

SUNRISE INDUSTRIAL VENTURE 1 WAREHOUSE

SUNRISE INDUSTRIAL PARK PARCEL 4

SUNRISE, FLORIDA

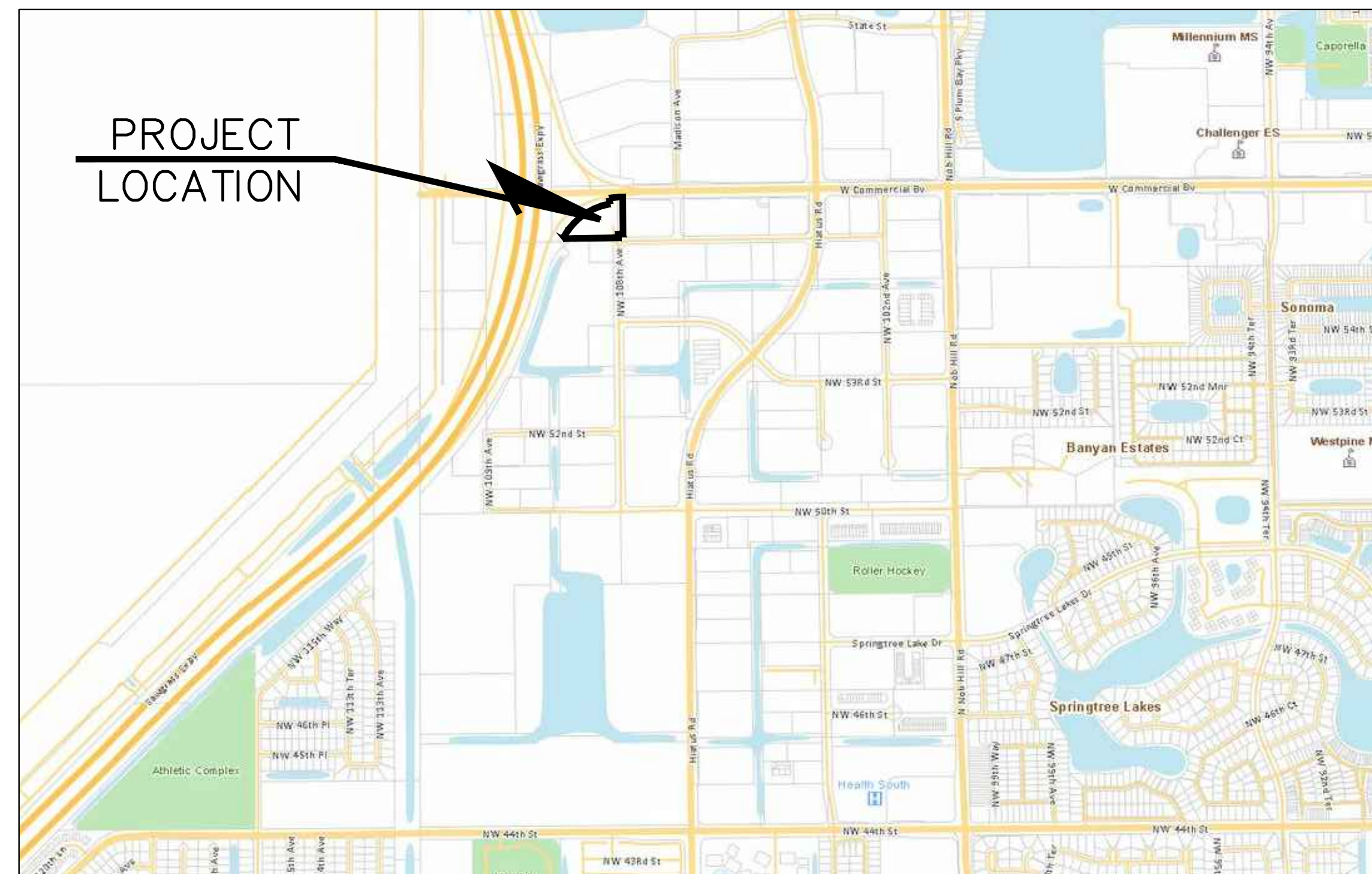
DEVELOPMENT SITE PLAN

INDEX OF SHEETS

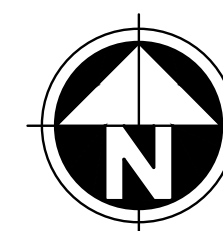
SHEET NO.	DESCRIPTION
COVER	COVER SHEET / LOCATION MAP
SP-1	SITE PLAN <i>(JOSEPH ROLES AND ASSOC, INC.)</i>
SP-2	SITE PLAN, MARKING & SIGNAGE DETAILS <i>(JOSEPH ROLES AND ASSOC, INC.)</i>
MS-1	PAVEMENT MARKING AND SIGNAGE PLAN <i>(JOSEPH ROLES AND ASSOC, INC.)</i>
1	SURVEY <i>(PHILLIPS SURVEYING & MAPPING)</i>
A-0 TO A-3	BUILDING FLOOR PLANS AND ELEVATIONS <i>(PASCUAL, PEREZ, KILIDDJIAN AND ASSOCIATES, ARCHITECT)</i>
T-1	TREE DISPOSITION PLAN (NOT INCLUDED THIS SUBMITTAL) <i>(MICHAEL J. PETROW AND ASSOCIATES, INC.)</i>
L-1 TO L-2	LANDSCAPE PLAN <i>(MICHAEL J. PETROW AND ASSOCIATES, INC.)</i>
IR-1	IRRIGATION PLAN (NOT INCLUDED THIS SUBMITTAL) <i>(MICHAEL J. PETROW AND ASSOCIATES, INC.)</i>
PH-1 TO PH-2	PHOTOMETRIC PLAN <i>(RC ENGINEERING, INC.)</i>
PS-1	PUBLIC SAFETY AND SECURITY PLAN <i>(JOSEPH ROLES AND ASSOC, INC.)</i>
FA-1	FIRE ACCESS AND F.H. COVERAGE PLAN <i>(JOSEPH ROLES AND ASSOC, INC.)</i>
AT-1	AUTOTURN - SUNRISE FIRE TRUCK <i>(JOSEPH ROLES AND ASSOC, INC.)</i>



PROJECT LOCATION



PROJECT LOCATION



LOCATION MAP
CITY OF SUNRISE, FLORIDA

SECTION 18, TOWNSHIP 49 S, RANGE 41 E

PROPERTY OWNER / DEVELOPER:
SUNRISE INDUSTRIAL PROJECT, LLC.

6073 N.W. 167th STREET, UNIT C-1
MIAMI, FL 33015

ARCHITECT:
PASCUAL, PEREZ, KILIDDJIAN AND ASSOCIATES
ARCHITECTS - PLANNERS

AT THE BEACON CENTER 1300 NW 84th AVENUE DORAL, FLORIDA 33126
TELEPHONE : (305) 592-1363
FACSIMILE : (305) 592-6865
http://www.ppkarch.com

SITE SURVEYOR:

PHILLIPS
SURVEYING & MAPPING

Certificate of Authorization LB8240

601 SW 14th Avenue
Boca Raton, Florida 33486

Tel: (561) 929-9607
www.psmsurvey.com

LANDSCAPE ARCHITECT

Michael J. Petrow
And Associates, Inc.
A.S.L.A.
P.O. Box 8601,
Coral Springs, FL 33075
Phone: (954) 752-7762
FL. Reg. #392

LIGHTING ENGINEER:

RC ENGINEERING, INC.
11050 WILES RD, STE. 105
CORAL SPRINGS, FLORIDA 33076
(954)757-7900

ENGINEERING/SITE PLANNING:



JOSEPH ROLES AND ASSOC., INC.
CONSULTING ENGINEERS

7501 N.W. 4th STREET, SUITE 101
PLANTATION, FLORIDA 33317
PHONE (954) 581-1945
CERTIFICATE OF AUTHORIZATION NO. 3948

LEGAL DESCRIPTION

PARCEL A, "SUNRISE INDUSTRIAL PARK PARCEL 4", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 124, PAGE 2, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

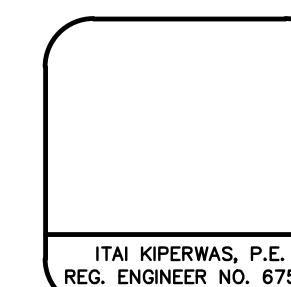
SAID LANDS SITUATE IN THE CITY OF SUNRISE, BROWARD COUNTY, FLORIDA, AND CONTAIN 2.492 ACRES, MORE OR LESS.

ALL HORIZONTAL AND VERTICAL CONTROL UTILIZES THE FOLLOWING:
HORIZONTAL DATUM - NAD83
VERTICAL DATUM - NAVD 1988

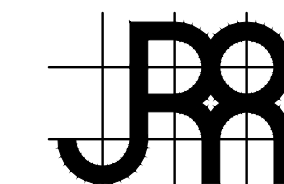
ATTENTION IS DIRECTED TO THE FACT THAT THESE PLANS MAY BE ALTERED IN SCALE BY REPRODUCTION AND MAY BE REDUCED IN SCALE. THIS MUST BE TAKEN INTO ACCOUNT WHEN OBTAINING SCALED DATA.

THIS SITE PLAN SET IS APPROVED PURSUANT TO SECTION 16-31 OF THE CITY OF SUNRISE LAND DEVELOPMENT CODE AND HAS NOT BEEN REVIEWED FOR COMPLIANCE WITH FLORIDA BUILDING CODE. ANY CHANGE TO DETAILS SHOWN, TO SATISFY THE REQUIREMENTS OF FLORIDA BUILDING CODE, SHALL REQUIRE REVIEW FOR CONSISTENCY AND COMPLIANCE WITH THE CITY OF SUNRISE LAND DEVELOPMENT CODE

FLOOD DATA:
ZONE AH AND AE
FEMA BASE FLOOD ELEVATION 9.0
FEMA MAP NUMBER 12011C0345H
EFFECTIVE DATE AUGUST 18, 2014



ITA KBERWAS, P.E.
REG. ENGINEER NO. 67501



JOSEPH ROLES AND ASSOC., INC.
CONSULTING ENGINEERS
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121-563-01

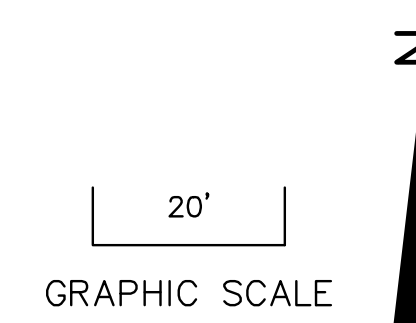
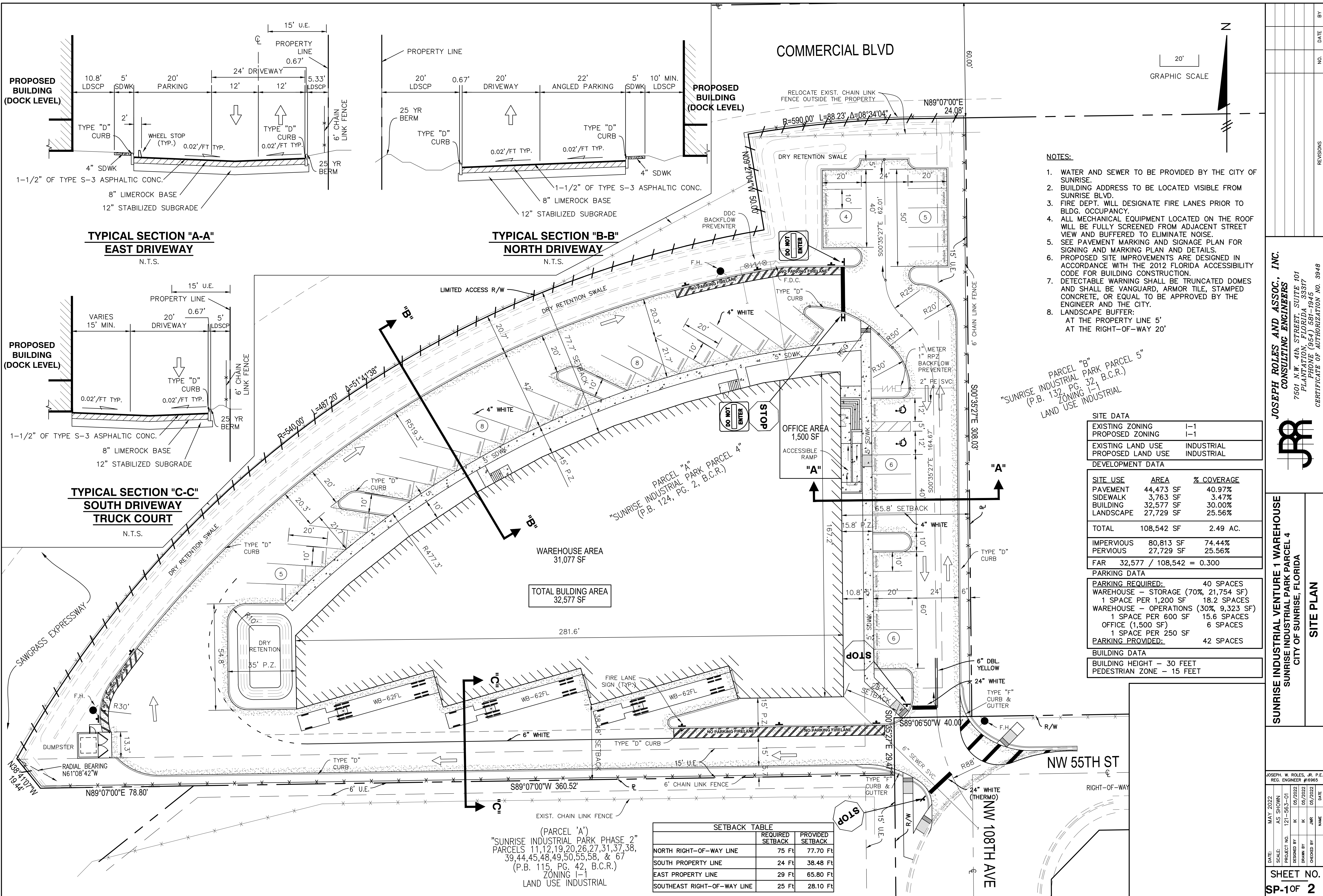
LEAVE BLANK - FOR CITY USE ONLY

CALL 48 HOURS BEFORE YOU DIG



IT'S THE LAW!
DIAL 811
Know what's below.
Call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.



- NOTES:**
1. WATER AND SEWER TO BE PROVIDED BY THE CITY OF SUNRISE.
 2. BUILDING ADDRESS TO BE LOCATED VISIBLE FROM SUNRISE BLVD.
 3. FIRE DEPT. WILL DESIGNATE FIRE LANES PRIOR TO BLDG. OCCUPANCY.
 4. ALL MECHANICAL EQUIPMENT LOCATED ON THE ROOF WILL BE FULLY SCREENED FROM ADJACENT STREET VIEW AND BUFFERED TO ELIMINATE NOISE.
 5. SEE PAVEMENT MARKING AND SIGNAGE PLAN FOR SIGNING AND MARKING PLAN AND DETAILS.
 6. PROPOSED SITE IMPROVEMENTS ARE DESIGNED IN ACCORDANCE WITH THE 2012 FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION.
 7. DETECTABLE WARNING SHALL BE TRUNCATED DOMES AND SHALL BE VANGUARD, ARMOR TILE, STAMPED CONCRETE, OR EQUAL TO BE APPROVED BY THE ENGINEER AND THE CITY.
 8. LANDSCAPE BUFFER:
AT THE PROPERTY LINE 5'
AT THE RIGHT-OF-WAY 20'

SITE DATA

EXISTING ZONING	I-1
PROPOSED ZONING	I-1
EXISTING LAND USE	INDUSTRIAL
PROPOSED LAND USE	INDUSTRIAL

DEVELOPMENT DATA

SITE USE	AREA	% COVERAGE
PAVEMENT	44,473 SF	40.97%
SIDEWALK	3,763 SF	3.47%
BUILDING	32,577 SF	30.00%
LANDSCAPE	27,729 SF	25.56%
TOTAL	108,542 SF	2.49 AC.

IMPERVIOUS PERVIOUS

IMPERVIOUS	80,813 SF	74.44%
PERVIOUS	27,729 SF	25.56%

FAR 32,577 / 108,542 = 0.300

PARKING DATA

PARKING REQUIRED:	40 SPACES
WAREHOUSE - STORAGE (70%, 21,754 SF)	1 SPACE PER 1,200 SF = 18.2 SPACES
WAREHOUSE - OPERATIONS (30%, 9,323 SF)	1 SPACE PER 600 SF = 15.6 SPACES
OFFICE (1,500 SF)	6 SPACES
1 SPACE PER 250 SF	
PARKING PROVIDED:	42 SPACES

BUILDING DATA

BUILDING HEIGHT -	30 FEET
PEDESTRIAN ZONE -	15 FEET

SETBACK TABLE

	REQUIRED SETBACK	PROVIDED SETBACK
NORTH RIGHT-OF-WAY LINE	75 Ft	77.70 Ft
SOUTH PROPERTY LINE	24 Ft	38.48 Ft
EAST PROPERTY LINE	29 Ft	65.80 Ft
SOUTHEAST RIGHT-OF-WAY LINE	25 Ft	28.10 Ft

(PARCEL 'A')
 "SUNRISE INDUSTRIAL PARK PHASE 2"
 PARCELS 11,12,19,20,26,27,31,37,38,
 39,44,45,48,49,50,55,58, & 67
 (P.B. 115, PG. 42, B.C.R.)
 ZONING I-1
 LAND USE INDUSTRIAL

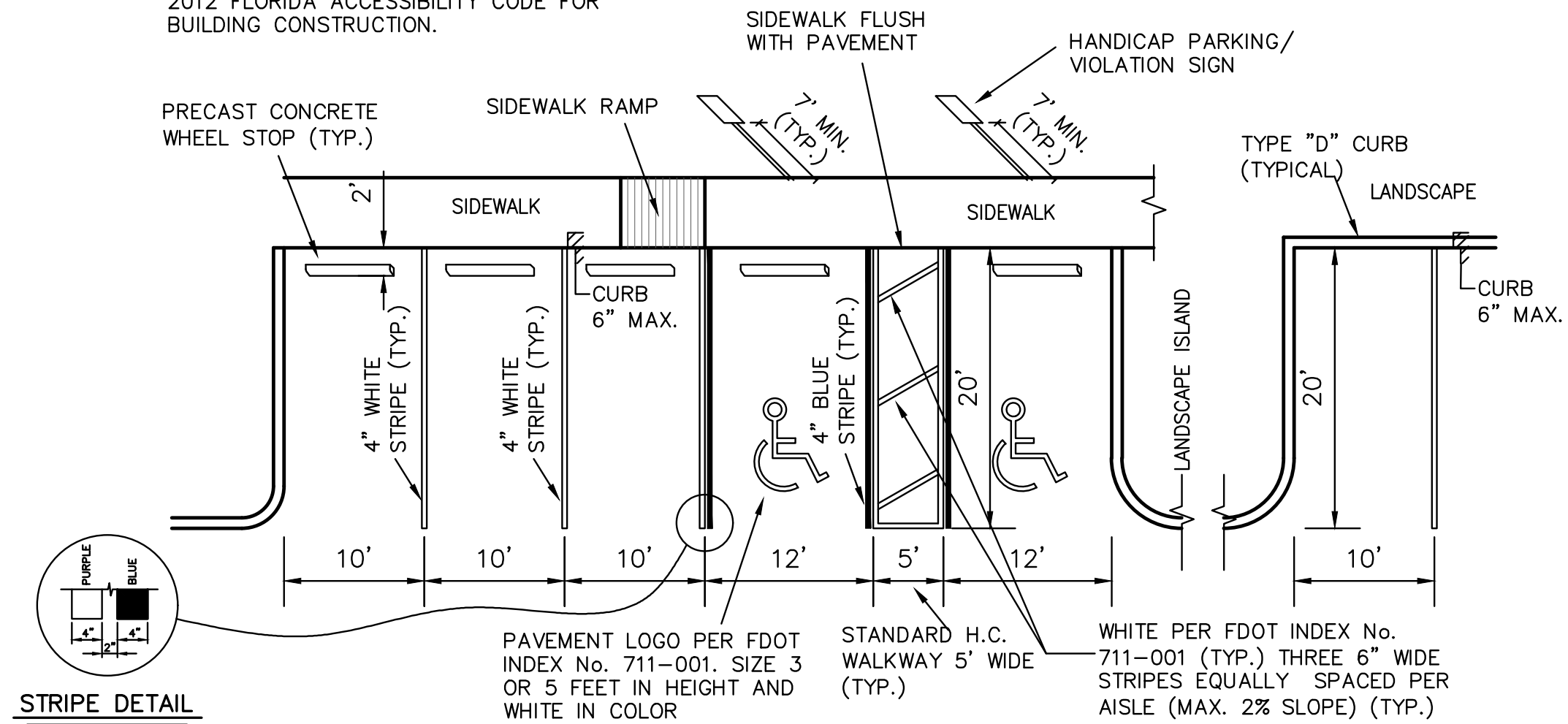
JOSEPH ROLES AND ASSOC., INC.
 CONSULTING ENGINEERS
 7501 N.W. 4th STREET, SUITE 101
 PLANTATION, FLORIDA 33317
 PHONE (954) 581-1945
 CERTIFICATE OF AUTHORIZATION NO. 3948

SUNRISE INDUSTRIAL VENTURE 1 WAREHOUSE
 SUNRISE INDUSTRIAL PARK PARCEL 4
 CITY OF SUNRISE, FLORIDA
SITE PLAN

DATE:	MAY 2022	DESIGNED BY:	JK	CHECKED BY:	JWR
SCALE:	AS SHOWN	DRAWN BY:	JK	DATE:	05/2022
PROJECT NO.:	121-963-01	DATE:	05/2022	DATE:	05/2022

SHEET NO. **SP-10F 2**

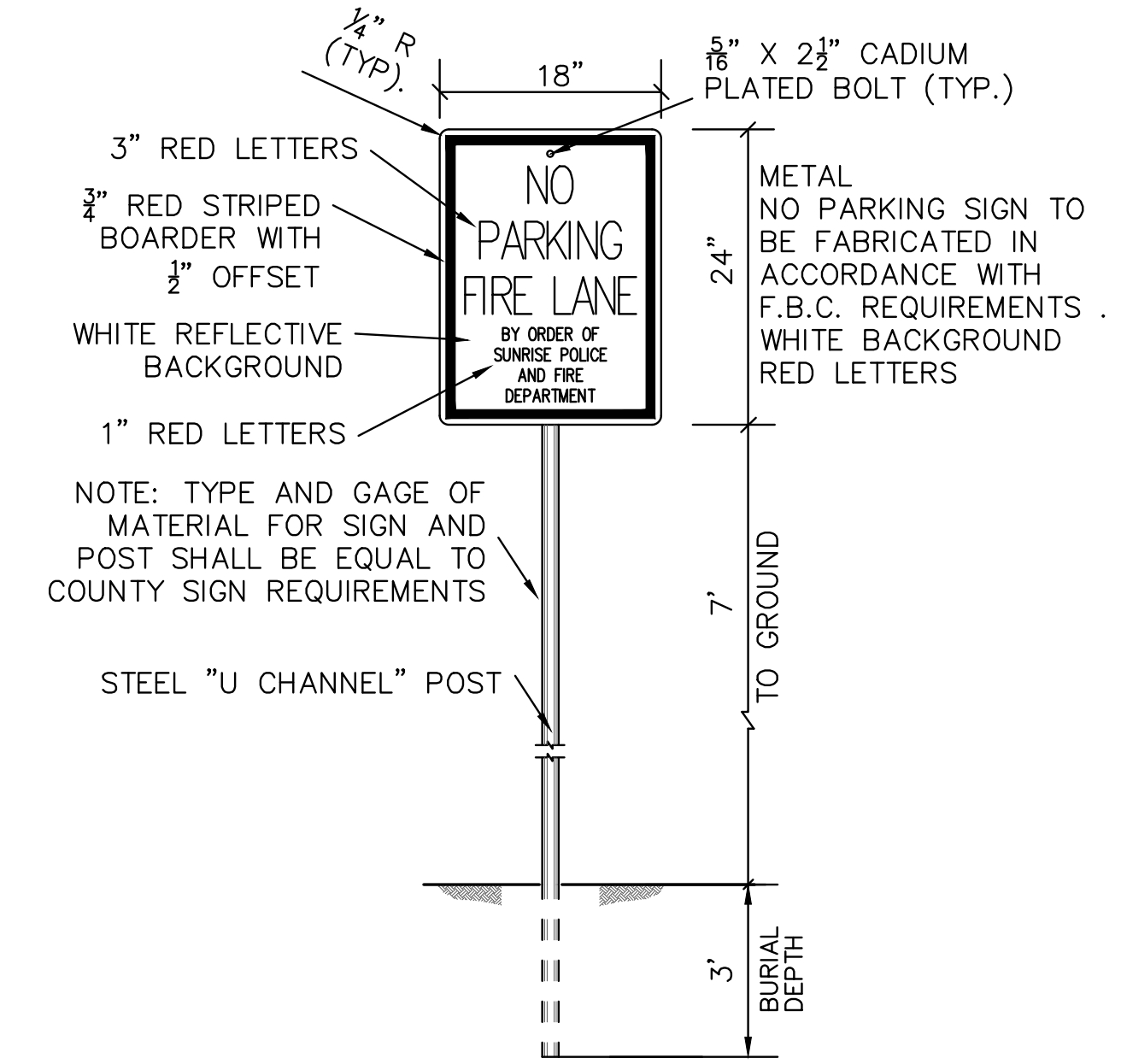
NOTE:
1. HANDICAP SIGNS TO COMPLY WITH THE 2012 FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION.



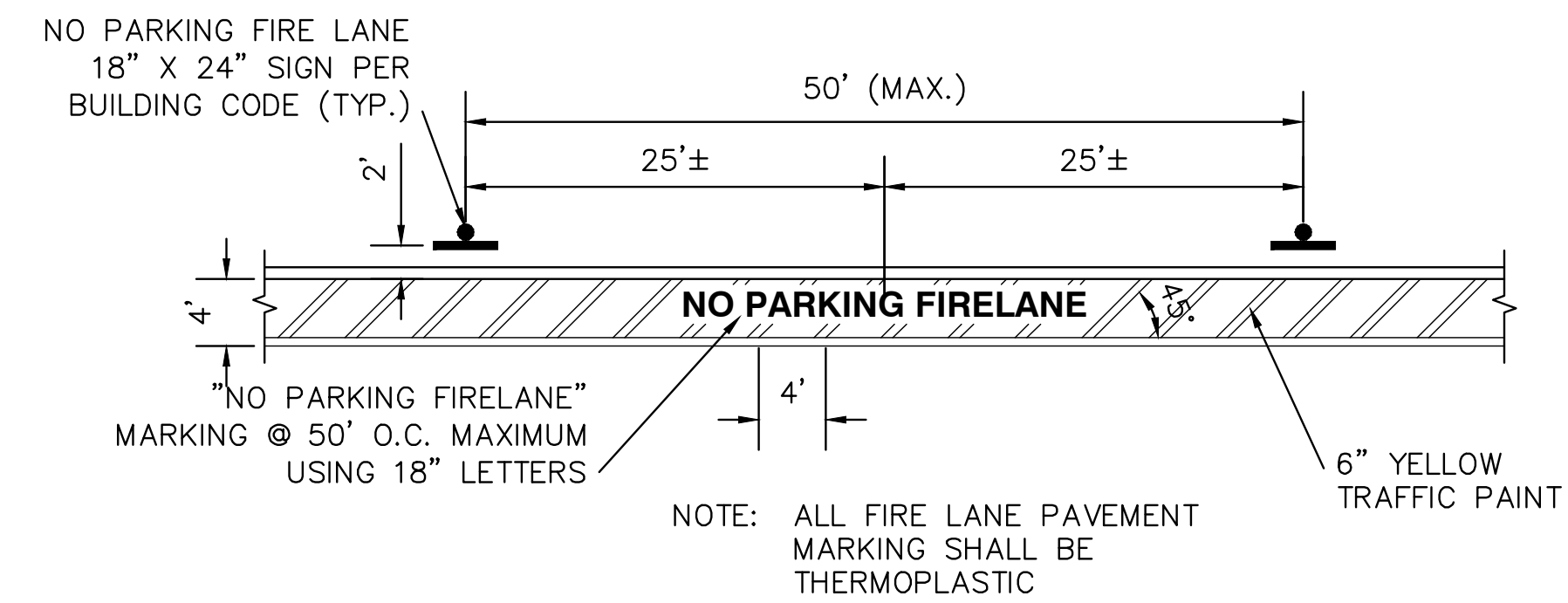
PAVEMENT MARKING AND SIGNING DETAIL FOR STANDARD AND HANDICAP PARKING DETAIL
ACCESSIBLE PARKING SPACES COMPLYING WITH FLORIDA AND ADA REQUIREMENTS
N.T.S.



HANDICAP PARKING/VIOLATION SIGN DETAIL
F.D.O.T. INDEX NO. 700-102
N.T.S.



FIRE LANE SIGN DETAIL
N.T.S.



FIRE LANE STRIPING DETAIL
N.T.S.

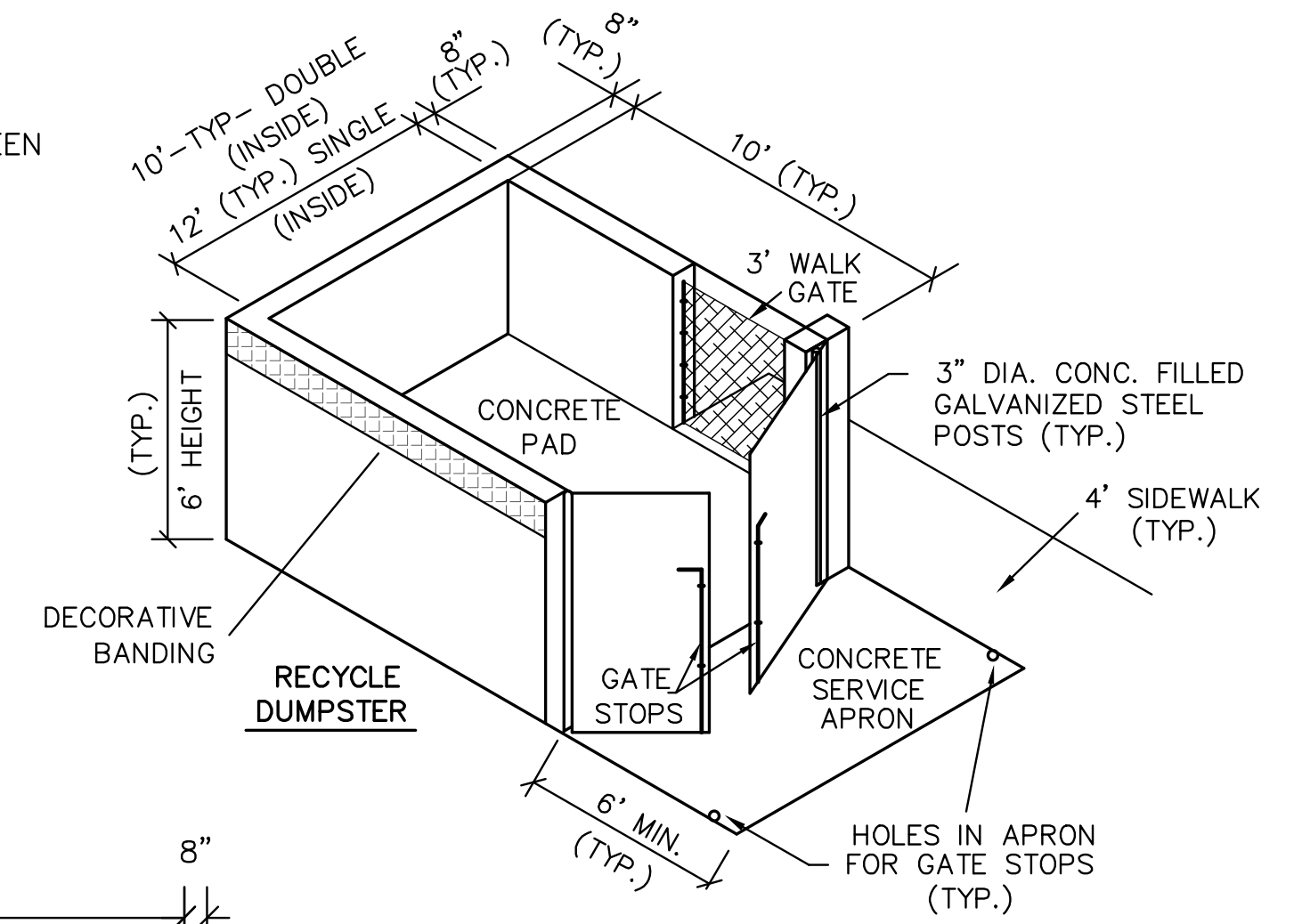
ENCLOSURE WALLS

8" STUCCOED CMU.
WALL COLOR - SHERWIN WILLIAMS SW 6833 - WHITE LILAC
BANDING COLOR - SHERWIN WILLIAMS SW 7071 - GRAY SCREEN

GATE CONSTRUCTION

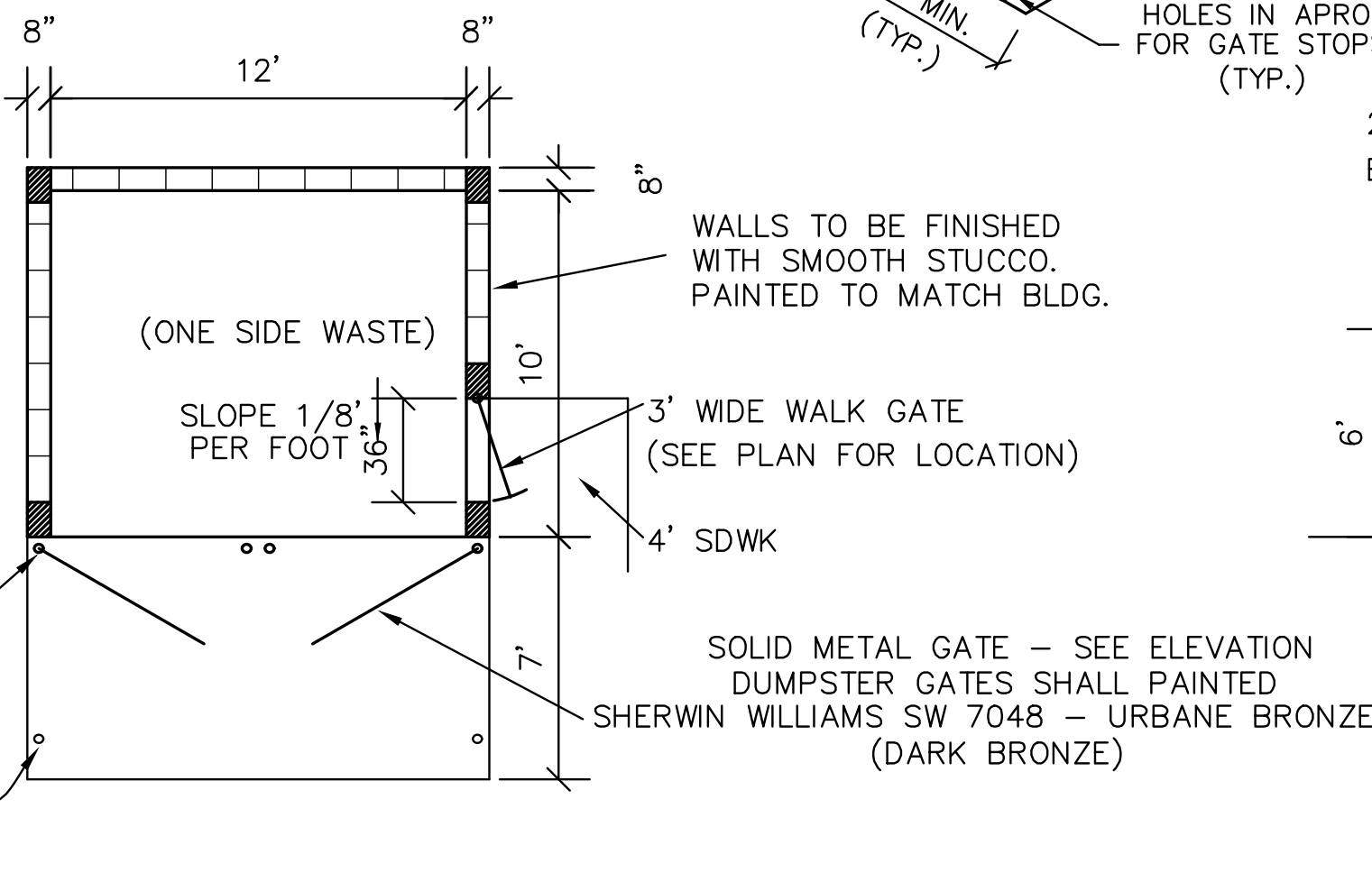
SOLID METAL GATE WITH METAL FRAME AND BACKING, PAINT TO MATCH WALLS/BUILDING. PROVIDE GATE STOPS TO SECURE GATES WHEN IN OPEN POSITION.

COLOR - SHERWIN WILLIAMS SW 7071 - GRAY SCREEN

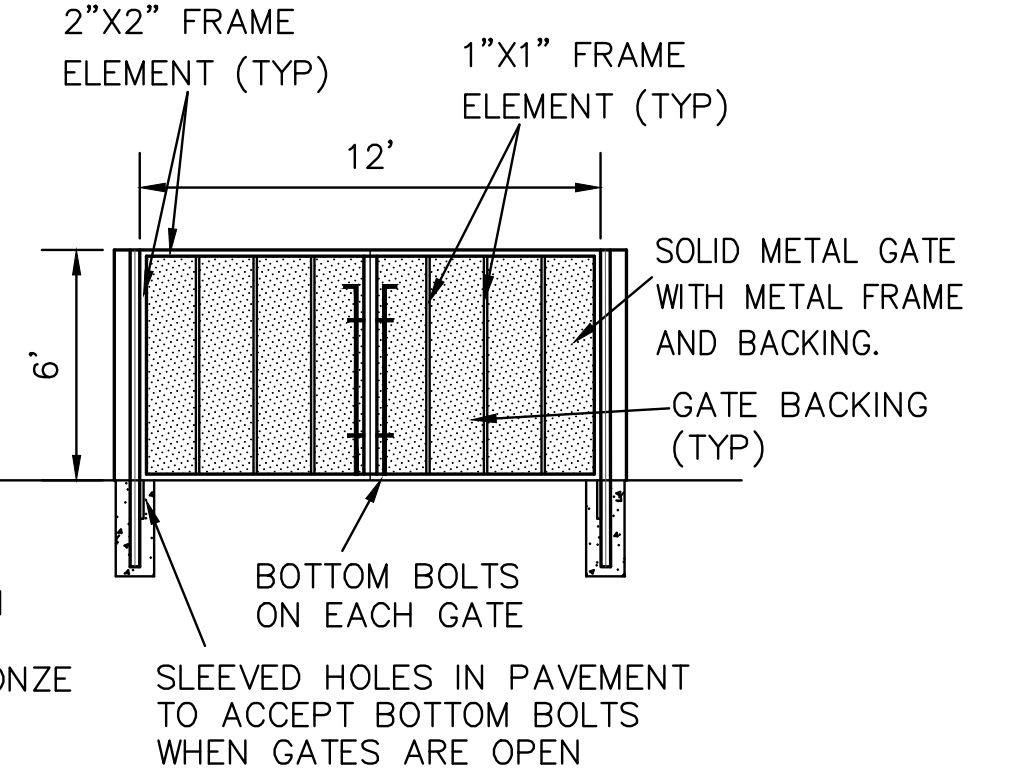


DUMPSTER GATES:
(1) 6' HIGH, 12' WIDE SINGLE. SOLID METAL GATE WITH METAL FRAME AND BACKING.

METAL GATE AND FRAME TO BE:
SHERWIN-WILLIAMS #7071 GRAY SCREEN (SEE ARCHITECT PLANS)

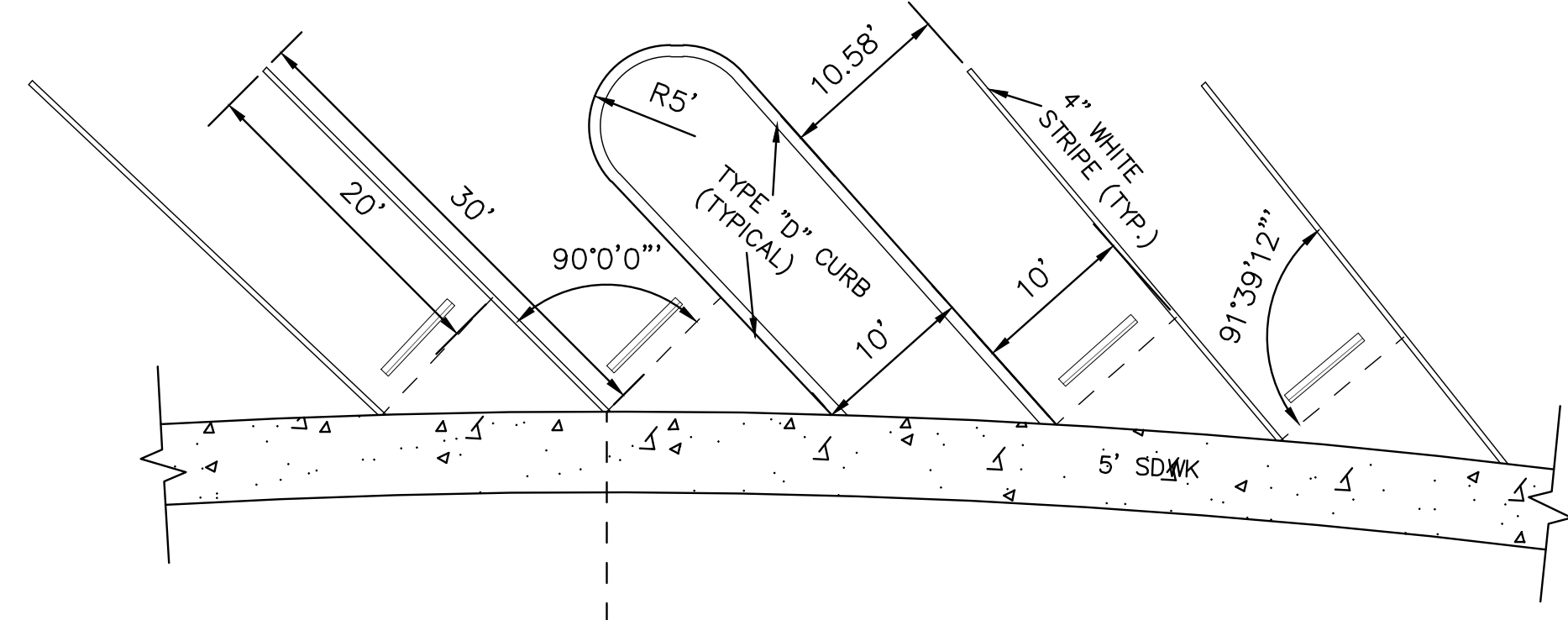


PLAN VIEW



ELEVATION

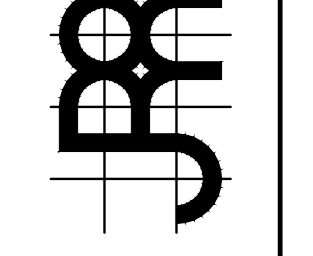
GENERAL DUMPSTER DETAILS
N.T.S.



ANGLED PARKING DETAIL
45° ANGLE AT CURVED ROADWAY
N.T.S.

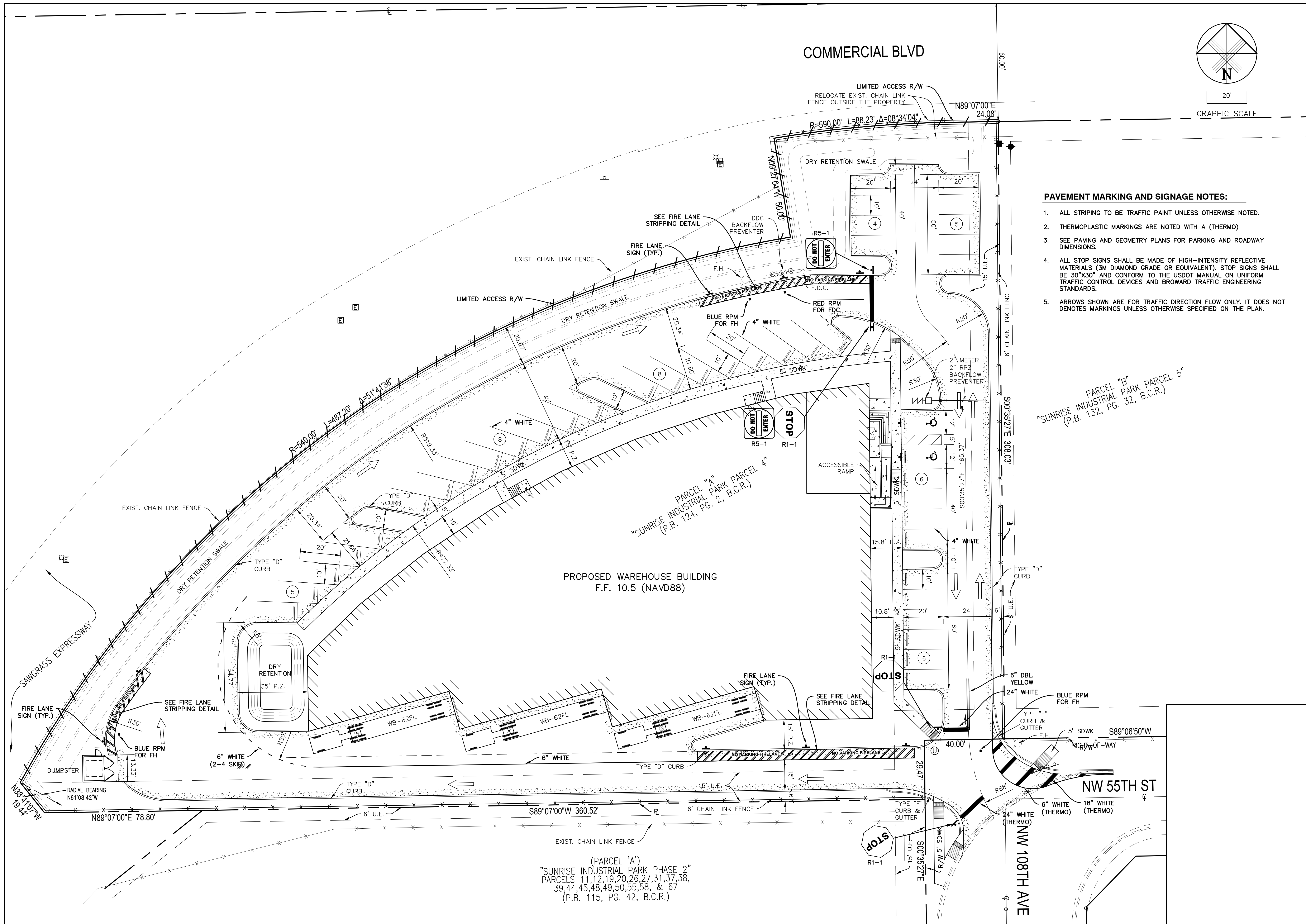
NO.	REVISIONS	DATE

JOSEPH ROLES AND ASSOC., INC.
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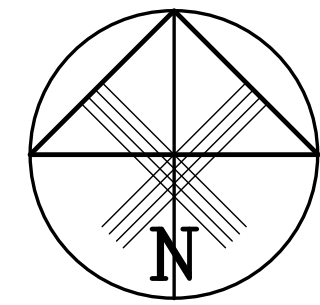


SUNRISE INDUSTRIAL VENTURE 1 WAREHOUSE
SUNRISE INDUSTRIAL PARK PARCEL 4
CITY OF SUNRISE, FLORIDA
SITE PLAN, MARKING & SIGNAGE DETAILS

DATE:	MAY 2022	REG. ENGINEER #16965
SCALE:	AS SHOWN	
PROJECT NO.:	121-963-01	
DESIGNED BY:	IK	05/2022
DRAWN BY:	IK	05/2022
CHECKED BY:	JWR	05/2022



COMMERCIAL BLVD



20'
GRAPHIC SCALE

PAVEMENT MARKING AND SIGNAGE NOTES:

1. ALL STRIPING TO BE TRAFFIC PAINT UNLESS OTHERWISE NOTED.
2. THERMOPLASTIC MARKINGS ARE NOTED WITH A (THERMO)
3. SEE PAVING AND GEOMETRY PLANS FOR PARKING AND ROADWAY DIMENSIONS.
4. ALL STOP SIGNS SHALL BE MADE OF HIGH-INTENSITY REFLECTIVE MATERIALS (3M DIAMOND GRADE OR EQUIVALENT). STOP SIGNS SHALL BE 30"X30" AND CONFORM TO THE USDOT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND BROWARD TRAFFIC ENGINEERING STANDARDS.
5. ARROWS SHOWN ARE FOR TRAFFIC DIRECTION FLOW ONLY. IT DOES NOT DENOTES MARKINGS UNLESS OTHERWISE SPECIFIED ON THE PLAN.

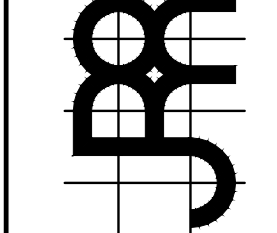
PARCEL "B"
"SUNRISE INDUSTRIAL PARK PARCEL 5"
(P.B. 132, PG. 32, B.C.R.)

PARCEL "A"
"SUNRISE INDUSTRIAL PARK PARCEL 4"
(P.B. 124, PG. 2, B.C.R.)

PROPOSED WAREHOUSE BUILDING
F.F. 10.5 (NAVD88)

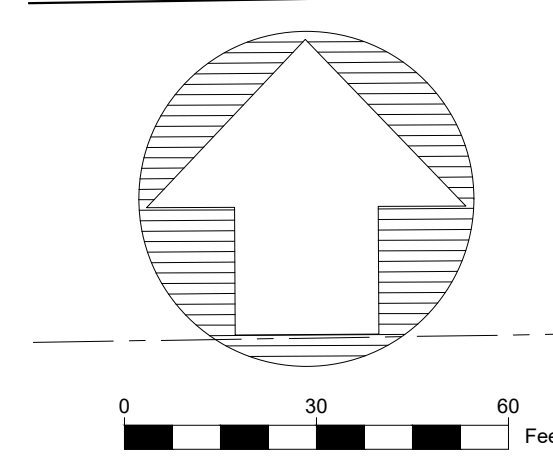
(PARCEL 'A')
"SUNRISE INDUSTRIAL PARK PHASE 2"
PARCELS 11,12,19,20,26,27,31,37,38,
39,44,45,48,49,50,55,58, & 67
(P.B. 115, PG. 42, B.C.R.)

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SUNRISE INDUSTRIAL VENTURE 1 WAREHOUSE
SUNRISE INDUSTRIAL PARK PARCEL 4
CITY OF SUNRISE, FLORIDA
PAVEMENT MARKING AND SIGNAGE PLAN

DATE:	MAY 2022	REG. ENGINEER:	#67501
SCALE:	AS SHOWN	DESIGNED BY:	IK
PROJECT NO.:	121-263-01	DRAWN BY:	IK
	05/2022	CHECKED BY:	JWR
	05/2022	DATE:	



LEGAL DESCRIPTION

PARCEL A, "SUNRISE INDUSTRIAL PARK PARCEL 4", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 124, PAGE 2, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS SITUATE IN THE CITY OF SUNRISE, BROWARD COUNTY, FLORIDA, AND CONTAIN 2.492 ACRES, MORE OR LESS.

NOTES

- THIS DRAWING IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- NO SEARCH OF THE PUBLIC RECORDS WAS PERFORMED OR REFERENCED IN THE PREPARATION OF THIS SURVEY.
- ALL EASEMENTS SHOWN HEREON ARE PER THE RECORD PLAT(S) UNLESS OTHERWISE INDICATED. THERE HAVE BEEN NO UNDERGROUND IMPROVEMENTS LOCATED IN CONNECTION WITH THIS SURVEY, EXCEPT AS SHOWN.
- BEARINGS SHOWN HEREON ARE BASED ON THE RECORD PLAT.
- ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AND WERE DETERMINED FROM REDUNDANT GPS OBSERVATIONS TIED TO THE FDOT FPRN.
- PROPERTY ADDRESS: NW 108 AVE, SUNRISE FL, 33351
- FLOOD INFORMATION IS AS FOLLOWS:
 PANEL NUMBER : 120328
 COMMUNITY NUMBER : 12011C0345H
 DATE OF FIRM INDEX : 08-18-2014
 ZONE : AE, AH
 BASE FLOOD ELEVATION : 9.0' FOR AE & AH

ABBREVIATIONS

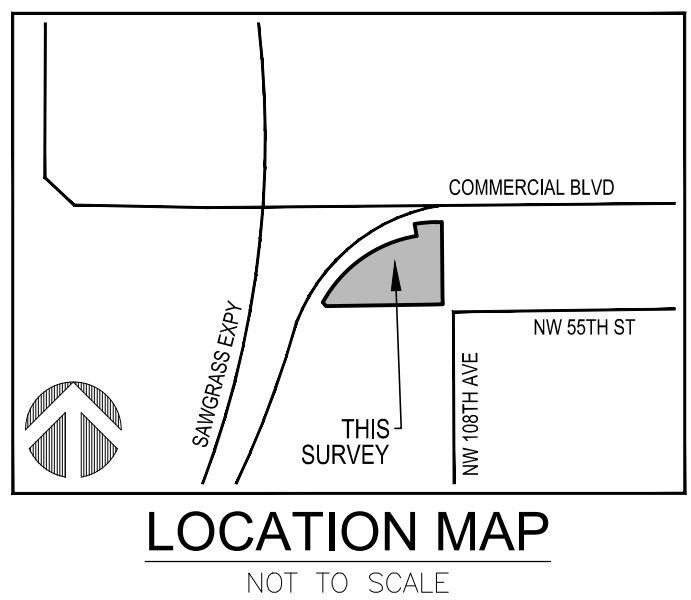
- AC = AIR CONDITIONER
- B.C.R. = BROWARD COUNTY RECORDS
- C.B.S. = CONCRETE BLOCK & STUCCO
- CLF = CHAIN LINK FENCE
- CONC. = CONCRETE
- Δ = DELTA (CENTRAL ANGLE)
- D.E. = DRAINAGE EASEMENT
- ELEV. = ELEVATION
- F.F. = FINISHED FLOOR
- FND. = FOUND
- GAR. = GARAGE
- IR = IRON ROD
- IRC = IRON ROD & CAP
- L = ARC LENGTH
- L.M.E. = LAKE MAINTENANCE EASEMENT
- MON. = MONUMENT
- N/D = NAIL AND DISC
- P.B. = PLAT BOOK
- PG. = PAGE
- PROP. = PROPOSED
- R = RADIUS
- R/W = RIGHT-OF-WAY
- TYP. = TYPICAL
- U.E. = UTILITY EASEMENT

TREE LIST

166	10	UNKNOWN	270	4"	UNKNOWN	391	8"	MEL	447	12"	UNKNOWN	493	4"	MEL
168	10"	UNKNOWN	272	4"	UNKNOWN	392	8"	MEL	448	8"	PINE	494	4"	MEL
170	8"	UNKNOWN	274	6"	UNKNOWN	393	12	PINE	449	8"	MEL	495	8"	MEL
172	8"	UNKNOWN	276	8"	UNKNOWN	394	12	PINE	450	8"	MEL	496	10"	MEL
174	6"	UNKNOWN	278	4"	UNKNOWN	395	12	PINE	453	8"	MEL	497	10"	MEL
176	6"	UNKNOWN	280	6"	UNKNOWN	396	12	PINE	454	8"	MEL	498	6"	MEL
178	16"	PINE	282	6"	UNKNOWN	397	12	PINE	455	4"	PINE	499	8"	MEL
180	14"	UNKNOWN	284	4"	UNKNOWN	398	6"	PINE	456	4"	PINE	500	4"	MEL
182	10"	UNKNOWN	286	6"	UNKNOWN	399	6"	PINE	457	10"	PINE	501	4"	MEL
184	4"	UNKNOWN	288	12"	MEL	400	6"	PINE	458	10"	PINE	502	8"	MEL
186	4"	UNKNOWN	290	12"	MEL	401	6"	PINE	459	10"	PINE	503	14"	PALM
188	6"	UNKNOWN	292	12"	UNKNOWN	402	6"	PINE	460	6"	PINE	504	8"	PALM
190	6"	UNKNOWN	294	8"	PINE	403	18"	PINE	461	12"	PINE	506	20"	PINE
192	4"	UNKNOWN	296	14"	PINE	404	10"	PINE	462	12"	PINE	508	8"	MEL
194	6"	UNKNOWN	343	6"	UNKNOWN	405	10"	PINE	463	8"	UNKNOWN	510	6"	UNKNOWN
196	8"	UNKNOWN	344	6"	UNKNOWN	406	10"	PINE	464	6"	MEL	512	20"	PINE
198	10"	UNKNOWN	345	8"	UNKNOWN	407	10"	PINE	465	6"	MEL	514	6"	MEL
200	12"	PINE	346	8"	UNKNOWN	408	10"	PINE	466	6"	MEL	516	11"	MEL
202	4"	UNKNOWN	347	8"	UNKNOWN	409	10"	PINE	467	6"	MEL	518	10"	MEL
204	4"	UNKNOWN	351	6"	UNKNOWN	410	10"	PINE	468	6"	MEL	520	10"	MEL
206	4"	UNKNOWN	352	24"	PINE	412	10"	PINE	469	6"	MEL	522	8"	MEL
208	8"	UNKNOWN	353	4"	PINE	414	10"	PINE	470	6"	MEL	524	12"	MEL
210	6"	UNKNOWN	354	4"	PINE	416	10"	PINE	471	6"	MEL	525	6"	UNKNOWN
212	6"	UNKNOWN	355	6"	UNKNOWN	420	4"	PINE	472	6"	MEL	526	6"	UNKNOWN
214	4"	UNKNOWN	356	6"	UNKNOWN	421	48"	PINE	473	12"	PINE	527	6"	UNKNOWN
216	6"	UNKNOWN	357	6"	UNKNOWN	422	12"	PINE	474	12"	PINE	528	6"	UNKNOWN
218	6"	UNKNOWN	358	6"	PINE	423	12"	PINE	475	6"	PINE	529	6"	UNKNOWN
220	16"	UNKNOWN	359	6"	UNKNOWN	425	16"	UNKNOWN	476	10"	PINE	530	6"	UNKNOWN
235	4"	UNKNOWN	360	6"	UNKNOWN	427	16"	UNKNOWN	477	6"	PINE	531	6"	UNKNOWN
237	4"	UNKNOWN	361	6"	UNKNOWN	431	4"	PINE	478	14"	PINE	532	6"	UNKNOWN
238	6"	UNKNOWN	363	10"	UNKNOWN	432	4"	PINE	480	18"	UNKNOWN	545	12"	UNKNOWN
239	6"	UNKNOWN	365	14"	UNKNOWN	433	4"	PINE	481	8"	PINE	547	8"	MEL
241	4"	UNKNOWN	367	6"	UNKNOWN	434	8"	PINE	482	10"	PINE	560	16"	PALM
243	6"	PINE	369	12"	UNKNOWN	435	8"	PINE	483	10"	PINE	576	5"	MEL
245	14"	UNKNOWN	374	6"	UNKNOWN	436	4"	UNKNOWN	484	10"	PINE	578	5"	MEL
247	14"	UNKNOWN	376	8"	MEL	437	24"	CABBAGE PALM	485	12"	UNKNOWN	580	5"	MEL
249	14"	UNKNOWN	378	12"	MEL	438	24"	CABBAGE PALM	486	16"	UNKNOWN	582	5"	MEL
251	4"	UNKNOWN	380	12"	MEL	439	6"	PINE	487	6"	UNKNOWN	584	5"	MEL
253	10"	UNKNOWN	382	12"	MEL	440	6"	PINE	488	6"	PINE	586	5"	MEL
255	4"	UNKNOWN	386	8"	POINT	441	6"	UNKNOWN	489	6"	PINE	588	5"	MEL
257	4"	UNKNOWN	388	8"	UNKNOWN	442	4"	PINE	490	10"	PINE	590	5"	MEL
259	4"	PINE	389	12"	PINE	443	10"	PINE	491	4"	UNKNOWN	592	5"	MEL
268	10"	UNKNOWN	390	6"	UNKNOWN	444	6"	PINE	492	4"	MEL			

LEGEND

- ☐ WATER SERVICE
- ☐ ELECTRIC SERVICE
- ☐ TELEPHONE BOX
- ☐ CABLE TV BOX
- ⊙ DRAINAGE MANHOLE
- ⊙ SANITARY MANHOLE
- ⊙ WATER VALVE
- ⊙ SIGN
- ⊙ FIRE HYDRANT
- ⊙ CATCH BASIN
- ⊙ LIGHT POLE
- ⊙ WOOD UTILITY POLE
- ⊙ CONCRETE UTILITY POLE
- ⊙ CLEAN OUT
- ⊙ CENTERLINE
- ⊙ EXISTING ELEVATION



SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON COMPLIES WITH STANDARDS OF PRACTICE AS CONTAINED IN CHAPTER 5J-17.051, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THAT SAID SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS PREPARED UNDER MY DIRECTION.

TODD M. PHILLIPS
 SURVEYOR AND MAPPER
 FLORIDA LICENSE NO. LS7077

DATE OF LAST FIELD WORK: AUGUST 19, 2021

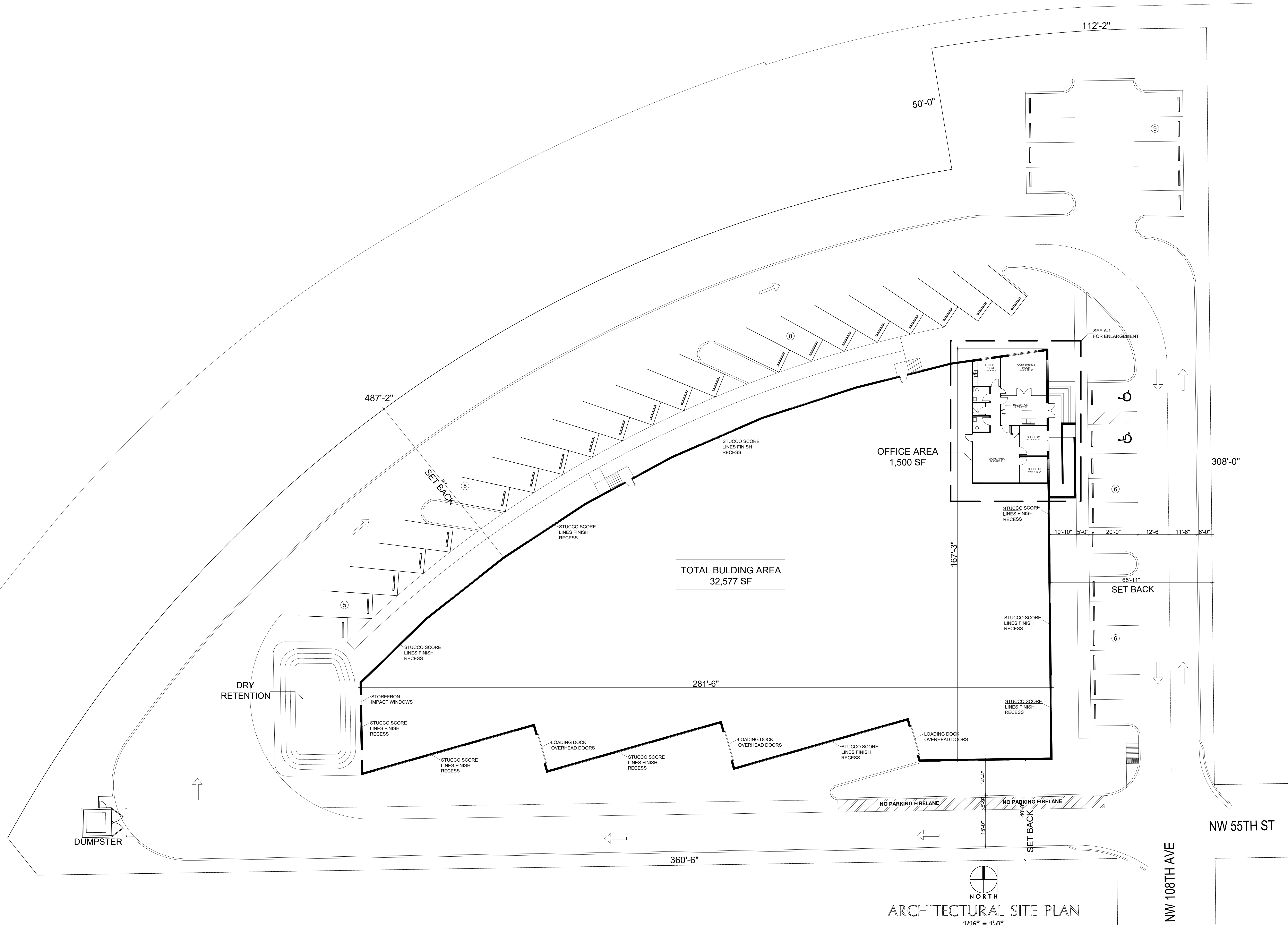
PHILLIPS
 SURVEYING & MAPPING
 Certificate of Authorization LB8240
 601 SW 14th Avenue
 Boca Raton, Florida 33486
 Tel: (561) 929-9607
 www.psmsurvey.com

**BOUNDARY, TOPOGRAPHIC & TREE SURVEY
 PARCEL A - SUNRISE INDUSTRIAL VENTURE 1 WAREHOUSE**

NO.	DATE	BY	CK'D	REVISION
1	08/19/2021	AJR	TMP	BOUNDARY, TOPOGRAPHIC & TREE SURVEY

JOB NO.	21-250
SCALE	1" = 30'
DRAWN	AJR
CHECKED	TMP
SEAL	
SHEET	1 OF 1

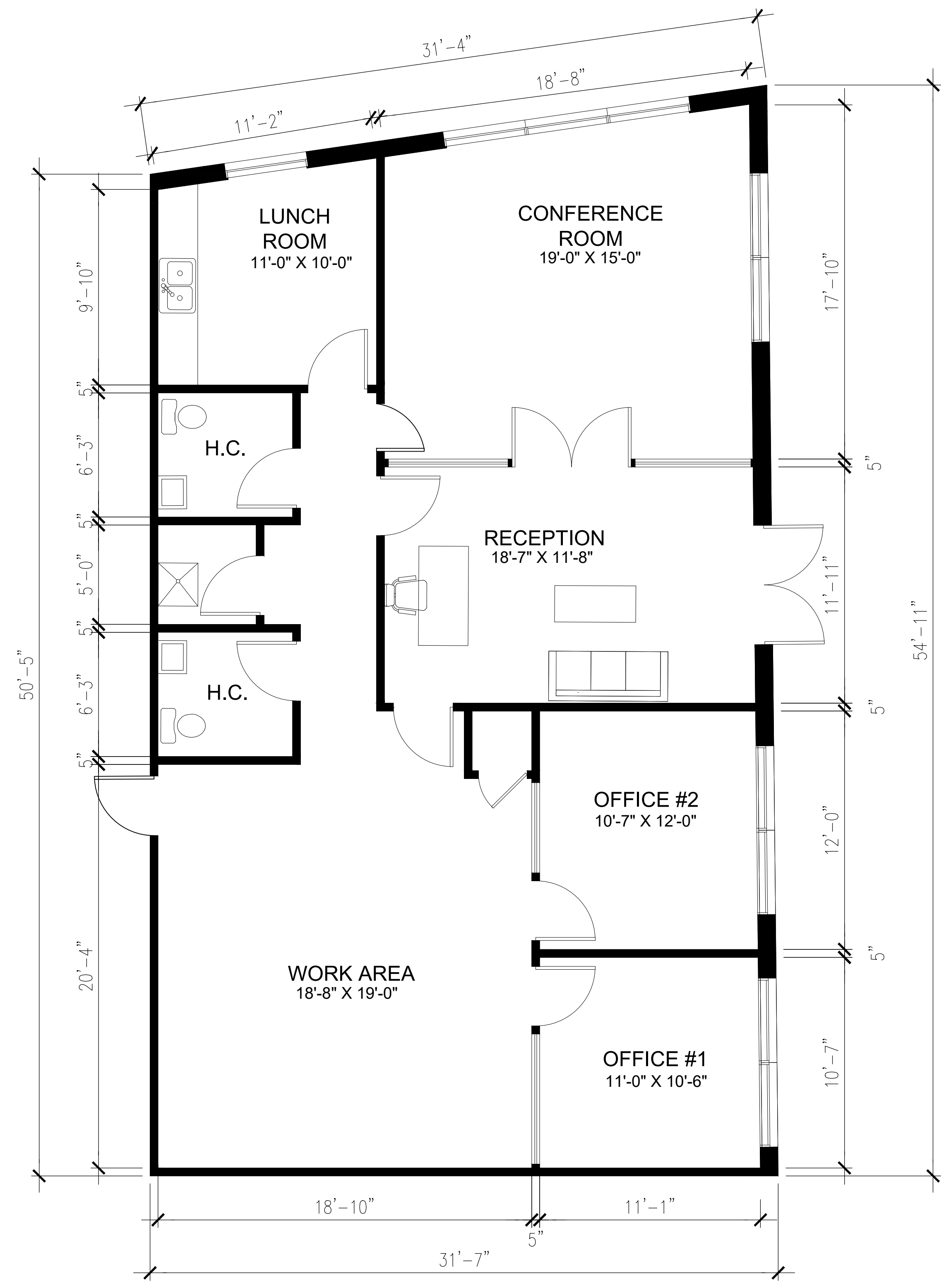
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SUNRISE INDUSTRIAL
VENTURE 1 WAREHOUSE
SUNRISE FLORIDA

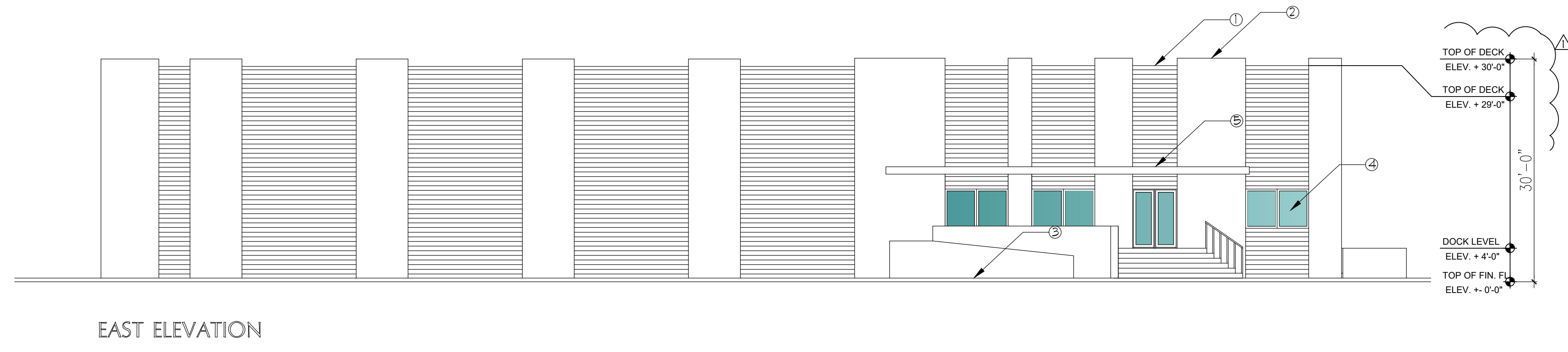
ARCHITECTURAL SITE PLAN
1/16" = 1'-0"

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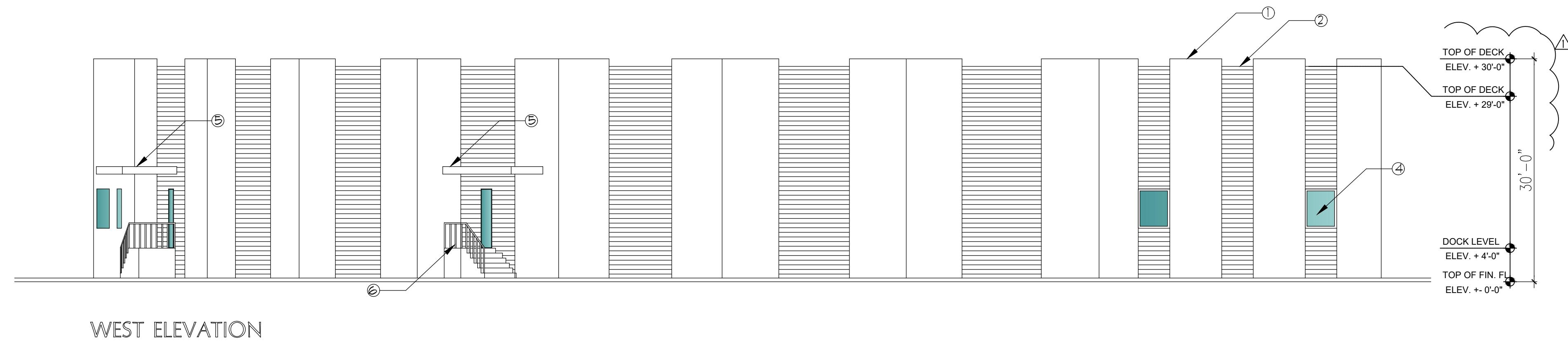


OFFICE PLAN 1500 S.F.
 1/4" = 1'-0"

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EAST ELEVATION



WEST ELEVATION

- LEGEND**
- ① SCORED STUCCO
 - ② SMOOTH STUCCO
 - ③ LOW WALL
 - ④ IMPACT GLASS
 - ⑤ CONCRETE BROW
 - ⑥ ALUMN. RAILING



**PASCUAL
PEREZ
KILIDDJIAN
STARR**

ARCHITECTS+PLANNERS
LICENSE # AA 26001357
EDGARDO PEREZ, AIA
LICENSE NO.: AR 0015394
MARIO P. PASCUAL, AIA
LICENSE NO.: AR 0008254
PETER KILIDDJIAN, AIA
LICENSE NO.: AR 0093067
ANDREW STARR, AIA
LICENSE NO.: AR 0095130

AT THE BEACON CENTER
1330 NW 84th AVENUE
DORAL, FLORIDA 33126
TELEPHONE: (305) 592-1363
FACSIMILE: (305) 592-6845
http://www.ppkarch.com
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REVISIONS:
06/10/2022

OWNER:

SUNRISE INDUSTRIAL
VENTURE 1 WAREHOUSE
SUNRISE FLORIDA

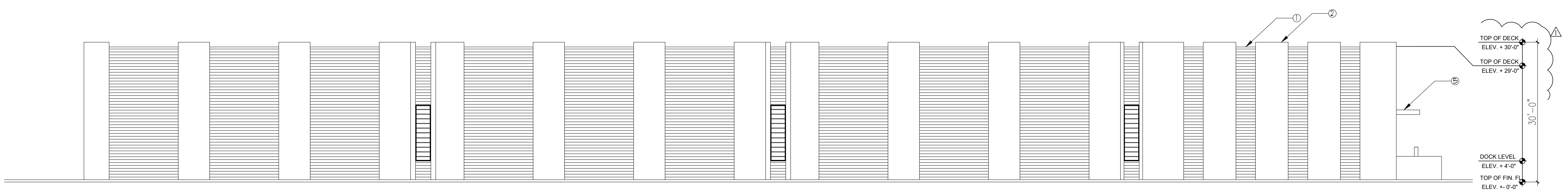
SEAL:

ELEVATIONS

DATE: 06-06-2022
SCALE: AS SHOWN
DRAWN: AJS
CHECK BY: PPK
JOB NO.:

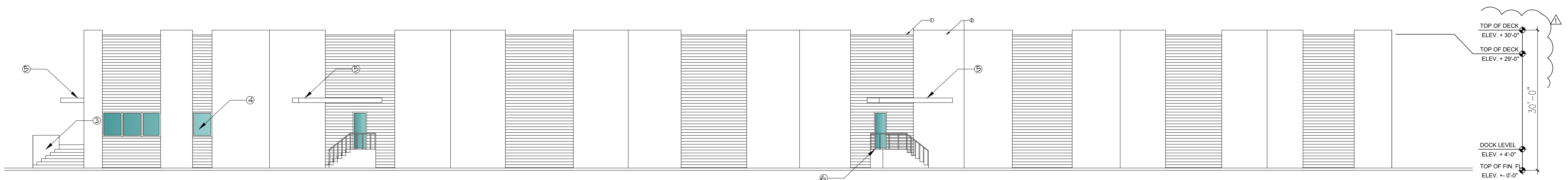
A-2

SHEET NO.:



SOUTH ELEVATION

- LEGEND
- ① SCORED STUCCO
 - ② SMOOTH STUCCO
 - ③ LOW WALL
 - ④ IMPACT GLASS
 - ⑤ CONCRETE BROW
 - ⑥ ALUMN. RAILING



NORTH ELEVATION



NORTH

ELEVATIONS

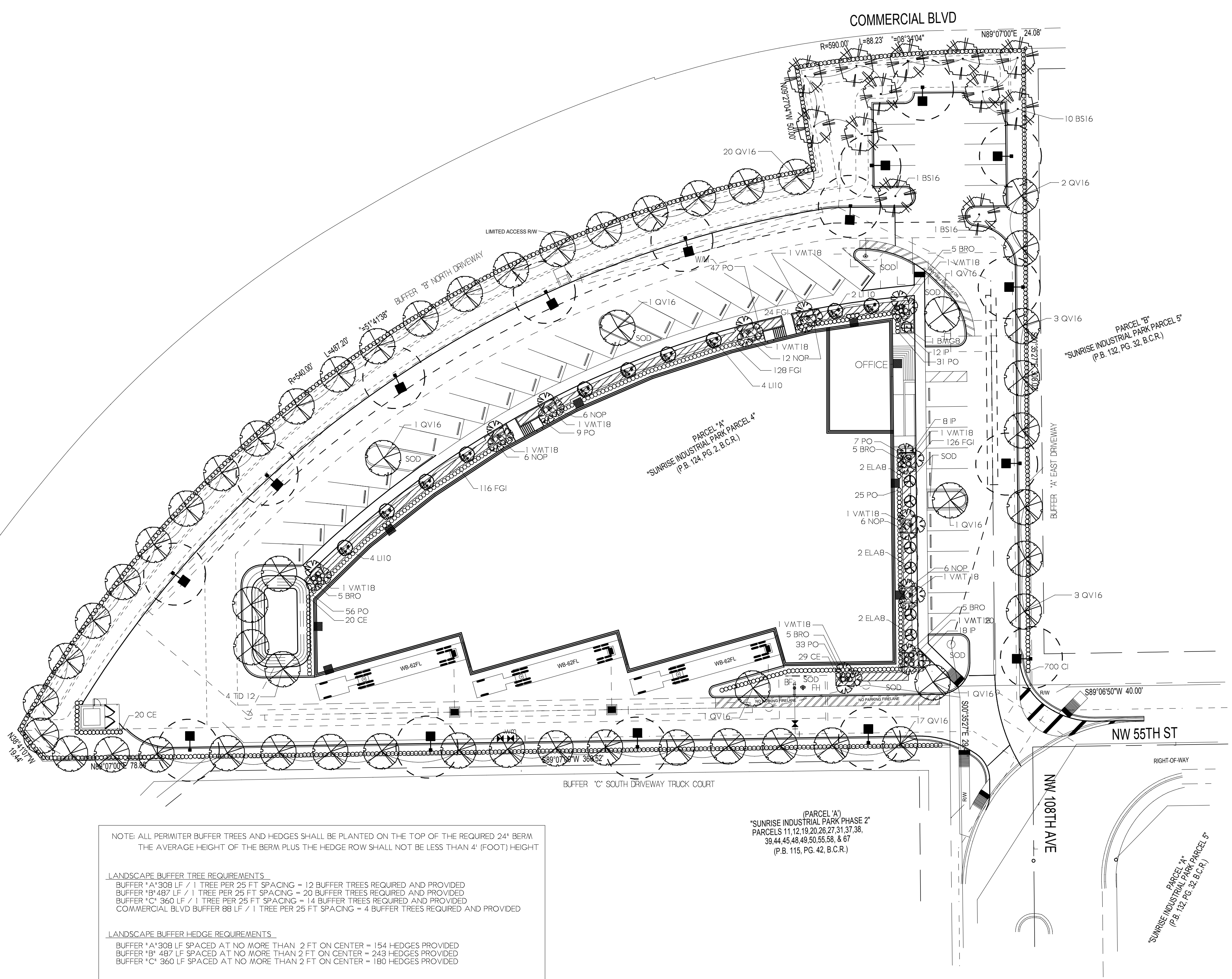
3/32" = 1'-0"

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PLANT LIST

NOTE: The quantities on this plant list are to be used as a guide only. Bidder shall do independent takeoff for bidding purposes. *Denotes native plants.
 CT-CLEAR TRUNK GW-GREY WOOD DBH-DIAMETER BREAST HEIGHT(1/2) OA-OVERALL HEIGHT
 FTB-FULL TO BASE HYY-HEAVY TRUNK CAL-CALIPER@1/2" PER GRADES & STD. SNG-SINGLE TRUNK
 DBL-DOUBLE TRUNK TRP-TRIPLE TRUNK STD-TREE STANDARD MULT-MULTI-TRUNK
 STAG-STAGGERED HEIGHTS B&B-BALLED AND BURLAPPED FG-FIELD GROWN
 ALL PLANT MATERIALS MUST ADHERE TO CURRENT GRADES AND STANDARDS FOR FLORIDA NUMBER ONE QUALITY OR BETTER. CONTAINER SIZE, WHEN LISTED, IS THE MINIMUM CONTAINER SIZE ACCEPTABLE FOR THE PLANT SPECIFIED. ALL PLANT MATERIAL WILL BE ACCEPTED BY THE PLANT SIZE SPECIFICATION AND NOT THE CONTAINER SIZE.

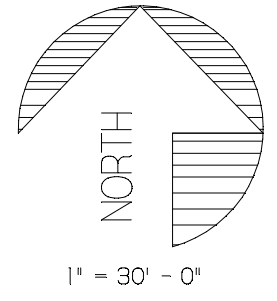
SYM	QNT	BOTANICAL NAME	COMMON NAME	OA HEIGHT	SPREAD	TRUNK SPECS	TRUNK DIA.	COMMENTS
TREES AND PALMS								
BWG B	1	Bambusa multiplex 'var'	Bamboo	8'	4'-5'			Full
BS 16	12	*Bursera simaruba	*Gumbo Limbo	16'	8'	8" CT	3.5' dbh	
ELA B	6	Elaeocarpus decipiens	Japanese Blueberry	8'	4'	3" CT		
LI 10	10	Lagerstroemia indica	Crape Myrtle 'Pink'	10'	5'	4" CT	2.5' dbh	SINGLE
QV 16	4	*Quercus virginiana	*Live Oak	16'	8'	8" CT	3.5' dbh	
TD 12	4	*Taxodium distichum	*Bald Cypress	12'	6'	4.5" CT	2' dbh	
VMT 18	11	Veitchia montgomeryana	Montgomery Palm	24' OA		18" CT		Triple
SHRUBS AND GROUNDCOVERS								
BRO	25	Bromelad 'Orange'	Bromelad 'Orange'	30"	30"			Full
CE	69	Conocarpus erectus	*Green Buttonwood	24"	18"			Full
CI	700	Chrysobalanus icacoa	*Coccolup	24"	18"			Full
FGI	394	Ficus microcarpa	Green Island Ficus	18"	18"			Full
IP	38	Ixora Petrif	Red Taiwan Dwarf Ixora	18"	18"			Full
NOP	36	Nerium oleander 'Petite Pink'	Dwarf Oleander	24"	18"			Full
PO	208	Podocarpus nudi	Yew Podocarpus	30"	18"			Full
OTHER LANDSCAPE MATERIALS								
MUL		Mulch (in Bags)						As Needed
SOL		Planting Soil (Cubic Yards)						As Needed
SOD		TO BE MEASURED IN FIELD	LOCATION AS SHOWN ON PLAN & GENERAL SPECIFICATIONS					



NOTE: ALL PERIMETER BUFFER TREES AND HEDGES SHALL BE PLANTED ON THE TOP OF THE REQUIRED 24" BERM. THE AVERAGE HEIGHT OF THE BERM PLUS THE HEDGE ROW SHALL NOT BE LESS THAN 4' (FOOT) HEIGHT.

LANDSCAPE BUFFER TREE REQUIREMENTS
 BUFFER 'A' 908 LF / 1 TREE PER 25 FT SPACING = 12 BUFFER TREES REQUIRED AND PROVIDED
 BUFFER 'B' 487 LF / 1 TREE PER 25 FT SPACING = 20 BUFFER TREES REQUIRED AND PROVIDED
 BUFFER 'C' 360 LF / 1 TREE PER 25 FT SPACING = 14 BUFFER TREES REQUIRED AND PROVIDED
 COMMERCIAL BLVD BUFFER 88 LF / 1 TREE PER 25 FT SPACING = 4 BUFFER TREES REQUIRED AND PROVIDED

LANDSCAPE BUFFER HEDGE REQUIREMENTS
 BUFFER 'A' 908 LF SPACED AT NO MORE THAN 2 FT ON CENTER = 154 HEDGES PROVIDED
 BUFFER 'B' 487 LF SPACED AT NO MORE THAN 2 FT ON CENTER = 243 HEDGES PROVIDED
 BUFFER 'C' 360 LF SPACED AT NO MORE THAN 2 FT ON CENTER = 180 HEDGES PROVIDED



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CALL 48 HOURS BEFORE YOU DIG

811

IT'S THE LAW! DIAL 811

Know what's below. Call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

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 To the best of our knowledge, the plans and specifications submitted herewith comply with all existing interpretations and provisions of the applicable building codes at the time of the plans preparation. No warranty either expressed or implied is hereby given.

Michael J. Petrow
 and
 Associates, Inc.
 Landscape Architecture
 P.O. BOX 8681
 CORAL SPRINGS, FLORIDA 33175
 954-448-0659

PRELIMINARY LANDSCAPE PLAN

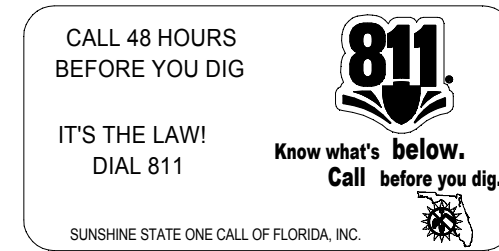
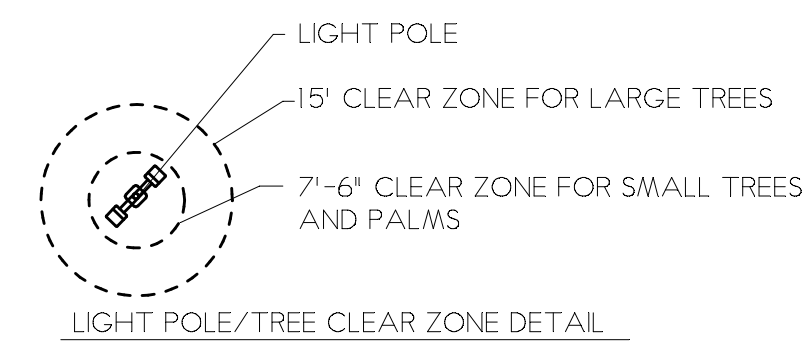
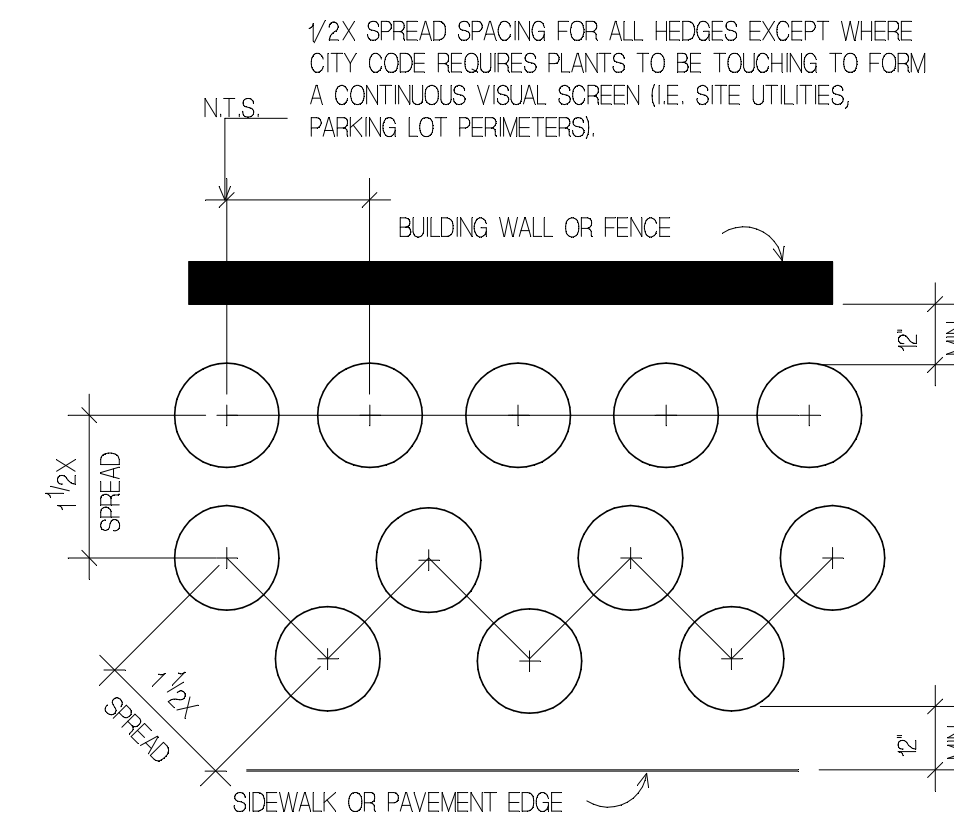
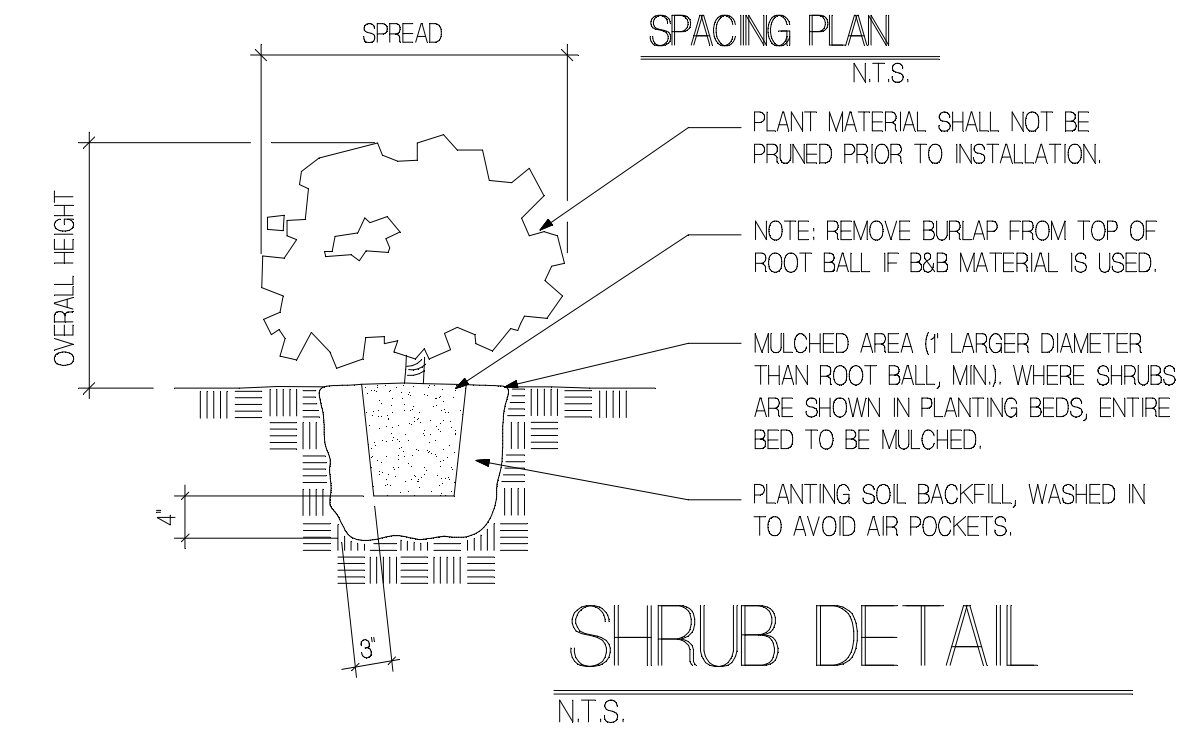
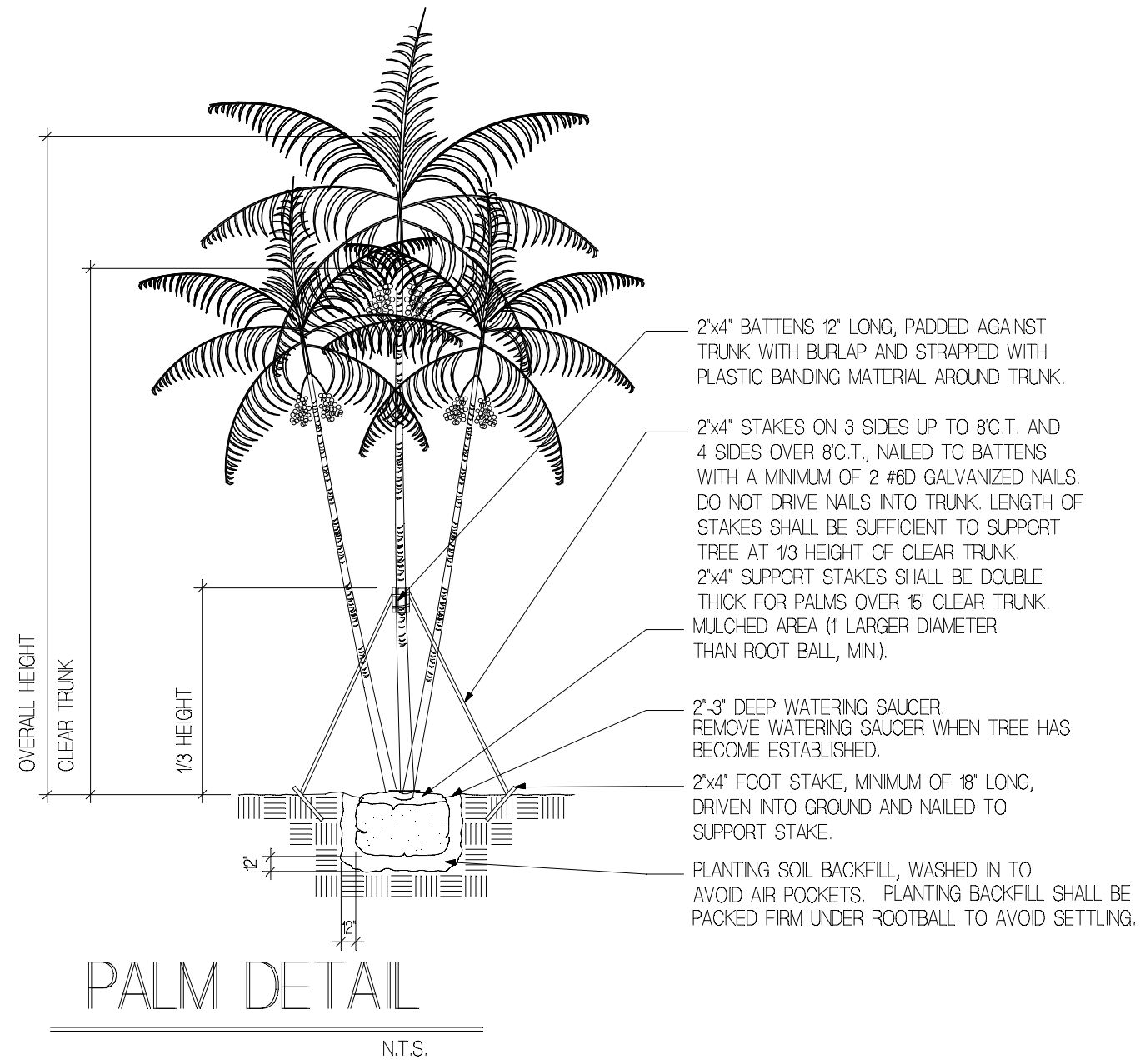
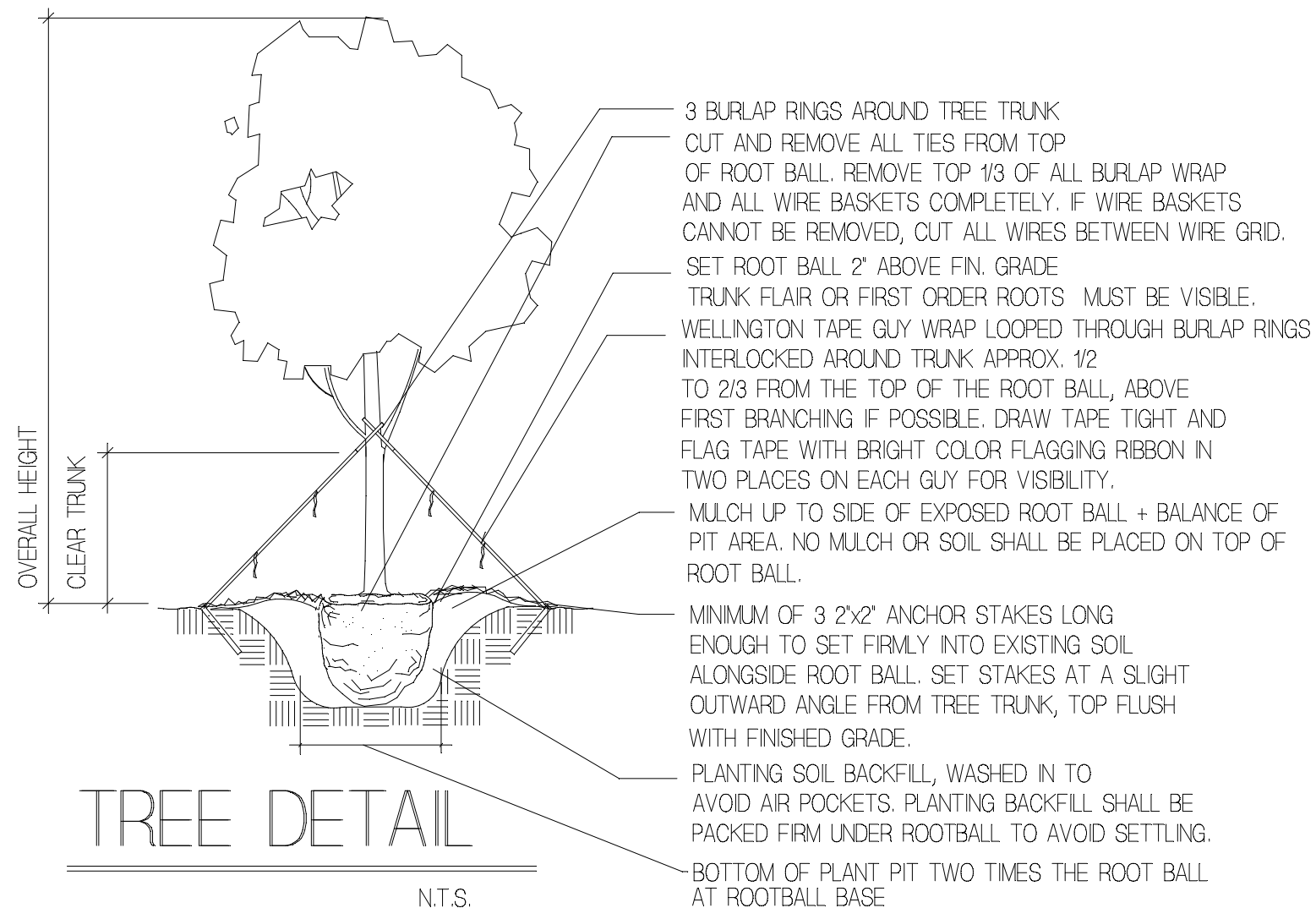
URBAN EMPIRE WAREHOUSE
 SUNRISE INDUSTRIAL PARK PARCEL 4
 CITY OF SUNRISE, FLORIDA

REVISION	SEAL	DATE
		OCTOBER 25, 2022
		DRAWING NO. L-1
		OF TWO

GENERAL SPECIFICATIONS

- All plant materials shall be Florida No. 1 or better as set forth by the Florida Department of Agriculture, Grades and Standards for Nursery Plants, current edition. All plants to be graded shall comply with the general requirements listed there in. Certification that all plant materials installed are Florida No. 1 or better shall be the sole responsibility of the Landscape Contractor. Said certification shall be provided to the Owner or his authorized representative at the time of delivery of the plant material to the job site. Any dispute regarding plant material grade shall be determined by a representative of the Division of Plant Industry of the State of Florida. All rules and guidelines set by the State for the purposes of grading plant materials shall be followed.
- Palms shall be planted so that all heads are clear of building walls and windows at mature spread.
- All Sabal Palms, Queen Palms, Washingtonia Palms, Phoenix varieties and all other single trunk, upright varieties with six foot (6') of clear trunk or greater shall be staked as detailed.
- All trees shall be planted so that heads will be clear of building walls, roof lines and windows at mature spread. Shade trees shall not be located closer than fifteen feet (15') from project light poles. Medium and small trees and palms shall not be planted closer than seven and one half feet (7 1/2') from project light poles. Florida Power and Light tree location guidelines shall be followed in all cases relating to FPL power pole or easement locations. Where Codes require, locations of all trees planted in Rights-Of-Way or utility easements shall be confirmed by the landscape contractor with the City or County Engineer before installation. All tree trunk calipers shall be measured at 4 1/2' above top of root ball. All trees that are designated as single - trunk trees shall have a single, dominant leader and a relatively straight trunk. All trees that are designated as multi-trunk trees shall have at least three trunks with equal calipers originating from the base of the trees, and with angles no greater than 45 degrees. Trees with bark inclusion or codominant trunks will not be accepted.
- All Trees and Palms shall be kept in an upright position. Under no circumstances shall any support method used employ the driving of nails or other mechanical devices of any kind into the bark of any tree or palm. All staking except Terra Toggle shall be removed approximately 6 months after planting or at the time of establishment of the tree. Any exposed Terra Toggle strapping shall be cut and removed after the wood supports have decomposed. All synthetic burlap, synthetic string or cords shall be removed before any trees are planted. All synthetic tags (ie. tagging tags, nursery tapes) shall be removed from trunks, branches, etc. before inspection. The top one-third of any natural burlap shall be removed before the trees are backfilled. All wire baskets shall be removed from the top and sides of the rootball to a depth of 3' and all remaining wire shall be cut to prevent girdling. All trees, (except palms) and other plants shall be planted with the top of their rootballs 2' (+/-) above the final grade surrounding the planting area as detailed. Palms shall be planted with the top of the rootball flush with the surrounding area.
- All trees within or overhanging pedestrian areas shall have a clear trunk high enough to allow unobstructed pedestrian movement under or around trees. Sight distance concerns must be maintained for clear sight visibility from thirty (30) inches to seventy-two (72) inches, tree trunks excluded.
- All hedges shall be planted with twelve inches (12') clear space between outer branches and building walls, fences or pavement edges and three feet (3') back from edge of parking spaces at the time of planting. Spacing of shrubs center to center shall be as specified by the municipality for screening requirements. All mechanical equipment, air conditioning, irrigation pumps, FPL transformers, pool pumps, etc., must be screened on three (3) sides by shrubs.
- Irrigation shall be by underground, automatic, rust free system with 100% coverage and a minimum of 50% overlap of spray. Irrigation rain sensor shall be installed. Irrigation water shall not be directed onto or over impervious surfaces. Irrigation systems other than City water shall require a South Florida Water Management District water use permit prior to the issuance of the required irrigation permit from the City and/or the operation of the irrigation system. Approved irrigation permits shall be required from the City prior to installation.
- Planting soil shall be at least 30% muck and 70% sand pulverized and weed free, to be mixed with existing soil free from rocks and debris and backfilled into plant pits by washing in. Planting soil for Sabal Palms shall be clean sand. Existing soil may be used as planting soil if approved by the Landscape Architect.
- Fertilizer for trees and shrubs shall be a general purpose 50% organic fertilizer low in phosphorus, with minor elements, iron and manganese and shall be mixed with the planting soil at the time of backfilling. Fertilizer for palms shall be a palm special type to include manganese and magnesium sulfate. Application rates for all fertilizers at the time of planting shall be 1/2 the manufacturers recommendations for established plants.
- Mulch shall be shredded eucalyptus or other clean hardwood species grade "B" or better set at a 3" minimum depth and wet down to prevent wind displacement. Cypress, red or dyed mulch shall not be accepted. All mulch shall be certified "Arsenic Free". All trees shall have a water ring with a minimum depth of two inches, maximum of three inches, and a diameter of 3 feet to 4 feet around the base. No mulch shall be placed over the rootball of any tree. All mulch shall be kept two inches from the stems of all shrub plant material.

- Sod shall be Stenotaphrum secundatum "Floritam" or "Palmetto" solid sod, weed free and set with staggered joints. Sod shall be placed on all areas not used for buildings, vehicular use areas, walks, site structures or planting beds and shall extend to any abutting street pavement edge and to the mean waterline of any abutting canal, lake or waterway. Sod shall be placed no closer than three (3) feet from the trunk of any tree. Sod placed adjacent to pavement and curbs shall be set with top of sod-soil set flush with the top of the adjacent pavement and/or curb.
- Planting plans take precedence over plant lists. The Landscape Contractor shall be responsible for doing his own takeoff. The Landscape Contractor shall familiarize himself with the municipal code and deed restrictions of the municipality in which the project is located. All existing codes and deed restrictions pertaining to the municipality in which the project is located shall apply and may supersede these General Specifications. The more stringent requirement shall apply.
- The Landscape Contractor shall be aware of the locations of all easements and utilities above and below ground and shall call for utility stakeout forty eight (48) hours before any digging operations begin. All plant pits located in easements shall be hand dug.
- The Landscape Contractor shall provide a written guarantee to the Owner for all plant materials and workmanship for a period no less than one year from the time of final inspection and acceptance by the Owner. At the end of the guarantee period, all plant materials shall be inspected by the Landscape Contractor and the Owner. All plants that are in a healthy, growing condition at the time of the inspection shall be free from further guarantee and shall be the Owners responsibility. All plants that are in questionable condition due to transplant shock shall continue under the guarantee until recovery or, if deemed severely retarded in growth or dead, shall be replaced. Replaced plant material shall be guaranteed for the same time period and under the same conditions as the original plant material. This guarantee does not apply if the plant materials have not been maintained by the Owner as instructed by the Landscape Contractor, are damaged by storms, vandalism, insect or freeze damage or acts of God beyond the Landscape Contractors control. All plants shall be free from harmful plant pests at the time of planting.



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Michael J. Petrow and Associates, Inc.
Landscape Architecture
P.O. BOX 9901
CORAL SPRINGS, FLORIDA 33075
954-448-0659

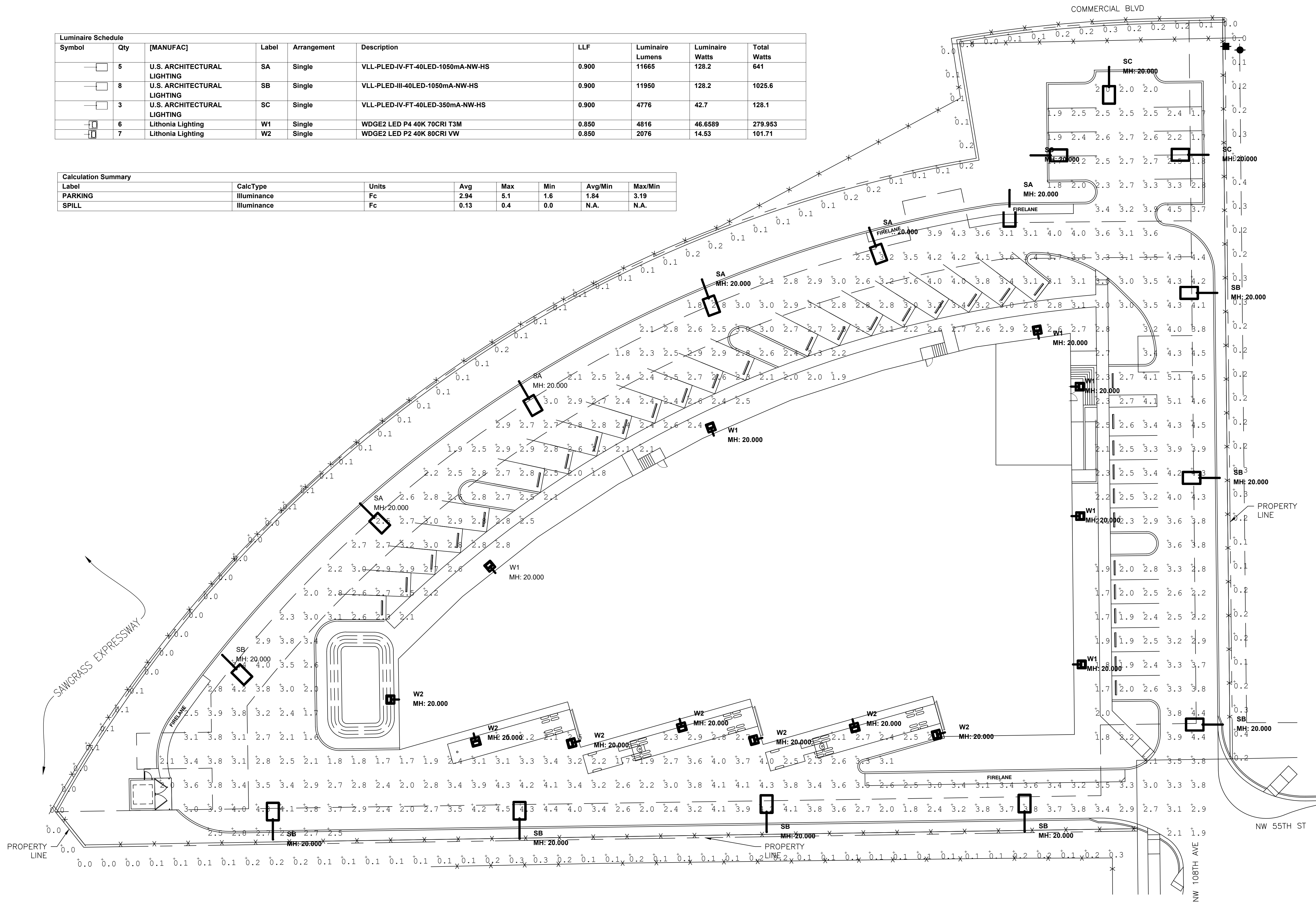
PLANTING DETAILS and SPECIFICATIONS

URBAN EMPIRE WAREHOUSE
SUNRISE INDUSTRIAL PARK PARCEL 4
CITY OF SUNRISE, FLORIDA

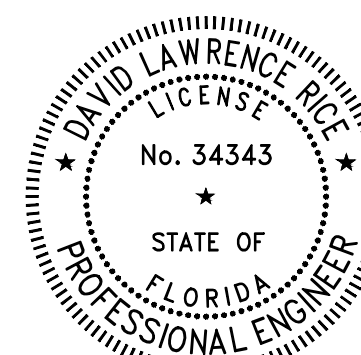
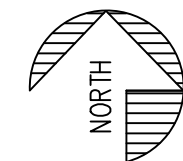
REVISION	SEAL	DATE OCTOBER 25, 2022
		DRAWING NO. L-2
		OF TWO

Symbol	Qty	[MANUFAC]	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
□	5	U.S. ARCHITECTURAL LIGHTING	SA	Single	VLL-PLED-IV-FT-40LED-1050mA-NW-HS	0.900	11665	128.2	641
□	8	U.S. ARCHITECTURAL LIGHTING	SB	Single	VLL-PLED-III-40LED-1050mA-NW-HS	0.900	11950	128.2	1025.6
□	3	U.S. ARCHITECTURAL LIGHTING	SC	Single	VLL-PLED-IV-FT-40LED-350mA-NW-HS	0.900	4776	42.7	128.1
□	6	Lithonia Lighting	W1	Single	WDGE2 LED P4 40K 70CRI T3M	0.850	4816	46.6589	279.953
□	7	Lithonia Lighting	W2	Single	WDGE2 LED P2 40K 80CRI VW	0.850	2076	14.53	101.71

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING	ILLUMINANCE	Fc	2.94	5.1	1.6	1.84	3.19
SPILL	ILLUMINANCE	Fc	0.13	0.4	0.0	N.A.	N.A.



SCALE: 1" = 20'-0" 1" VERIFY



NO.	DATE	BY

RC ENGINEERING
 DAVID L. RICE, P.E. #34343
 5532 NW 106 DR.
 CORAL SPRINGS, FL 33076
 954-757-7900

SUNRISE INDUSTRIAL VENTURE 1 WAREHOUSE
SUNRISE INDUSTRIAL PARK PARCEL 4
 CITY OF SUNRISE, FLORIDA
PHOTOMETRIC PLAN, LUMINAIRE SCHEDULE


DATE:	2022-11-16
SCALE:	1" = 20'-0"
PROJECT NO.:	22058
DESIGNED BY:	DLR
DRAWN BY:	MAR
CHECKED BY:	DLR

SHEET NO.
PH-1

C:\Users\dave\Dropbox\00 RC Dropbox Sync\01 Current Projects\22058 Sunrise IV 1\W01 Permit Photometric - (2022-07-07)\PH-1.dwg, 11/16/2022, 11:54:30 PM, DWG To PDF.pc3

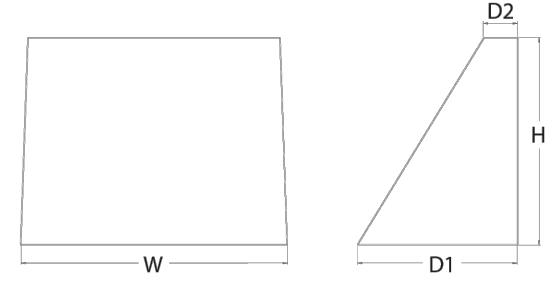
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WDGE2 LED
Architectural Wall Sconce
Precision Refractive Optic




Specifications

Depth (D1): 7"
Depth (D2): 1.5"
Height: 9"
Width: 11.5"
Weight: 13.5 lbs
(without options)



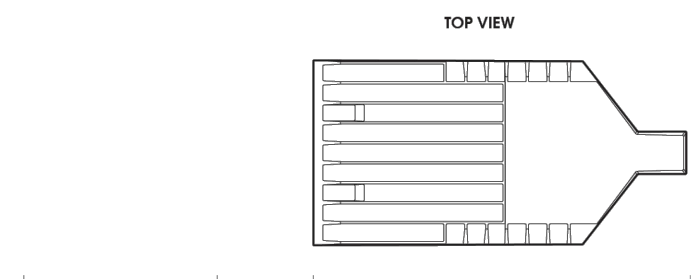
DLC
DLC
EPA
Buy American
EPA
20

VLL PLED

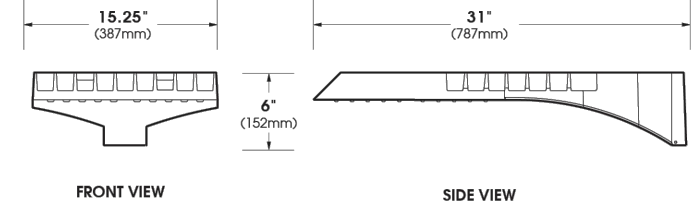


PATENT PENDING


TOP VIEW



FRONT VIEW



SIDE VIEW



15.25" (387mm)
31" (787mm)
6" (152mm)

UL LISTED
MADE IN THE USA
2021354
U.S. ARCHITECTURAL LIGHTING

PROJECT NAME	URBAN EMPIRE
LOCATION	SUNRISE, FL
MUNICIPALITY'S REQUIREMENTS: CONTRACTOR SHALL OBTAIN LATEST COPY OF REQUIREMENTS FROM THE MUNICIPALITY.	
MINIMUM FC	1.5
LIGHT LOSS FACTOR	0.92
MAX:MIN RATIO	12:1
MAX POLE HEIGHT	25 FT
MAXIMUM SPILLAGE	0.5V
LUMINAIRE TYPE	LED CUTOFF
OTHER	15 FT FROM TREES

NOTE:
THE SITE PHOTOMETRIC DRAWING WAS DESIGNED UTILIZING THE SPECIFIED LUMINAIRE MANUFACTURER. ANY DEVIATION FROM THE DESIGN DRAWING SHALL REQUIRE PLAN REVISIONS, RE-SUBMITTAL OF THE PLAN REVISIONS TO THE PERMITTING AGENCIES FOR APPROVAL, AND POSSIBLE TIME DELAYS. THE CONTRACTOR SHALL INCLUDE ALL COSTS ASSOCIATED WITH ANY DEVIATIONS FROM THE DESIGN DRAWING IN THE INITIAL PRICING. PROVIDE SHOP DRAWINGS SHOWING COMPUTER PHOTOMETRICS IN COMPLIANCE WITH THE ABOVE CRITERIA.

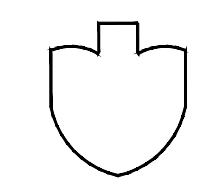
THE LUMINAIRE MANUFACTURER'S REPRESENTATIVE SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION AND FOR ENSURING THAT THE SITE LIGHTING IS IN COMPLIANCE WITH THIS PLAN. PROVIDE ADDITIONAL HOUSE SIDE SHIELDS, LIGHT POLES, ADJUSTMENTS, ETC. AS REQUIRED TO MEET THESE REQUIREMENTS. THE CONTRACTOR AND THE MANUFACTURER'S REPRESENTATIVE SHALL MAKE ALL FINAL ADJUSTMENTS AFTER SUNDOWN AS REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM.

PROVIDE A SIGNED LETTER FROM THE MANUFACTURER'S REPRESENTATIVE TO THE ENGINEER AFTER THE INSTALLATION IS COMPLETE AND INSPECTED. THIS LETTER SHALL STATE THAT THE SITE LIGHTING IS IN COMPLIANCE WITH THE DESIGN DRAWING REQUIREMENTS, AND MEETS ALL LOCAL MUNICIPALITY REQUIREMENTS, INCLUDING, BUT NOT LIMITED TO, MINIMUM LIGHTING LEVELS, SPILLAGE LEVELS, LUMINAIRE TYPES, ETC.

ENERGY CODE COMPLIANCE

FBC SEVENTH EDITION (2020)
C 405.4.1 TOTAL POWER (EXCEPTION 1)
C 405.2 EXTERIOR LIGHTING POWER ALLOWANCE LIGHTING ZONE 3
UNCOVERED PARKING AREAS
PARKING AREAS AND DRIVES ZONE 3: 0.06 W/SF
PARKING: 48,200 Sq. Ft.
TOTAL WATTAGE: 2,176 W
W/Sq Ft: 0.045 W/Sq Ft

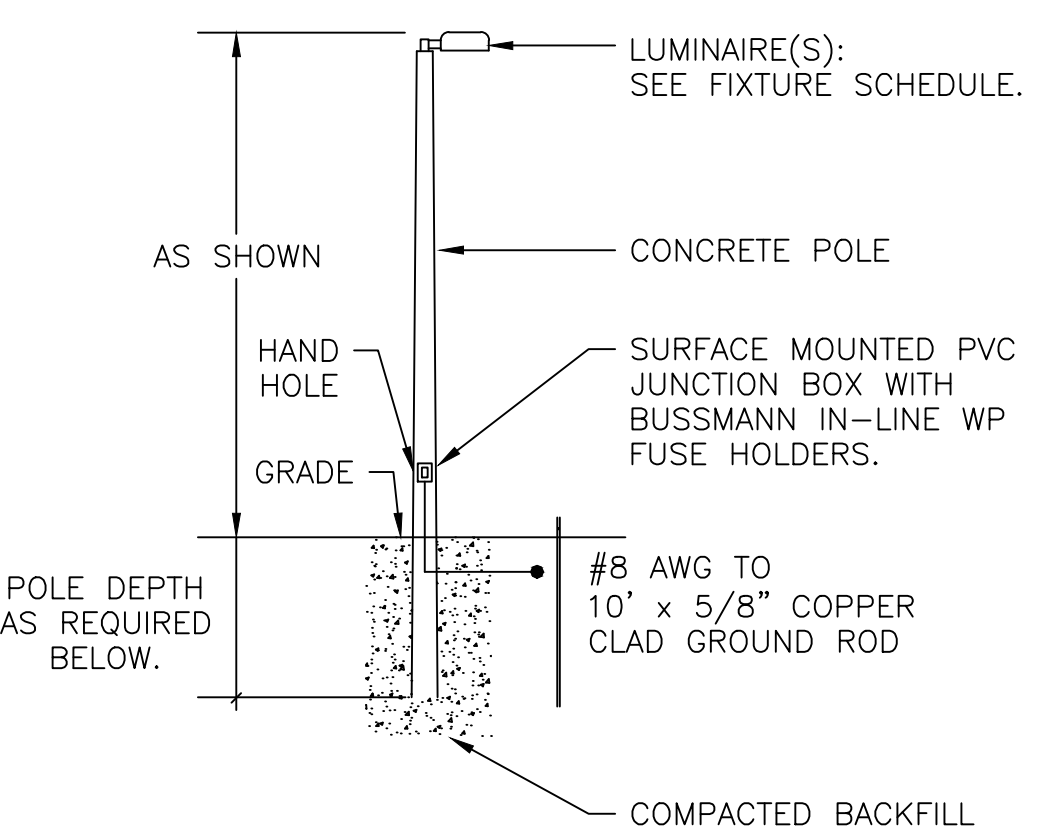
811



KNOW WHAT'S BELOW, CALL BEFORE YOU DIG!
811 OR 1-800-432-4770
WWW.CALLSUNSHINE.COM

THE PHOTOMETRIC DRAWINGS ARE FOR LUMINAIRES AND POLE TYPE SELECTION AND PLACEMENT ONLY. WIRING, ETC. OF THE LUMINAIRES SHALL BE COMPLETED UNDER SEPARATE DRAWINGS, SIGN AND SEALED BY A PROFESSIONAL ENGINEER. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION AND COMPLETION OF THE SITE LIGHTING WITH THE FULL SET OF PROJECT DOCUMENTS.

POLE MOUNTING DETAIL HVHZ (nts)



LUMINAIRE(S):
SEE FIXTURE SCHEDULE.

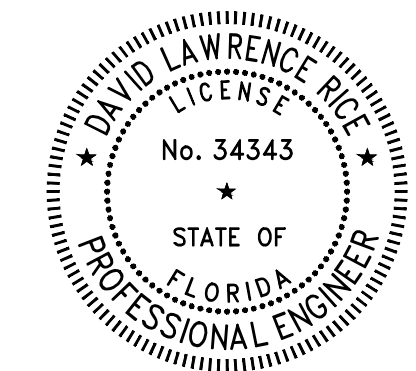
AS SHOWN
CONCRETE POLE

HAND HOLE
SURFACE MOUNTED PVC JUNCTION BOX WITH BUSSMANN IN-LINE WP FUSE HOLDERS.

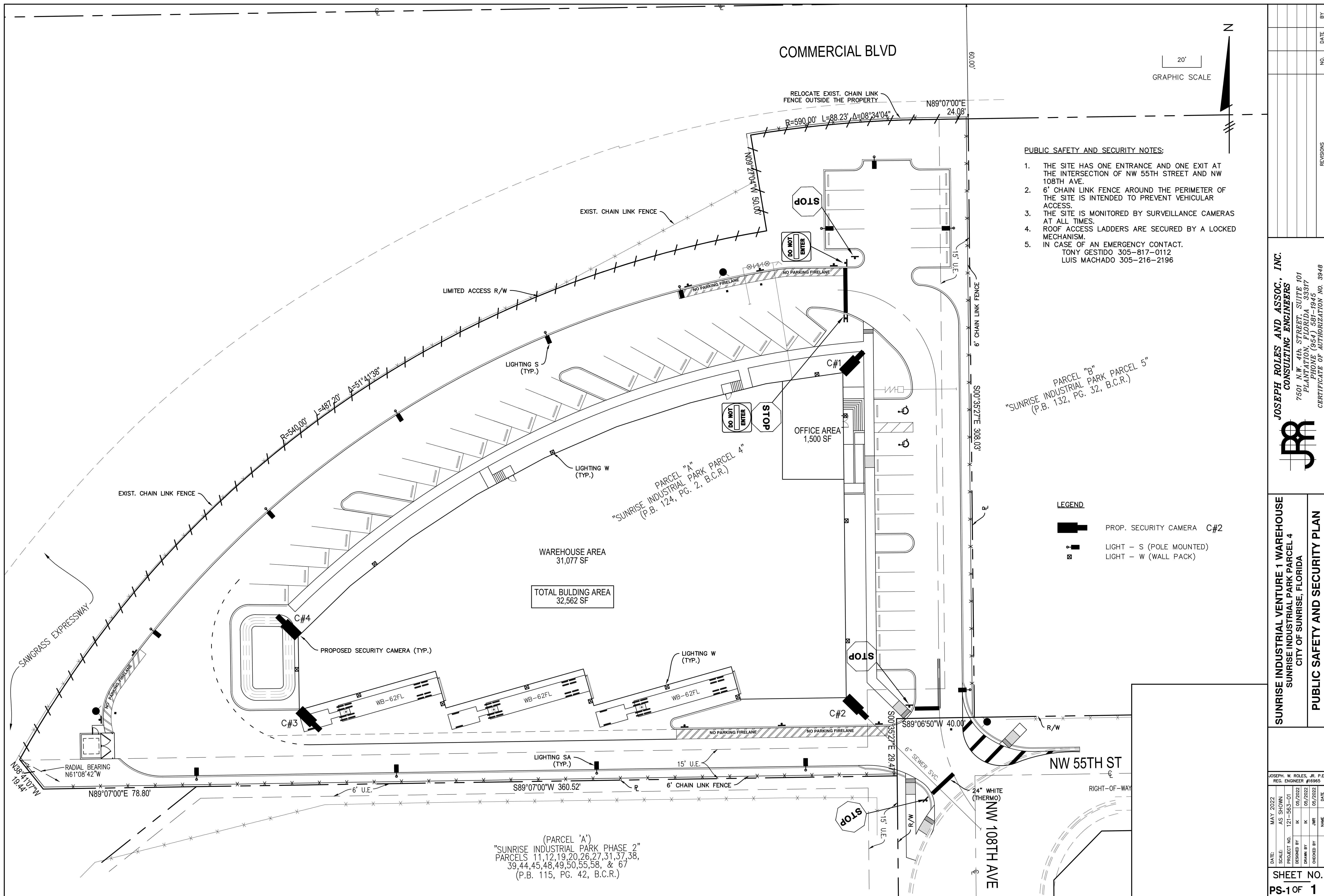
GRADE
#8 AWG TO 10' x 5/8" COPPER CLAD GROUND ROD

POLE DEPTH AS REQUIRED BELOW.
COMPACTED BACKFILL

NOTE:
PROVIDE SHOP DRAWINGS FOR REVIEW BY THE ENGINEER OF RECORD (4 COPIES MINIMUM). SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED PROFESSIONAL ENGINEER. SHOP DRAWINGS SHALL INCLUDE THE COMPLETE POLE ASSEMBLY, INCLUDING POLE, CROSS ARMS, LUMINAIRE, FOUNDATIONS, AND SOIL CONDITIONS. SHOP DRAWINGS SHALL BE FOR WORST CASE SOIL CONDITIONS. ALL ASSOCIATED COSTS FOR THE TOTAL INSTALLATION INCLUDING SHOP DRAWINGS, SOIL TESTING, AND DESIGN FEES SHALL BE INCLUDED IN THE CONTRACT. SHOP DRAWINGS SHALL STATE THAT THE COMPLETE POLE ASSEMBLY INSTALLATION COMPLIES WITH THE MINIMUM REQUIREMENTS OF THE HVHZ SECTIONS OF THE FLORIDA BUILDING CODE, BROWARD COUNTY EDITION, SEVENTH EDITION (2020).



DATE	2022-11-16	BY	
SCALE	NOT TO SCALE	NO.	
PROJECT NO.	22058	DATE	
DESIGNED BY	DLR	REVISIONS	
DRAWN BY	MAR		
CHECKED BY	DLR		
SUNRISE INDUSTRIAL VENTURE 1 WAREHOUSE			
SUNRISE INDUSTRIAL PARK PARCEL 4			
CITY OF SUNRISE, FLORIDA			
PHOTOMETRIC INFORMATION			
David Rice, P.E. #34343			
SHEET NO.			
PH-2			



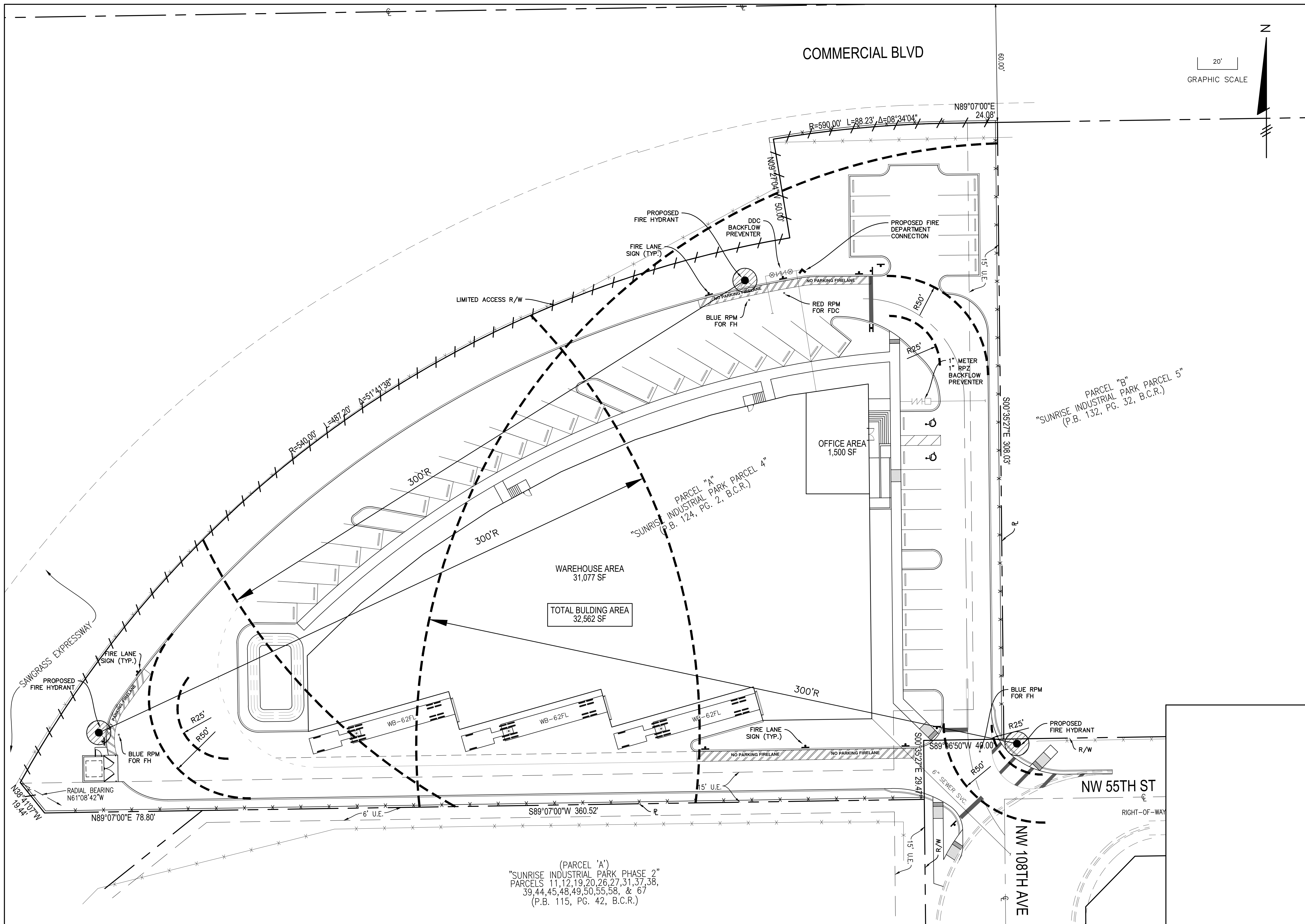
- PUBLIC SAFETY AND SECURITY NOTES:**
1. THE SITE HAS ONE ENTRANCE AND ONE EXIT AT THE INTERSECTION OF NW 55TH STREET AND NW 108TH AVE.
 2. 6' CHAIN LINK FENCE AROUND THE PERIMETER OF THE SITE IS INTENDED TO PREVENT VEHICULAR ACCESS.
 3. THE SITE IS MONITORED BY SURVEILLANCE CAMERAS AT ALL TIMES.
 4. ROOF ACCESS LADDERS ARE SECURED BY A LOCKED MECHANISM.
 5. IN CASE OF AN EMERGENCY CONTACT:
 TONY GESTIDO 305-817-0112
 LUIS MACHADO 305-216-2196

PARCEL "B"
 "SUNRISE INDUSTRIAL PARK PARCEL 5"
 (P.B. 132, PG. 32, B.C.R.)

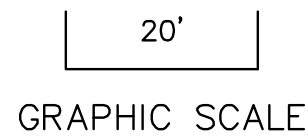
- LEGEND**
- PROP. SECURITY CAMERA C#2
 - LIGHT - S (POLE MOUNTED)
 - LIGHT - W (WALL PACK)

(PARCEL 'A')
 "SUNRISE INDUSTRIAL PARK PHASE 2"
 PARCELS 11,12,19,20,26,27,31,37,38,
 39,44,45,48,49,50,55,58, & 67
 (P.B. 115, PG. 42, B.C.R.)

DATE: MAY 2022		AS SHOWN		PROJECT NO. 121-963-01		DESIGNED BY: IK		DRAWN BY: IK		CHECKED BY: JWR	
SCALE:											
SHEET NO.		PS-1 OF 1		DATE		NAME		NO.		DATE	
<p>SUNRISE INDUSTRIAL VENTURE 1 WAREHOUSE SUNRISE INDUSTRIAL PARK PARCEL 4 CITY OF SUNRISE, FLORIDA</p> <p>PUBLIC SAFETY AND SECURITY PLAN</p>											
<p>JOSEPH ROLES AND ASSOC., INC. CONSULTING ENGINEERS 7501 N.W. 4th STREET, SUITE 101 PLANTATION, FLORIDA 33317 PHONE (954) 581-1945 CERTIFICATE OF AUTHORIZATION NO. 3948</p>											
<p>JOSEPH. H. ROLES, P.E. REG. ENGINEER #16965</p>											



COMMERCIAL BLVD



PARCEL "B"
"SUNRISE INDUSTRIAL PARK PARCEL 5"
(P.B. 132, PG. 32, B.C.R.)

PARCEL "A"
"SUNRISE INDUSTRIAL PARK PARCEL 4"
(P.B. 124, PG. 2, B.C.R.)

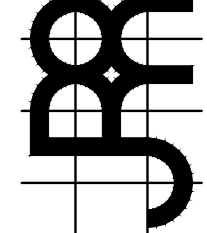
WAREHOUSE AREA
31,077 SF
**TOTAL BUILDING AREA
32,562 SF**

OFFICE AREA
1,500 SF

(PARCEL "A")
"SUNRISE INDUSTRIAL PARK PHASE 2"
PARCELS 11, 12, 19, 20, 26, 27, 31, 37, 38,
39, 44, 45, 48, 49, 50, 55, 58, & 67
(P.B. 115, PG. 42, B.C.R.)

NO.	DATE	BY

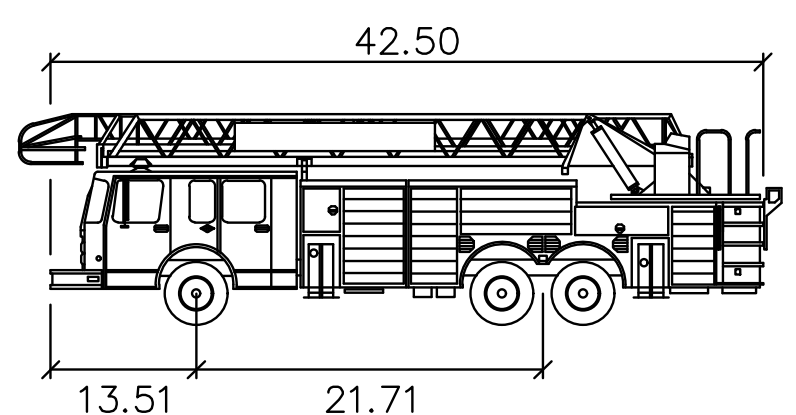
JOSEPH ROLES AND ASSOC., INC.
CONSULTING ENGINEERS
7501 N.W. 4th STREET, SUITE 101
PLANTATION, FLORIDA 33317
PHONE (954) 581-1945
CERTIFICATE OF AUTHORIZATION NO. 3948



SUNRISE INDUSTRIAL VENTURE 1 WAREHOUSE
SUNRISE INDUSTRIAL PARK PARCEL 4
CITY OF SUNRISE, FLORIDA
FIRE ACCESS AND F.H. COVERAGE

DATE:	MAY 2022	REG. ENGINEER:	#16965
SCALE:	AS SHOWN	PROJECT NO.:	121-963-01
DESIGNED BY:	IK	DATE:	05/2022
DRAWN BY:	IK	DATE:	05/2022
CHECKED BY:	JWR	DATE:	05/2022

SHEET NO.
FA-1 OF 1



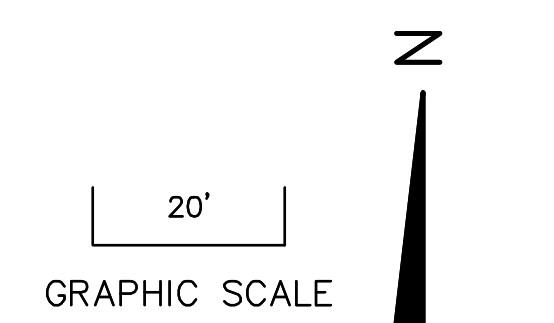
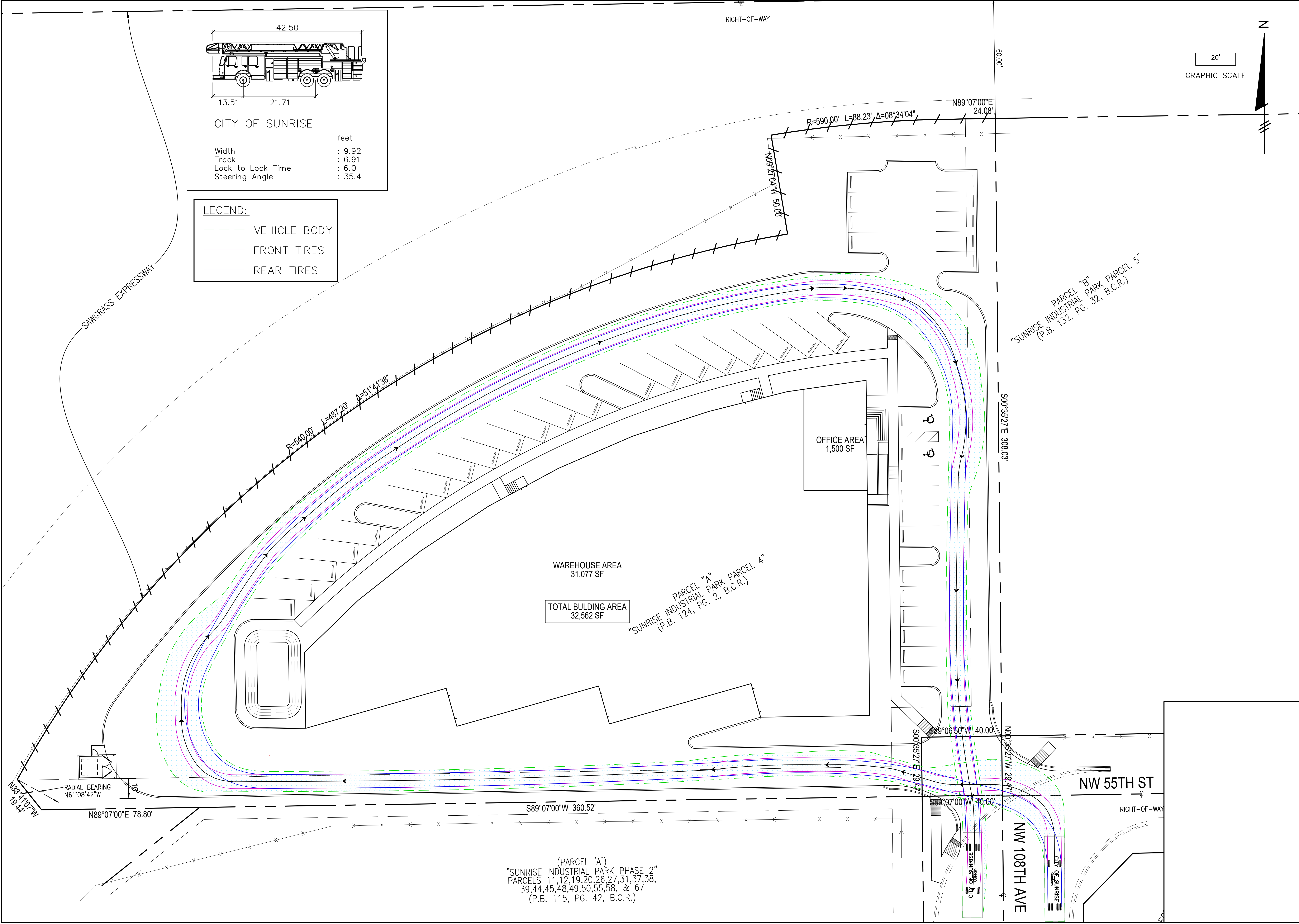
CITY OF SUNRISE

feet

Width : 9.92
 Track : 6.91
 Lock to Lock Time : 6.0
 Steering Angle : 35.4

LEGEND:

- VEHICLE BODY
- FRONT TIRES
- REAR TIRES



NO.	DATE	BY

JOSEPH ROLES AND ASSOC., INC.
 CONSULTING ENGINEERS
 7501 N.W. 4th STREET, SUITE 101
 PLANTATION, FLORIDA 33317
 PHONE (954) 581-1945
 CERTIFICATE OF AUTHORIZATION NO. 3948

SUNRISE INDUSTRIAL VENTURE 1 WAREHOUSE
 SUNRISE INDUSTRIAL PARK PARCEL 4
 CITY OF SUNRISE, FLORIDA

AUTOTURN - SUNRISE FIRE TRUCK

DATE	SCALE	AS SHOWN	PROJECT NO.	DESIGNED BY	DRAWN BY	CHECKED BY	DATE
MAY 2022	AS SHOWN	121-963-01	05/2022	JK	JK	JWR	05/2022