPENING.
- POWER OPERATED DOORS: ALL AUTOMATIC DOORS SHALL COMPLY WITH ANSI 156.19 AND BE UL LISTED. PROVIDE ALL REQUIRED PERIPHERALS. AUTOMATIC DOOR EQUIPMENT MUST BE INSTALLED BY AN AAADM CERTIFIED INSTALLER. AAADM CERTIFICATION MUST BE SUPPLIED TO OWNER UPON COMPLETION.

HARDWARE SET #1 - (3'-0" X 7'-0")
EXTERIOR ENTRANCE DOOR; HOLLOW METAL DOOR / FRAME
RIM PANIC W/ FULL TRIM [LOCK / UNLOCK] + CLOSER STOP

3 EA.	BUTT HINGE 4BS1 4 1/4" x 4 1/4" NRP	32D	PBB
1 EA.	RIM PANIC DEVICE 6400R CD SK (03)	32D	PDQ
1 EA.	RIM CYLINDER 1530B x 1520T-1 PDQ2 x TRIM RING (03)	26D	PDQ
1 EA.	MORTISE CYLINDER 1530T x 1520T-1 PDQ2 x TRIM RING (CD)	26D	PDQ
1 EA.	PULL BAR 115T x 4 1/4" MOUNT	32D	PDQ
1 EA.	CLOSER T101 BC SC6 X DPPA (PUSH SIDE MOUNT)	AL	PDQ
1 EA.	KICKPLATE 98 10 x 34" LDW	32D	PDQ
1 EA.	THRESHOLD 5205 (NOTCH & COPE AS REQUIRED)	AL	REESE
1 EA.	SWEEP 354A -MOUNT PULL SIDE	AL	REESE
1 SET	WEATHERSTRIP 855C (MOUNT PRIOR TO STRIKE AND CLOSER SHOE)	AL	REESE
1 EA.	RAIN DRIP R201A	AL	REESE

NOTE: APPLY WEATHERSTRIP PRIOR TO MOUNTING CLOSER SHOE AND TEMPLATE / SIZE ALL HARDWARE FROM WEATHERSTRIP.

OWNER REVIEW
BIDDING AND PERMITS
ADDENDUM 01

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GRAND HAVEN, MI 49417

Client
KYLE DOYON

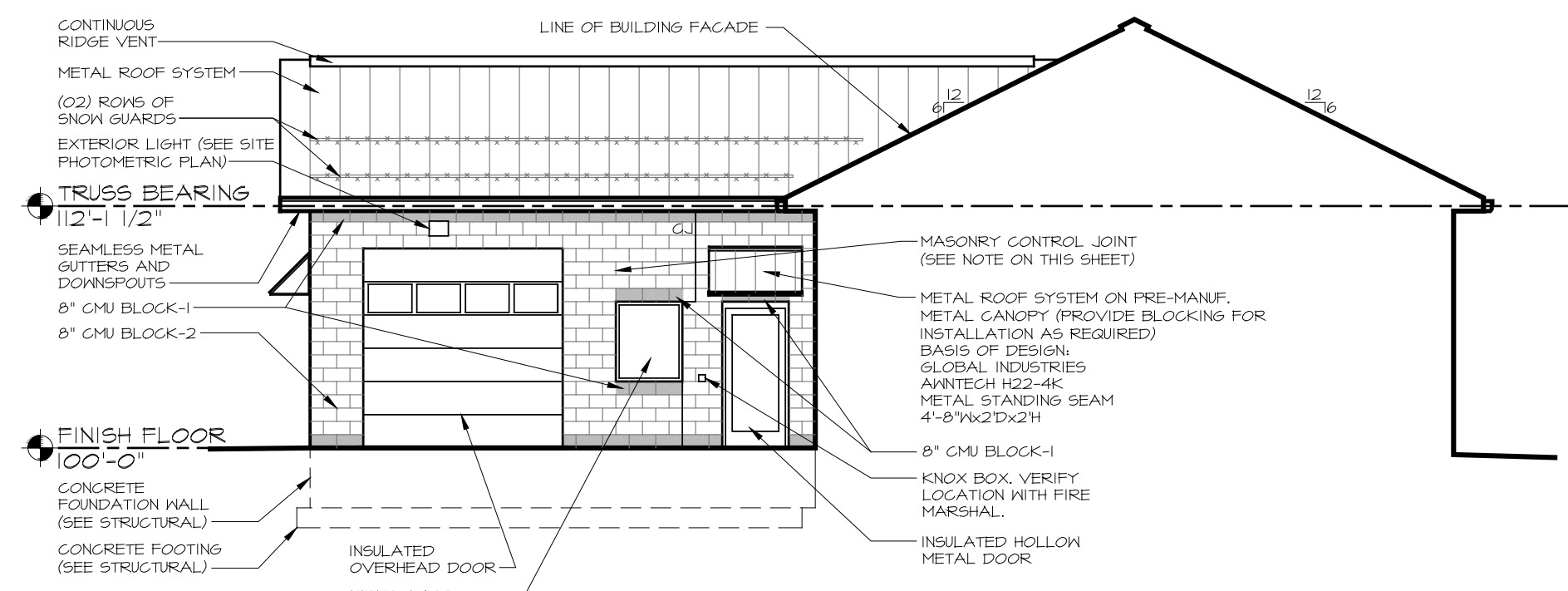
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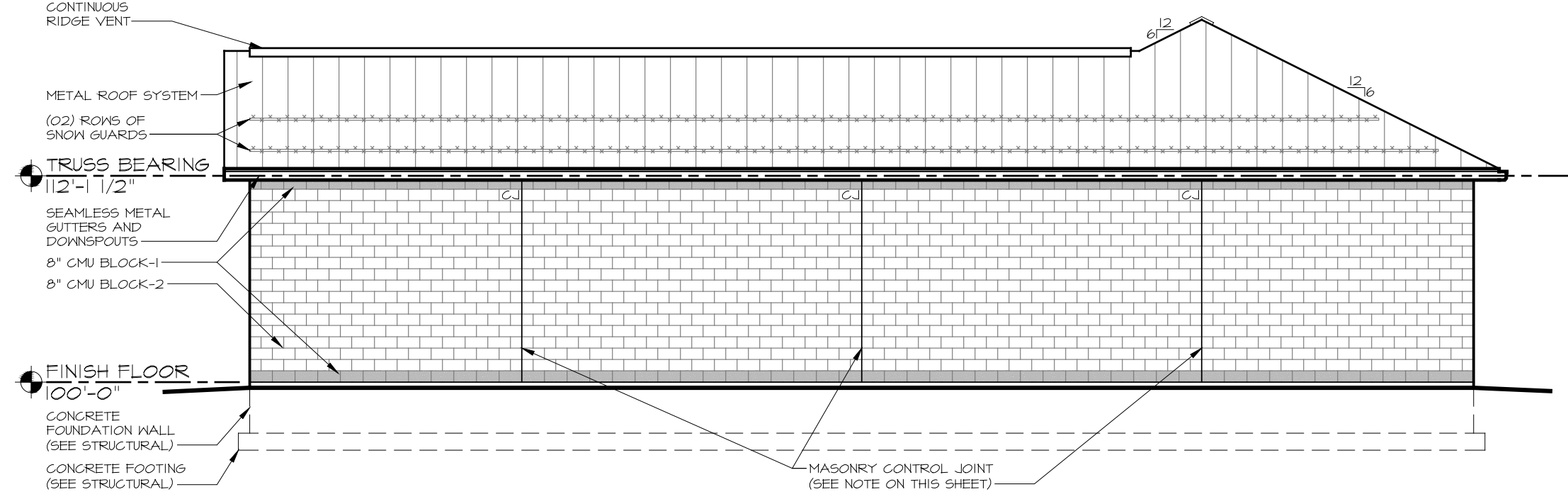
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23.045

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A-103

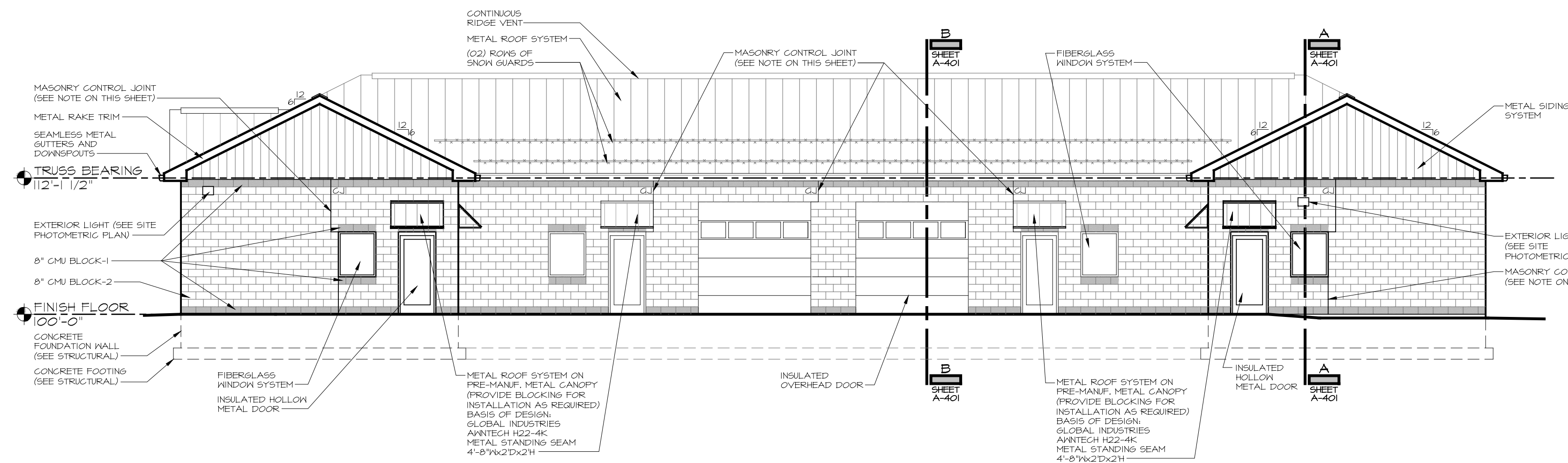
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EAST ELEVATION 6
1/8" = 1'-0" (A-301)



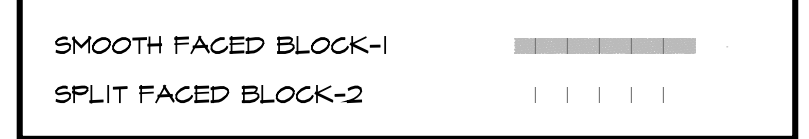
EAST ELEVATION 2
1/8" = 1'-0" (A-301)



SOUTH ELEVATION 5
1/8" = 1'-0" (A-301)

EXTERIOR FINISH SCHEDULE					
MATERIAL	FINISH	MANUFACTURER	MODEL / TYPE / SERIES	COLOR	COMMENTS
8" CMU BLOCK-1 ***	PRE-FINISHED	OMNI BLOCK	SMOOTH FACED	TBD	OR SIMILAR PRODUCT WITH OWNER APPROVAL. ***VERIFY STYLE W/ MANUFACTURER AND LOCAL SUPPLIER.
8" CMU BLOCK-2 ***	PRE-FINISHED	OMNI BLOCK	SPLIT FACED	TBD	OR SIMILAR PRODUCT WITH OWNER APPROVAL. ***VERIFY STYLE W/ MANUFACTURER AND LOCAL SUPPLIER.
METAL ROOF	PRE-FINISHED	TBD	TBD	TBD	-
METAL SIDING	PRE-FINISHED	TBD	TBD	TBD	-
METAL CORNER TRIM	PRE-FINISHED	TBD	TBD	TBD	-
METAL RAKE TRIM	PRE-FINISHED	TBD	TBD	TBD	-
METAL FASCIA TRIM	PRE-FINISHED	TBD	TBD	TBD	-
METAL BASE TRIM	PRE-FINISHED	TBD	TBD	TBD	-
FIBERGLASS WINDOW SYSTEM	PRE-FINISHED	BASIS OF DESIGN - PELLA IMPERVIA		TBD	-

- ALL METAL ROOFING SHALL BE PROVIDED W/ SNOW & ICE SLIDE PROTECTORS.
- PROVIDE SEALANT BETWEEN ALL DISSIMILAR MATERIALS - COLOR TO MATCH ADJACENT, PRIMARY MATERIAL.
- ALL MASONRY SHALL RECEIVE A FIELD-APPLIED MASONRY SEALER; PROSOCCO SILOXANE OR EQUAL, WHERE MASONRY IS ADJACENT TO CONCRETE FLATWORK OR ASPHALT PAVING, THE LOWER 4'-0" OF THE MASONRY SHALL BE SEALED WITH PROSOCCO SALTSUARD OR EQUAL.

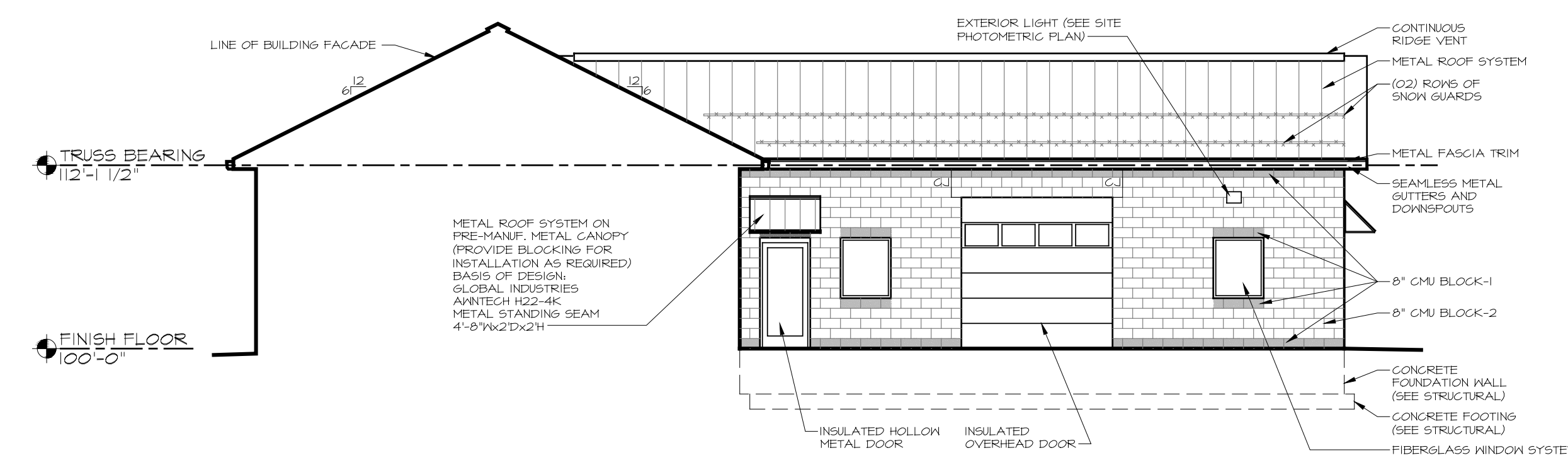


FACADE NOTES

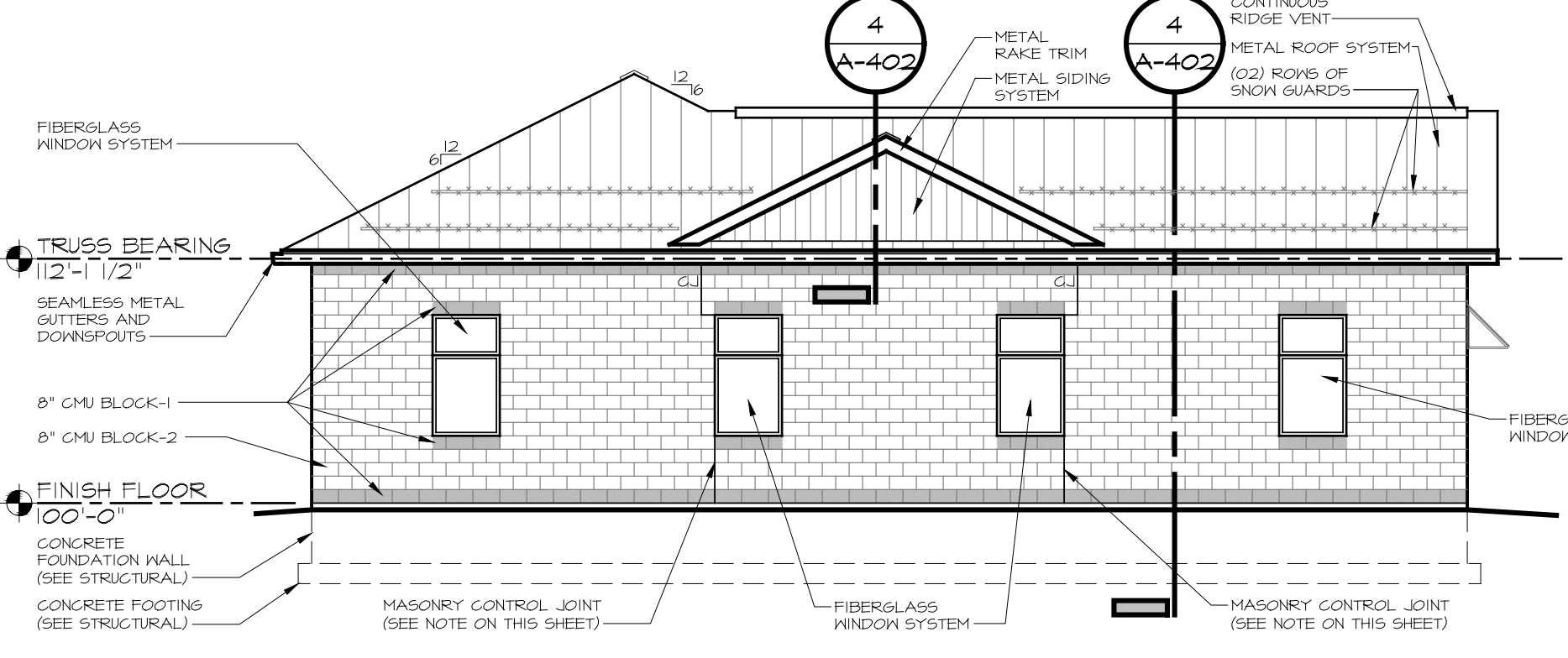
- FIELD VERIFY ALL OPENINGS FOR ALUMINUM STOREFRONT FRAMING PRIOR TO ORDERING OF MATERIALS OR FABRICATION.
- PROVIDE ISOLATION COATING BETWEEN ALL DISSIMILAR METALS (I.E. ALUM TO STEEL).
- ALL MASONRY SHALL RECEIVE A FIELD-APPLIED MASONRY SEALER/WATER REPELLENT. THE LOWER 48" OF THE MASONRY, WHERE ADJACENT TO ASPHALT/CONCRETE FLATWORK SHALL BE SEALED WITH PROSOCCO SALTSUARD OR APPROVED EQUAL; ALL OTHER AREAS SHALL BE SEALED WITH PROSOCCO SILOXANE OR APPROVED EQUAL.
- ALL EXPOSED STEEL PLATES, ANGLES AND OTHER STRUCTURAL SHAPES SHALL BE PRIMED AND PAINTED IN THE FIELD.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED.

MASONRY CONTROL JOINT NOTE:

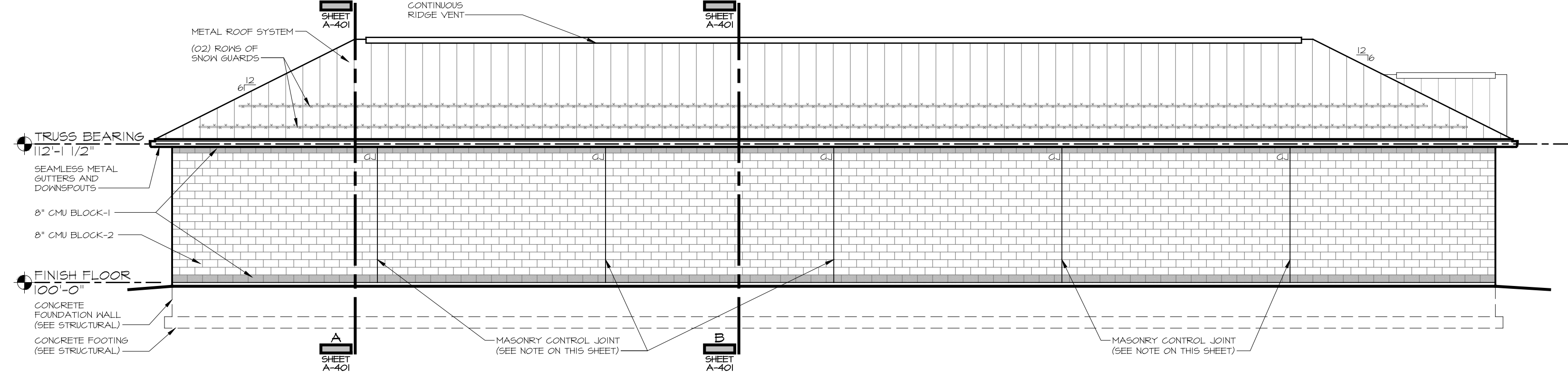
CONTROL JOINT SPACING SHALL NOT EXCEED 20'-0". SEE 10/A-403 FOR CONTROL JOINT DETAIL.



WEST ELEVATION 4
1/8" = 1'-0" (A-301)



WEST ELEVATION 1
1/8" = 1'-0" (A-301)



NORTH ELEVATION 3
1/8" = 1'-0" (A-301)

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BIDDING AND PERMITS	
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GRAND HAVEN, MI 49417

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A-301

WATERPROOFING NOTE:

PROVIDE XYPEX C-500/C-500F WATERPROOFING ADMIX PER MANUFACTURER BATCHING INSTRUCTIONS AT CMU BLOCK AND MORTAR, TYP.

NOTE:

UNLESS SPECIFICALLY NOTED OTHERWISE, INSTALL MASONRY REINFORCING AT LOCATIONS AS RECOMMENDED BY THE OMNIBLOCK INSULATED CONCRETE BLOCK INSTALLATION GUIDELINES.

NOTE:

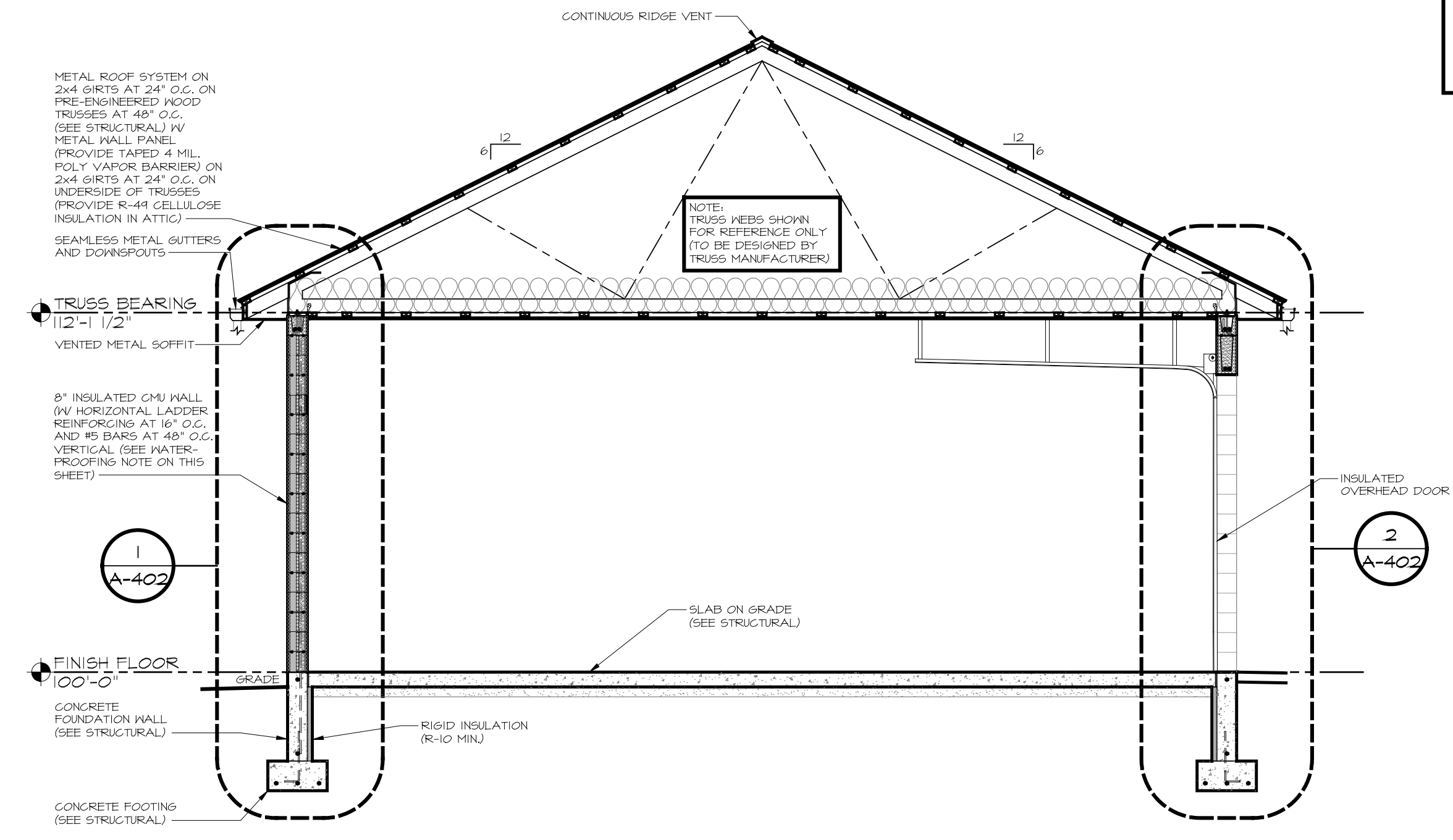
SEE ELEVATION DRAWINGS FOR SPECIFIC CMU STYLE INFORMATION AND LOCATIONS.

OWNER REVIEW BIDDING AND PERMITS ADDENDUM 01
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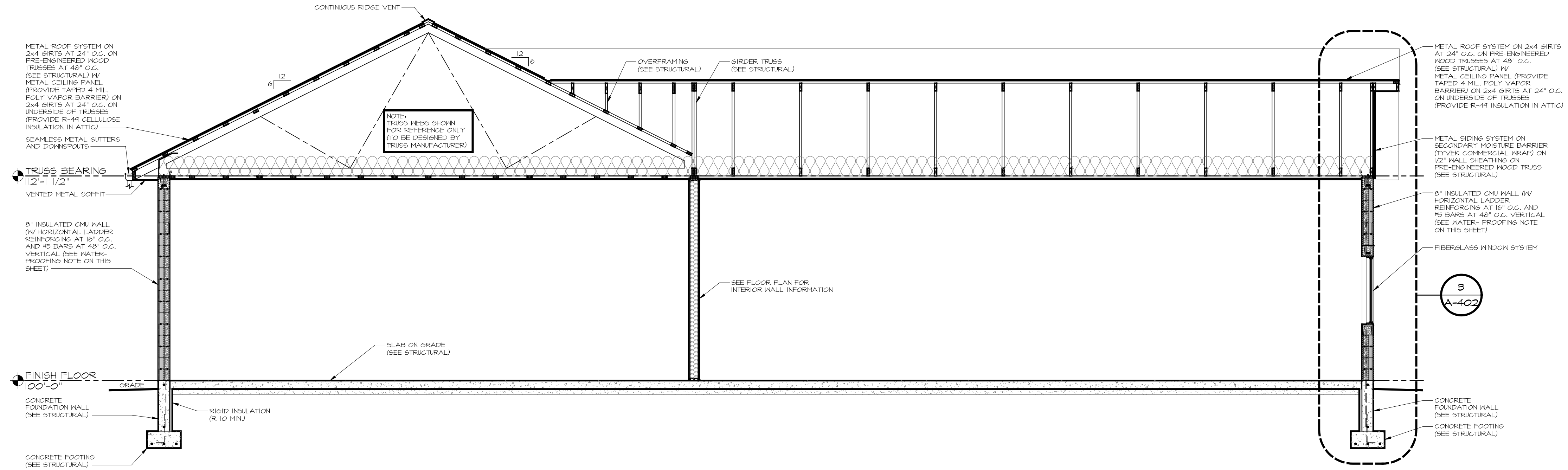
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BUILDING SECTION 'B-B'
1/4" = 1'-0"



BUILDING SECTION 'A-A'
1/4" = 1'-0"

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NEW CONSTRUCTION

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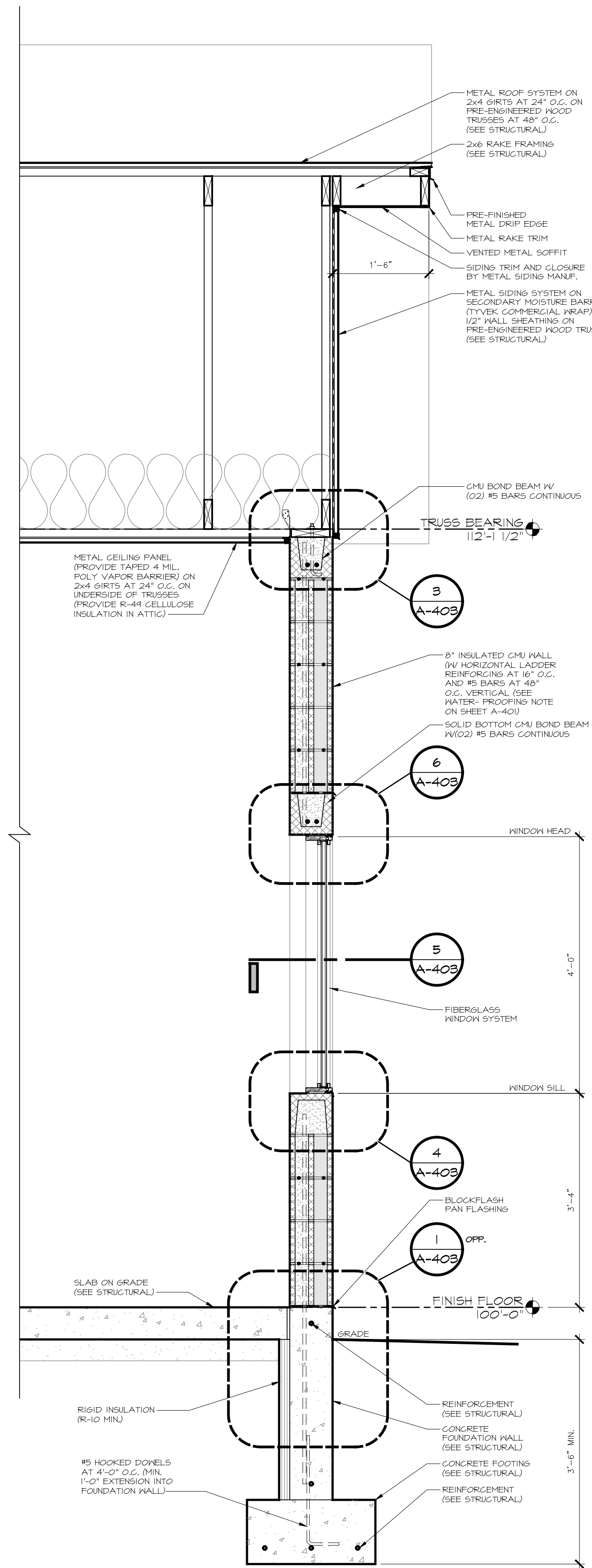
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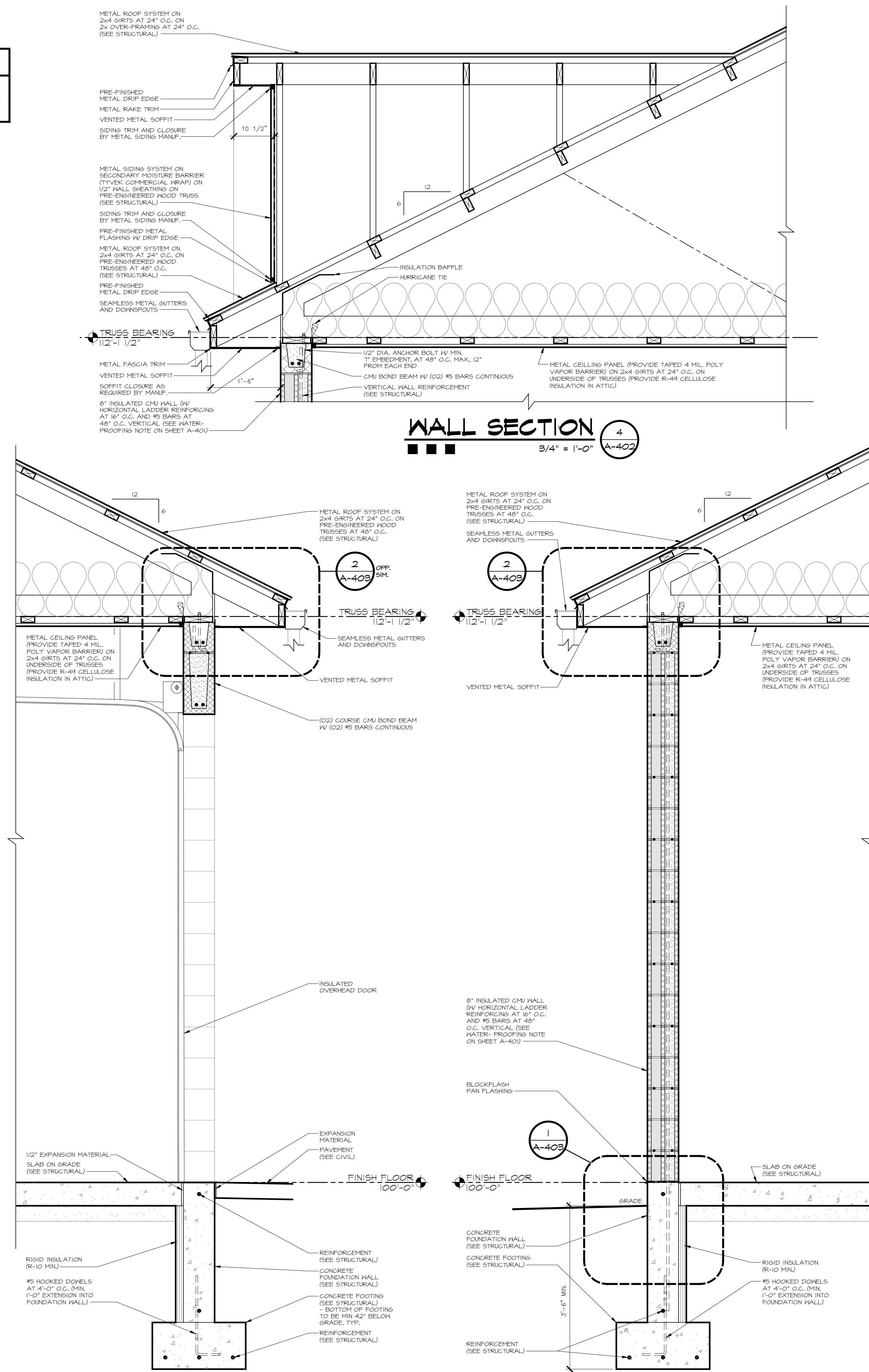
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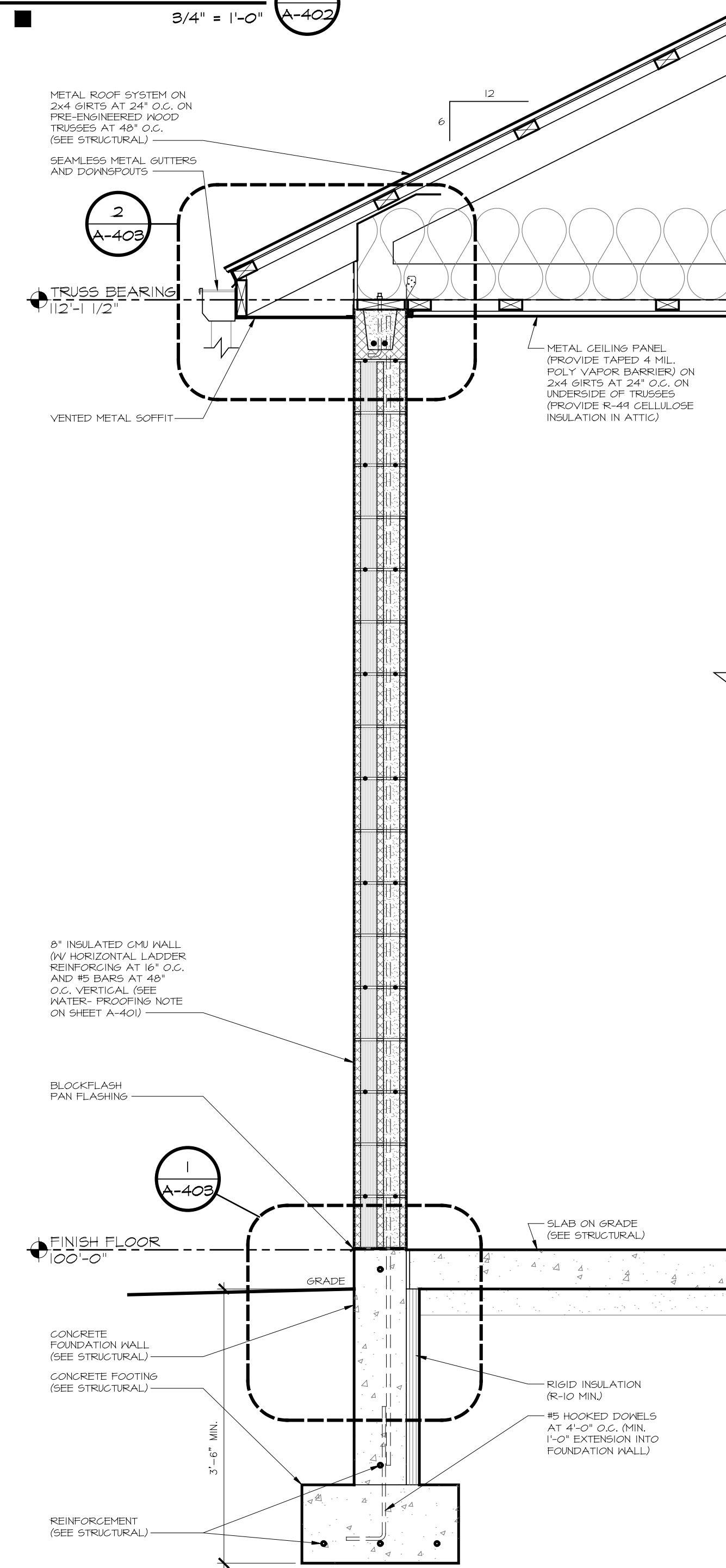
NOTE:
SEE ELEVATION DRAWINGS FOR SPECIFIC CMU STYLE INFORMATION AND LOCATIONS.



WALL SECTION 3
3/4" = 1'-0" A-402



WALL SECTION 2
3/4" = 1'-0" A-402



WALL SECTION 1
3/4" = 1'-0" A-402

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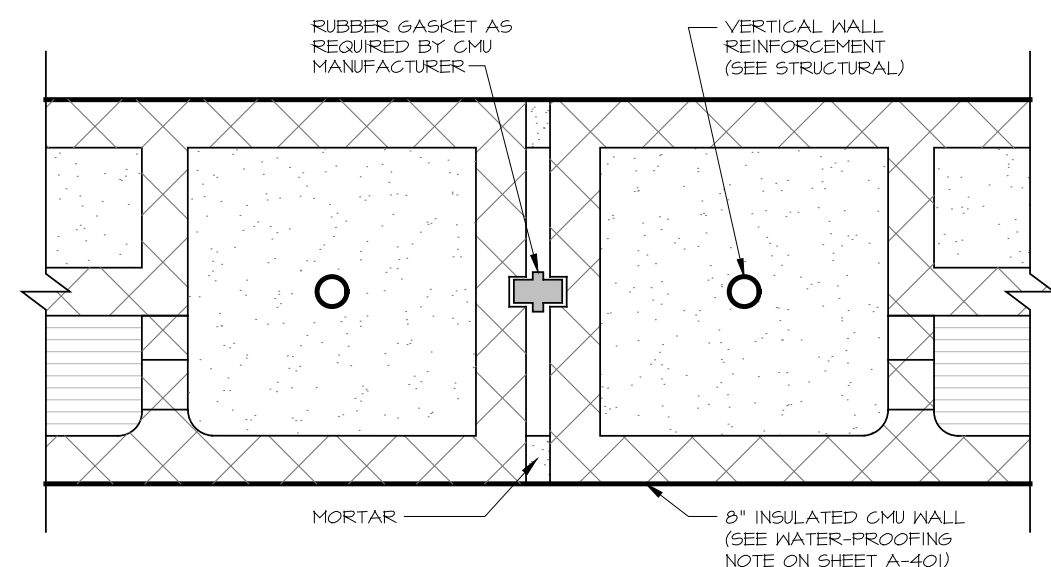
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A-402

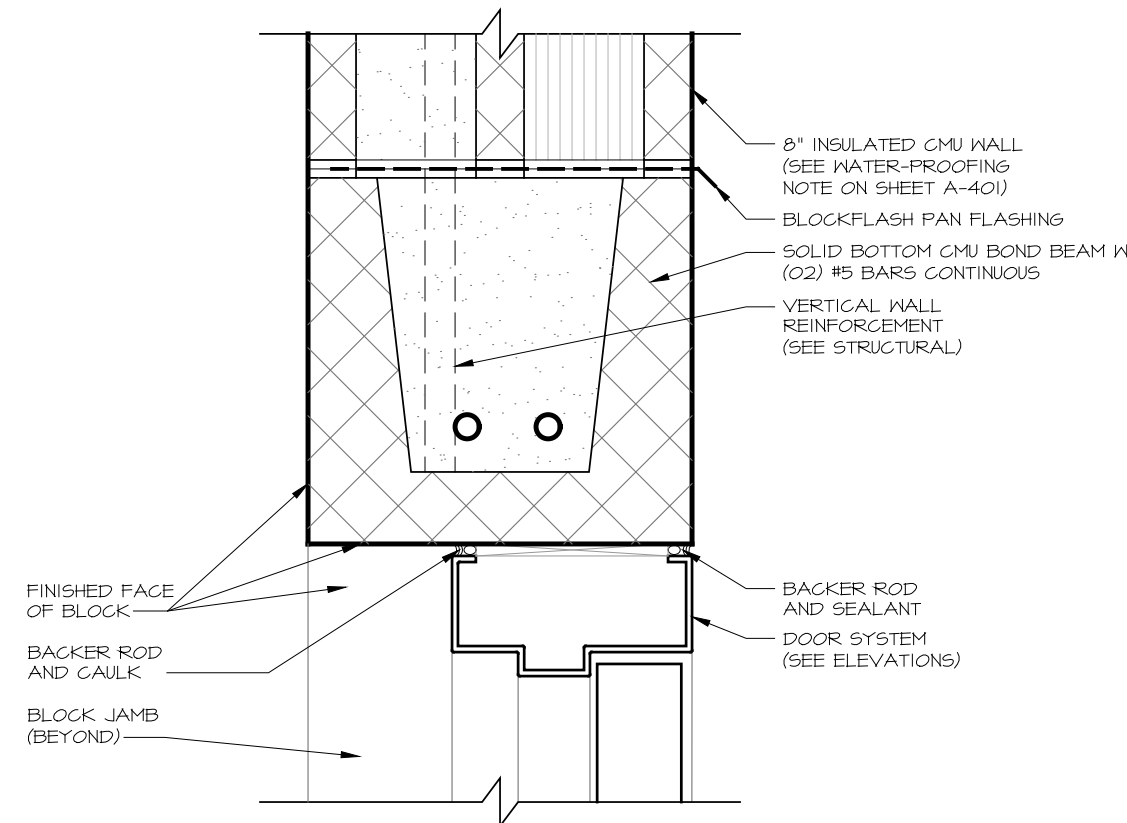
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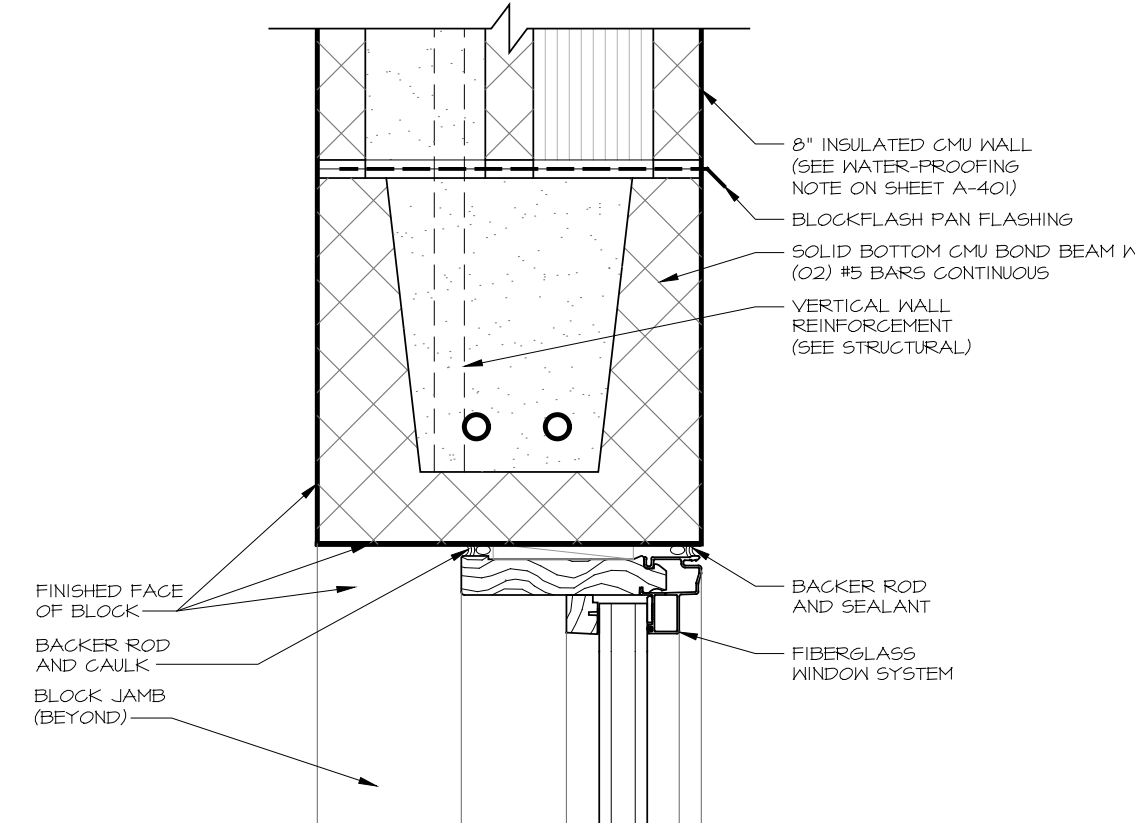
NOTE:
SEE ELEVATION DRAWINGS FOR SPECIFIC CMU STYLE INFORMATION AND LOCATIONS.



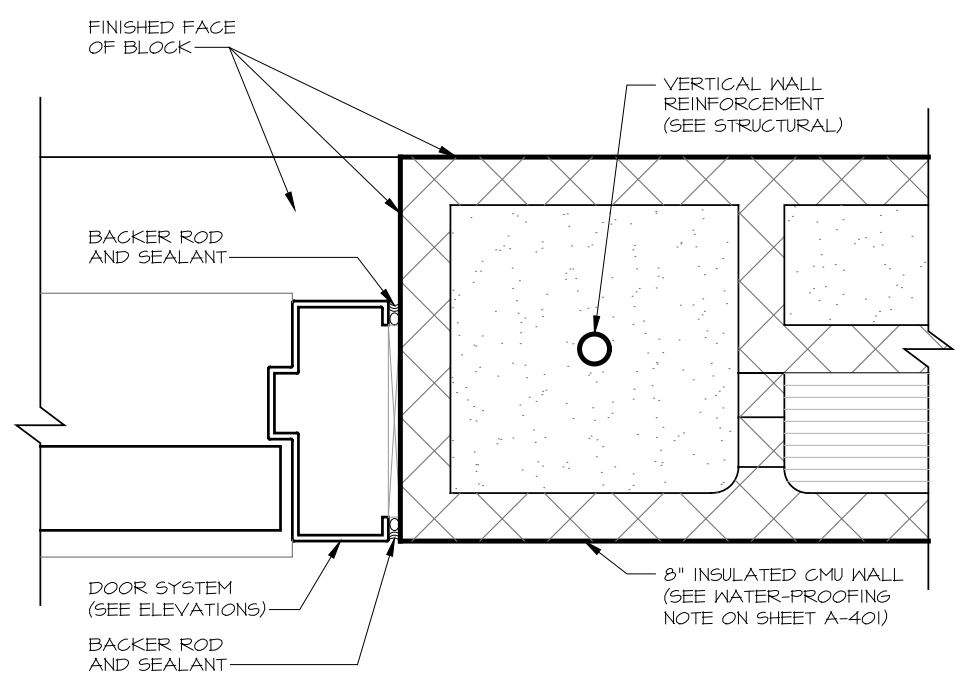
CONTROL JOINT DETAIL 10
3" = 1'-0" A-403



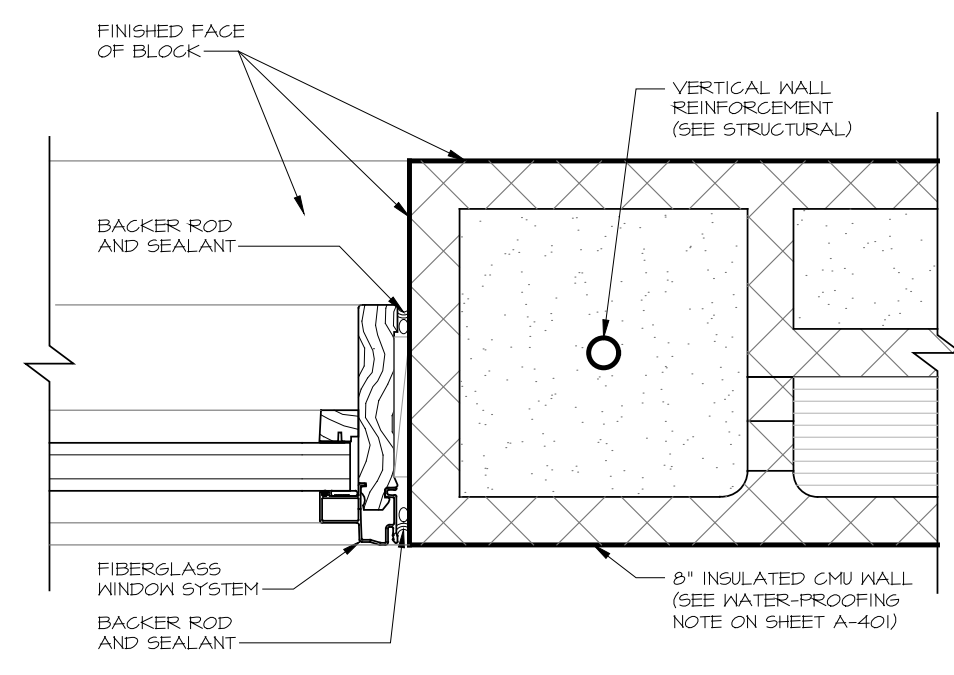
DOOR HEAD DETAIL 9
3" = 1'-0" A-403



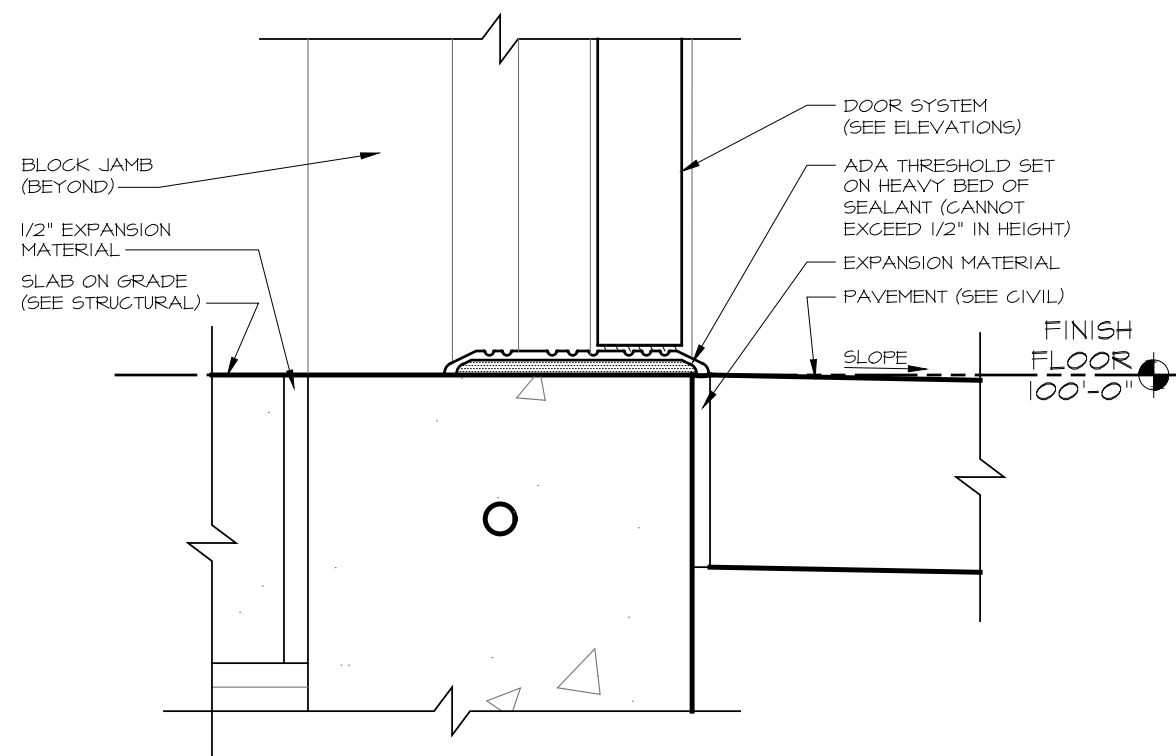
WINDOW HEAD DETAIL 6
3" = 1'-0" A-403



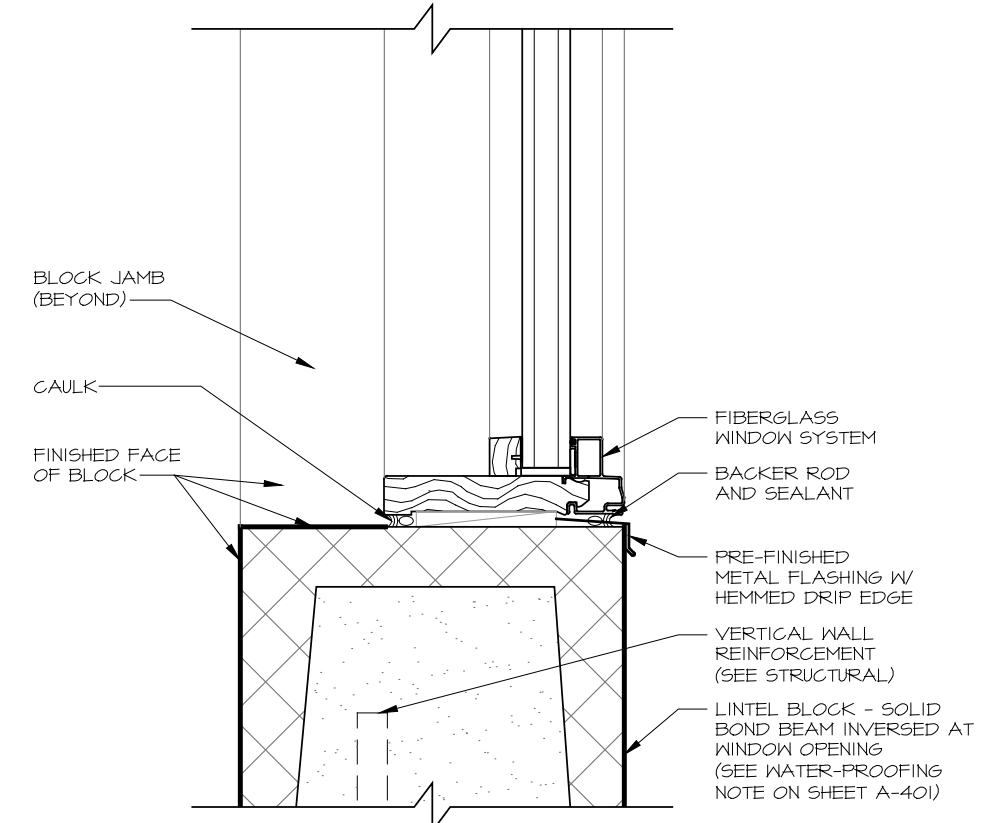
DOOR JAMB DETAIL 8
3" = 1'-0" A-403



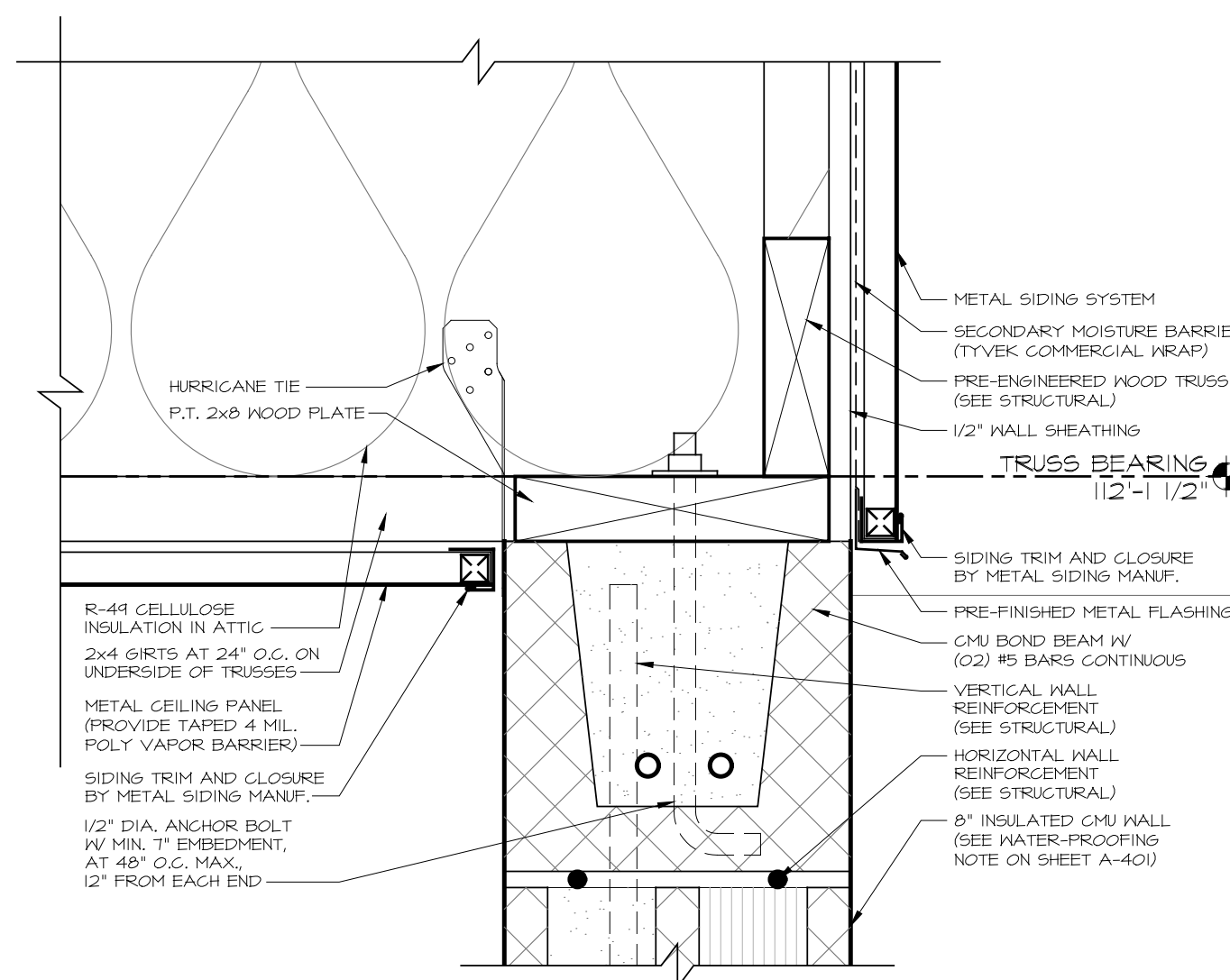
WINDOW JAMB DETAIL 5
3" = 1'-0" A-403



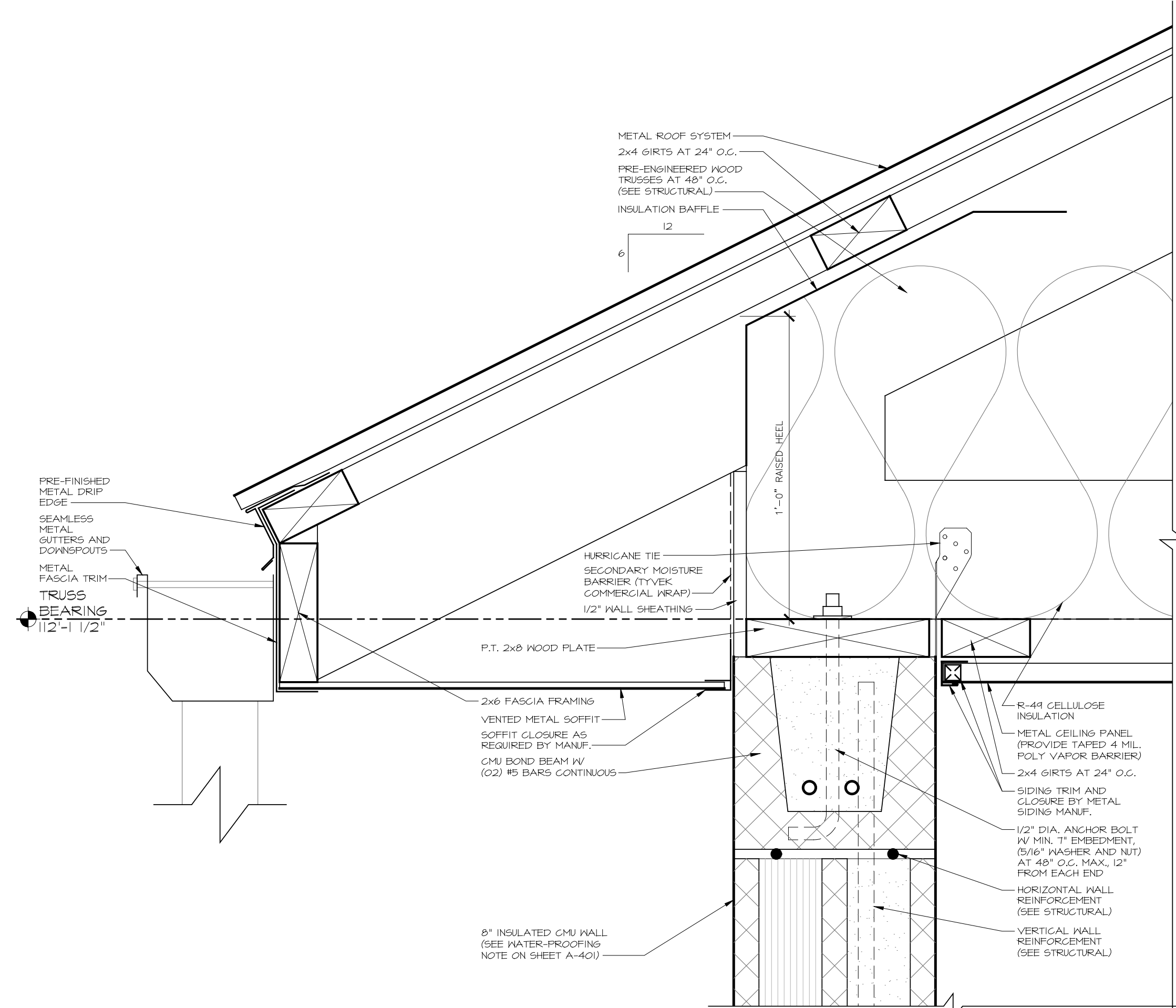
DOOR THRESHOLD DETAIL 7
3" = 1'-0" A-403



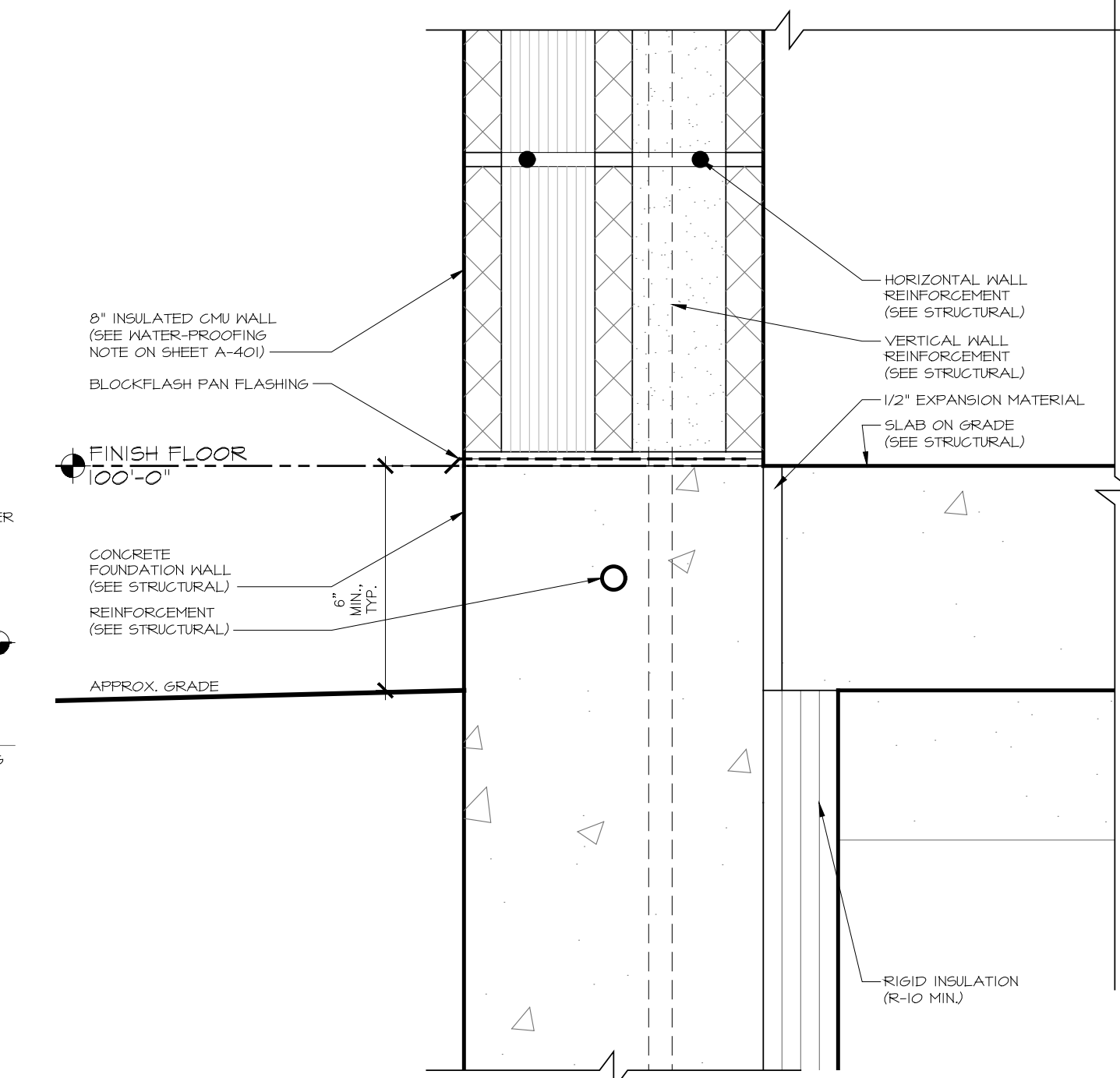
WINDOW SILL DETAIL 4
3" = 1'-0" A-403



TRANSITION DETAIL 3
3" = 1'-0" A-403



ROOF OVERHANG DETAIL 2
3" = 1'-0" A-403



SLAB EDGE DETAIL 1
3" = 1'-0" A-403

OWNER REVIEW
BIDDING AND PERMITS
ADDENDUM 01

04/25/24
05/01/24
09/20/24

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STUDIOintrigue
ARCHITECTS
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Project Type
NEW CONSTRUCTION

Project
DOYON CONTRACTOR SUITES
GRAND HAVEN, MI 49417

Client
KYLE DOYON
P.O. BOX 100276
CAPE CORAL, FL 33910

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Project Number
23.045

Sheet
A-403

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SITE LIGHT FIXTURE SCHEDULE				
MARK	MANUFACTURER	MODEL NUMBER	LAMPING	REMARKS
A	LITHONIA	MD6E1 LED P1 40K 80CRI VF	4000K LED (10W)	BUILDING MOUNTED HALLSPACE
B	LITHONIA	MD6E2 LED P4 40K 80CRI T4M	4000K LED (41W)	BUILDING MOUNTED HALLSPACE
C	LITHONIA	DSXN1 LED 20C 1000 40K T4M MVGLT	4000K LED (74W)	BUILDING MOUNTED HALLSPACE

PARKING AREA SITE LIGHTING DATA		
AVERAGE FC	MAXIMUM	MINIMUM
1.5 FC	9.0 FC	0.0 FC

OWNER REVIEW	
BIDDING AND PERMITS	
ADDENDUM 01	
04/25/24	
05/01/24	
09/20/24	

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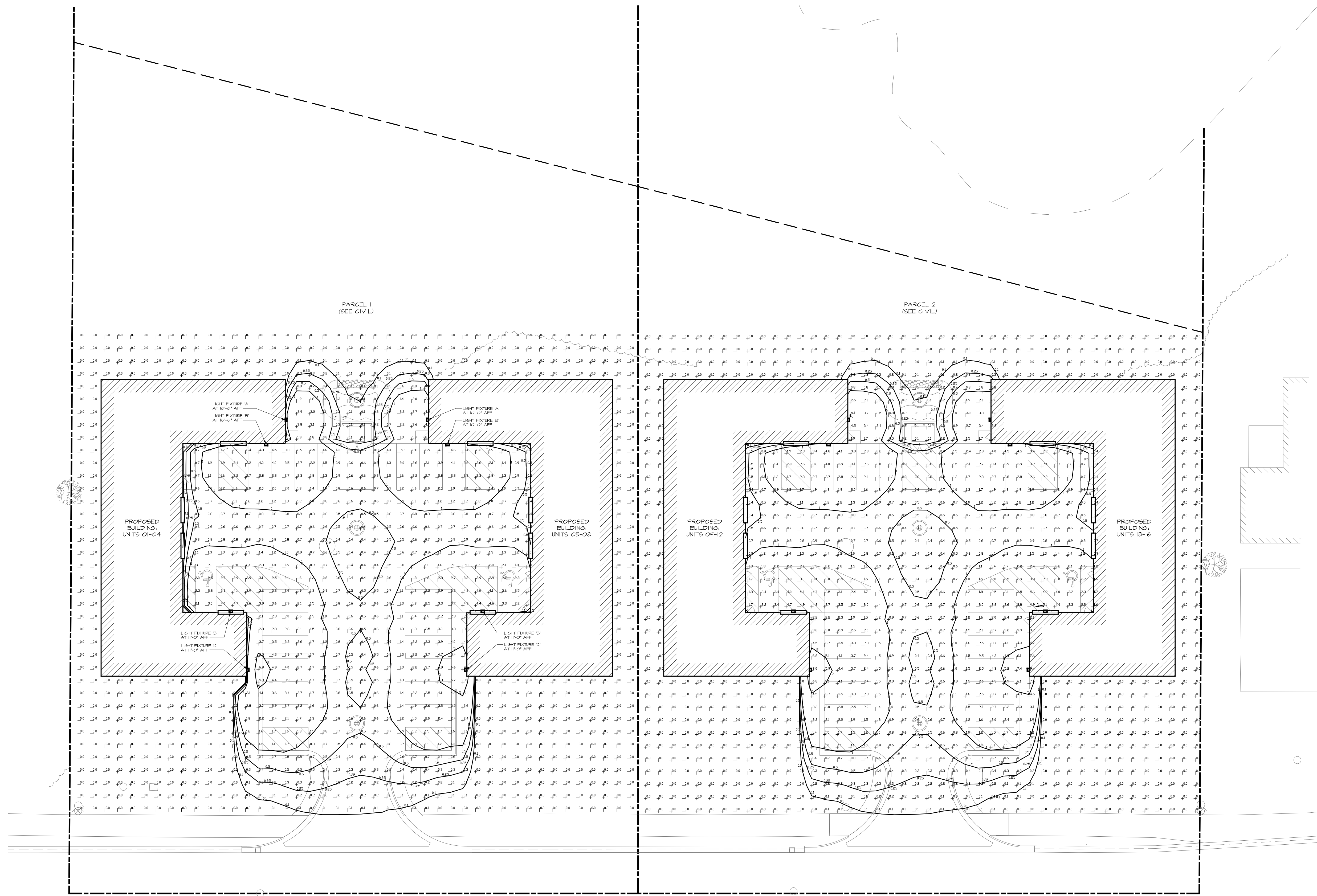
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23.045

Sheet
E-100



SITE PHOTOMETRIC PLAN
1"=20'-0"

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