

**3.36 Commercial Acres @ Traffic Light Near Mohegan Sun**

## 2268 ROUTE 32, MONTVILLE, CT

**FOR SALE:  
\$1,200,000**



- Retail Assemblage
- Acres: 3.36 Total
- At traffic-lighted Intersection
- Public Water & Sewer
- Frontage: 412 Ft.
- Zone: C-1 Commercial

- Taxes: \$23,716 (all)
- Traffic Count: 19,600
- 0.2 mile from Route 2A Exit 5
- Easy access to I-395 Exit 9 to 2A

- 2 miles to Rte 12, Preston
- 1 mile to Mohegan Sun Resort & Casino
- Full size A-2 survey and concept plans furnished upon request

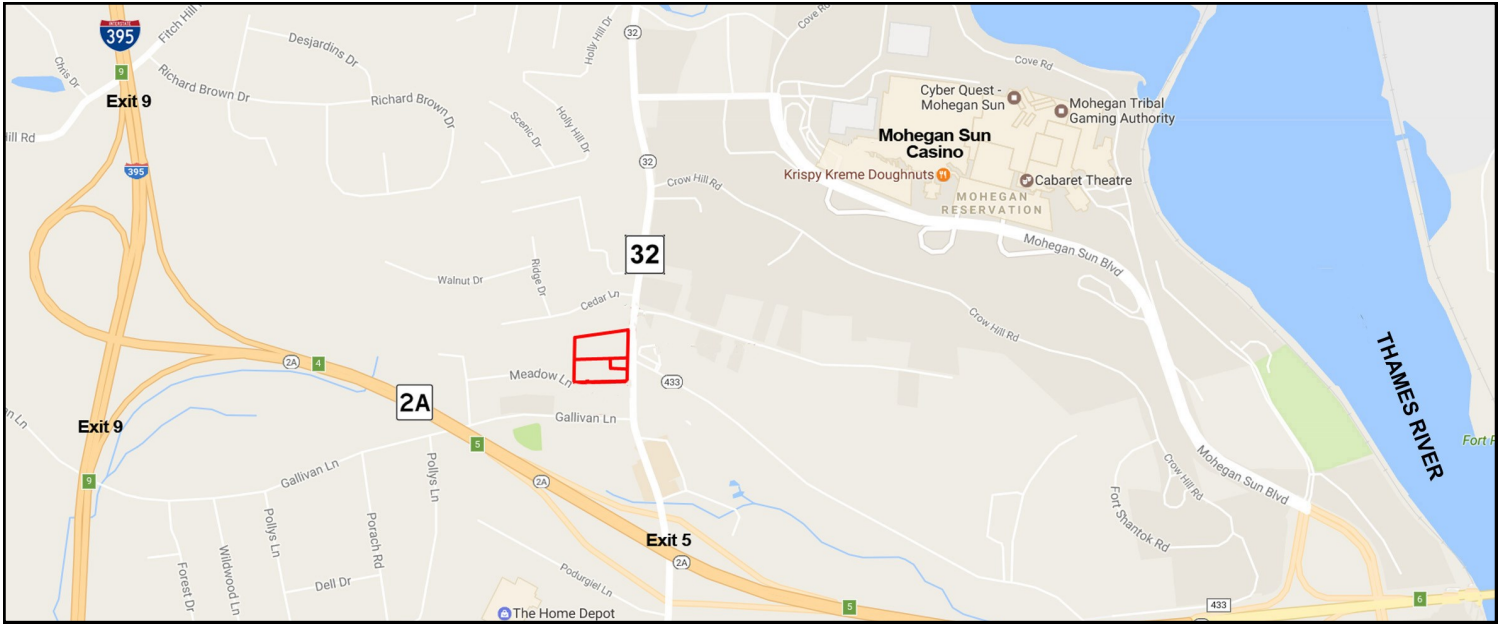
# LYMAN

**REAL ESTATE BROKERAGE & DEVELOPMENT**

[www.LymanRE.com](http://www.LymanRE.com)

**RON LYMAN**

Main Office:  
1160 Boston Post Rd.  
Westbrook, CT 06498  
Mailing Address:  
73 Second Ave.  
Westbrook, CT 06498  
860-887-5000 Office  
ronl@lymanre.com



Demographics	1 MILE	3 MILES	5 MILES
Total Population	2,374	24,256	55,993
Total Households	834	9,059	21,614
Average Household Income	\$82,292	\$73,116	\$75,095

All information stated is from sources deemed reliable and is submitted subject to errors, omission, changes of other terms and conditions, prior sales, financing or withdrawal without notice. Buyer/Tenant agents will be eligible for a portion of commission only if they have an existing signed representation.

DATE	DESCRIPTION
11/27/03	ISSUED TO BOARD MEMBERS COMMENTS
1/17/04	REVISED PER BOARD MEMBERS COMMENTS
2/11/04	REVISED PER BOARD MEMBERS COMMENTS
3/10/04	REVISED PER BOARD MEMBERS COMMENTS

Drawn by: SWS  
 Checked by: MGR  
 Scale: 1"=30'  
 Date: 09/20/2003

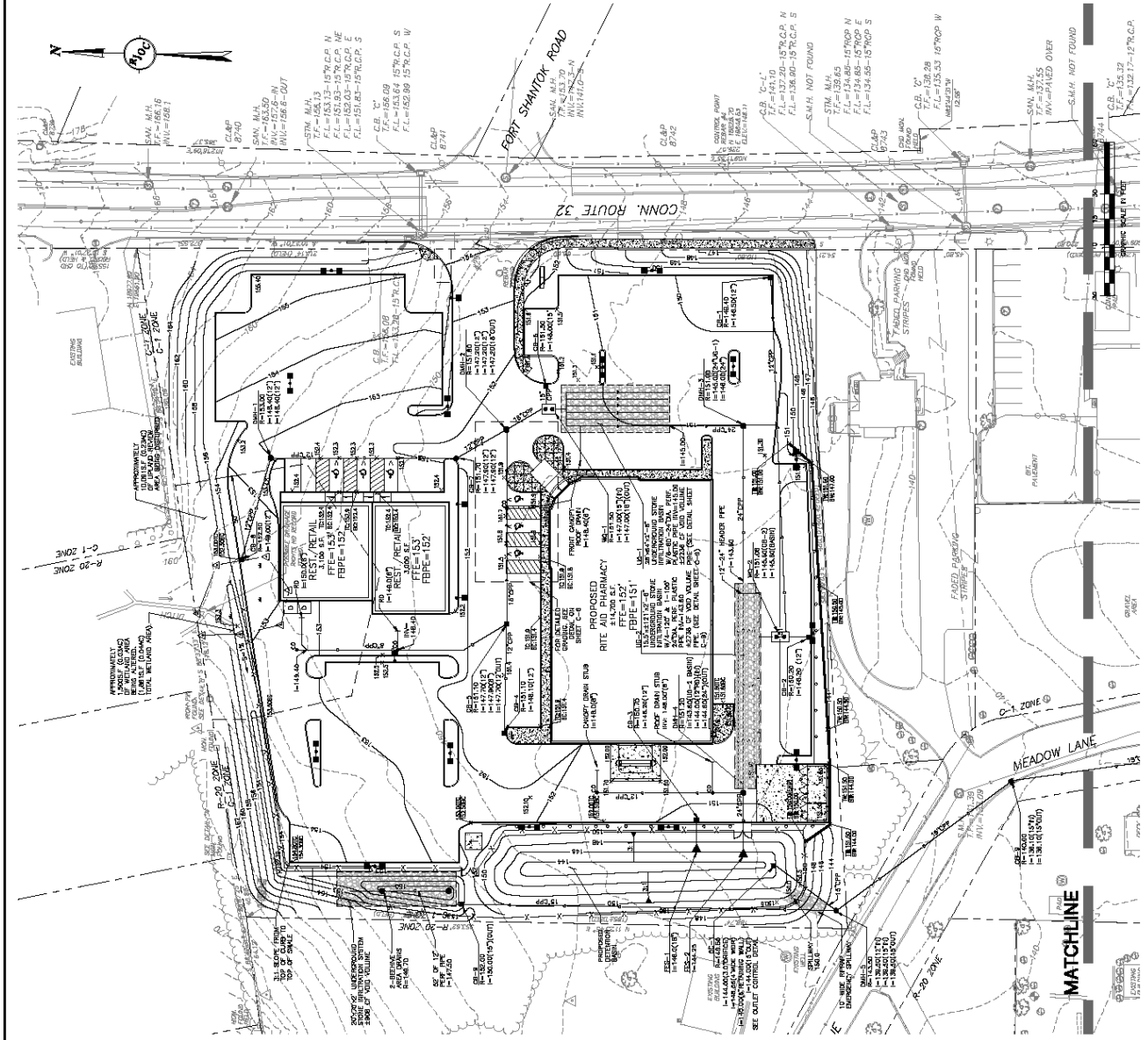
Prepared by:  
 MARK S. SHURMAN, TRUSTEE  
 SHIPMAN, SORENSEN, RANDOLPH  
 & MARSH, LLC  
 250 SOUTH MAIN STREET  
 FARMINGTON, CT 06032  
 PHONE (860) 696-1701  
 FAX (860) 696-1770

Prepared by:  
**RIOCONNELL & ASSOCIATES, INC.**  
 Civil Engineers & Land Planners  
 80 MONTVILLE AVENUE  
 STORBRIDGE, MA 02186  
 FAX: 781-279-0123

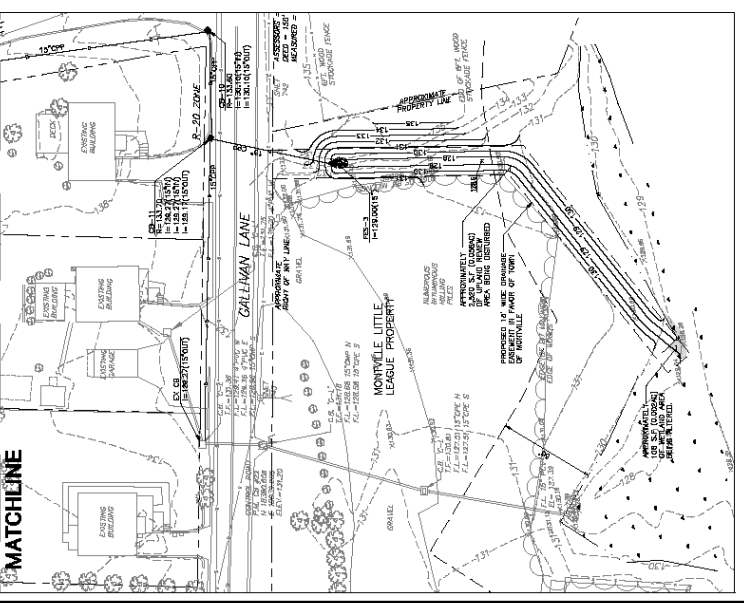
PROJECT TITLE:  
**2268-2264 ROUTE 32  
 MONTVILLE, CT**

DRAWING TITLE:  
**GRADING AND DRAINAGE PLAN**

DRAWING NO.:  
**C-3**  
 Project No.: 06034  
 DATE: 09/20/03 BY: H.L. O'CONNOR & ASSOCIATES, INC.



- GRADING & DRAINAGE NOTES**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE LOCATION AND/OR RELATIONSHIP OF EXISTING UTILITIES AND INSTALLATIONS AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES UTILIZED AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES FROM DAMAGE PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
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  5. A MINIMUM OF 18" VENTILATION CLEARANCE SHALL BE MAINTAINED WHERE VENTERS CROSS OTHER DRAIN LINES.
  6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE LOCATION AND/OR RELATIONSHIP OF EXISTING UTILITIES AND INSTALLATIONS AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES UTILIZED AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES FROM DAMAGE PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
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  8. ALL SITE WORK, MATERIALS OR CONSTRUCTION METHODS FOR EXISTING, NEW, DRAINAGE AND UTILITY WORK SHALL CONFORM TO THE PROVISIONS OF THE CONNECTICUT DEPARTMENT OF TRANSPORTATION AND CONSTRUCTION DIVISION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
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- BUILDING PAD PREP NOTES**
1. THE CONTRACTOR SHALL DELIVER THE FINAL BUILDING SLAB ELEVATION AT TWENTY (20) INCHES BELOW FLOOR FINISH ELEVATION TO ALLOW FOR A MINIMUM OF TWO (2) INCHES OF FINISH FLOOR FINISH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES FROM DAMAGE PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
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  4. IF CRACKING OR DISINTEGRATION OCCURS DURING THE REMOVAL OF UNDESIRABLE MATERIALS, THE CONTRACTOR SHALL LIMIT THE SIZE OF EXCAVATION WHICH WILL BE MADE BY THE CONTRACTOR'S OWNERS.



DATE: 11/28/2023	BY: [Signature]
REVISION: 1	DESCRIPTION: [Text]
REVISION: 2	DESCRIPTION: [Text]
REVISION: 3	DESCRIPTION: [Text]

### ZONING SUMMARY TABLE

REQUIREMENT	REQUIRED	PROPOSED
1. MAXIMUM HEIGHT	35 FT	35 FT
2. MINIMUM LOT AREA	10,000 SQ. FT.	10,000 SQ. FT.
3. MINIMUM SETBACKS	20 FT	20 FT
4. MAXIMUM LOT COVERAGE	50%	50%
5. MINIMUM OPEN SPACE	10%	10%
6. MINIMUM GREEN SPACE	5%	5%
7. MINIMUM PARKING SPACES	1 SP/100 SF	1 SP/100 SF
8. MINIMUM GREEN SPACE	5%	5%
9. MINIMUM OPEN SPACE	10%	10%
10. MINIMUM GREEN SPACE	5%	5%
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99. MINIMUM OPEN SPACE	10%	10%
100. MINIMUM GREEN SPACE	5%	5%

### UNITED OF MEANS PAVEMENT

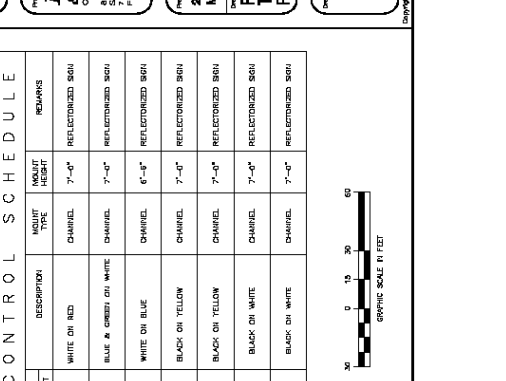
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### PARKING AND TRAFFIC CONTROL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH PROJECT SPECIFICATION MANUAL, P. 10.1.1.1. ALL CONSTRUCTION SHALL COMPLY WITH PROJECT SPECIFICATION MANUAL, P. 10.1.1.1.
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### TRAFFIC CONTROL SCHEDULE

SIgn NUMBER	SIgn TYPE	DESCRIPTION	MOunt HEIGHt	REMARKS
W-11	CHARNEL	WHITE ON RED	7'-0"	REFLECTORIZED SIGN
W-12	CHARNEL	BLACK ON WHITE	7'-0"	REFLECTORIZED SIGN
W-13	CHARNEL	BLACK ON YELLOW	7'-0"	REFLECTORIZED SIGN
W-14	CHARNEL	BLACK ON WHITE	7'-0"	REFLECTORIZED SIGN
W-15	CHARNEL	BLACK ON WHITE	7'-0"	REFLECTORIZED SIGN
W-16	CHARNEL	BLACK ON WHITE	7'-0"	REFLECTORIZED SIGN
W-17	CHARNEL	BLACK ON WHITE	7'-0"	REFLECTORIZED SIGN
W-18	CHARNEL	BLACK ON WHITE	7'-0"	REFLECTORIZED SIGN



# ZONING SUMMARY TABLE

REQUIREMENT	REQUIREMENT	REQUIREMENT
C-1 ZONE	R-20 ZONE	C-1 ZONE
1. MINIMUM BUILDING HEIGHT: 35 FT.	1. MINIMUM BUILDING HEIGHT: 25 FT.	1. MINIMUM BUILDING HEIGHT: 35 FT.
2. MINIMUM BUILDING FOOTPRINT: 15,000 SQ FT.	2. MINIMUM BUILDING FOOTPRINT: 15,000 SQ FT.	2. MINIMUM BUILDING FOOTPRINT: 15,000 SQ FT.
3. MAXIMUM BUILDING AREA: 150,000 SQ FT.	3. MAXIMUM BUILDING AREA: 150,000 SQ FT.	3. MAXIMUM BUILDING AREA: 150,000 SQ FT.
4. MAXIMUM BUILDING FOOTPRINT COVERAGE: 50%.	4. MAXIMUM BUILDING FOOTPRINT COVERAGE: 50%.	4. MAXIMUM BUILDING FOOTPRINT COVERAGE: 50%.
5. MAXIMUM BUILDING HEIGHT: 35 FT.	5. MAXIMUM BUILDING HEIGHT: 25 FT.	5. MAXIMUM BUILDING HEIGHT: 35 FT.
6. MAXIMUM BUILDING SETBACK: 10 FT.	6. MAXIMUM BUILDING SETBACK: 10 FT.	6. MAXIMUM BUILDING SETBACK: 10 FT.
7. MAXIMUM BUILDING TO LOT RATIO: 25%.	7. MAXIMUM BUILDING TO LOT RATIO: 25%.	7. MAXIMUM BUILDING TO LOT RATIO: 25%.
8. MAXIMUM BUILDING SETBACK: 10 FT.	8. MAXIMUM BUILDING SETBACK: 10 FT.	8. MAXIMUM BUILDING SETBACK: 10 FT.
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1. ALL MASSING SHALL BE IN ACCORDANCE WITH THE ZONING REGULATIONS.  
2. ALL MASSING SHALL BE IN ACCORDANCE WITH THE ZONING REGULATIONS.  
3. THE MINIMUM BUILDING HEIGHT MAY BE WAVED BY A MAJORITY VOTE OF THE PLANNING AND ZONING COMMISSION.  
4. THE MINIMUM BUILDING HEIGHT MAY BE WAVED BY A MAJORITY VOTE OF THE PLANNING AND ZONING COMMISSION.

# CONCEPTUAL SITE PLAN

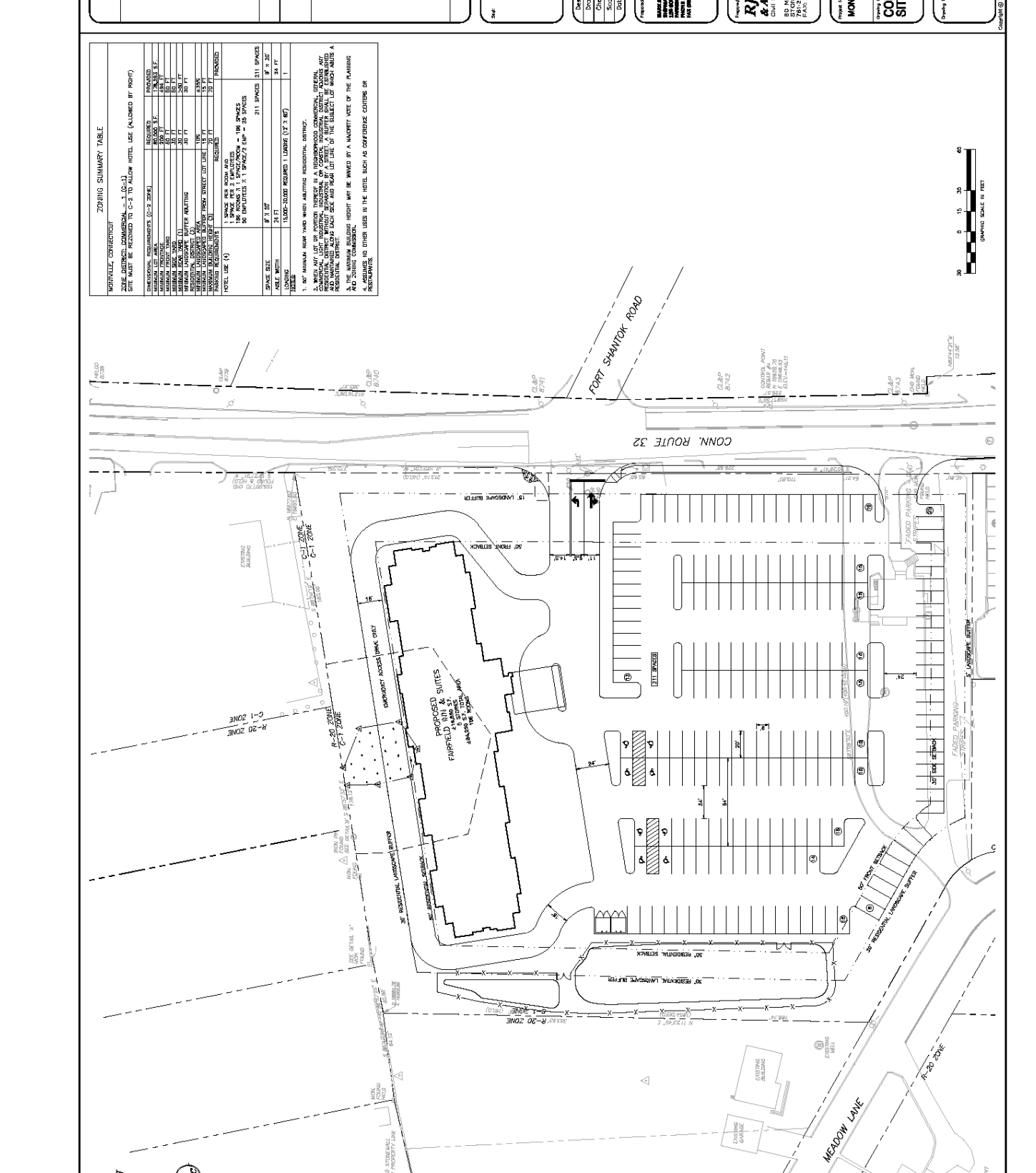
DESIGNED BY: SWS  
DRAWN BY: FWC  
CHECKED BY: BHM  
SCALE: 1"=30'  
DATE: 9/17/2020

PROJECT NO.  
MONTVILLE, CONNECTICUT  
SUBMITTED TO: MONTVILLE BOARD OF ZONING APPEALS

PROJECT BY:  
**RIO'CONNELL & ASSOCIATES, INC.**  
200 AVENUE A  
SUITE 100  
MONTVILLE, CT 06334  
PHONE: 860.281.1171

PROJECT NAME:  
**MONTVILLE CT  
CONCEPTUAL SITE PLAN**

PROJECT NO.:  
**CP-12**  
PROJECT NO.: 060334



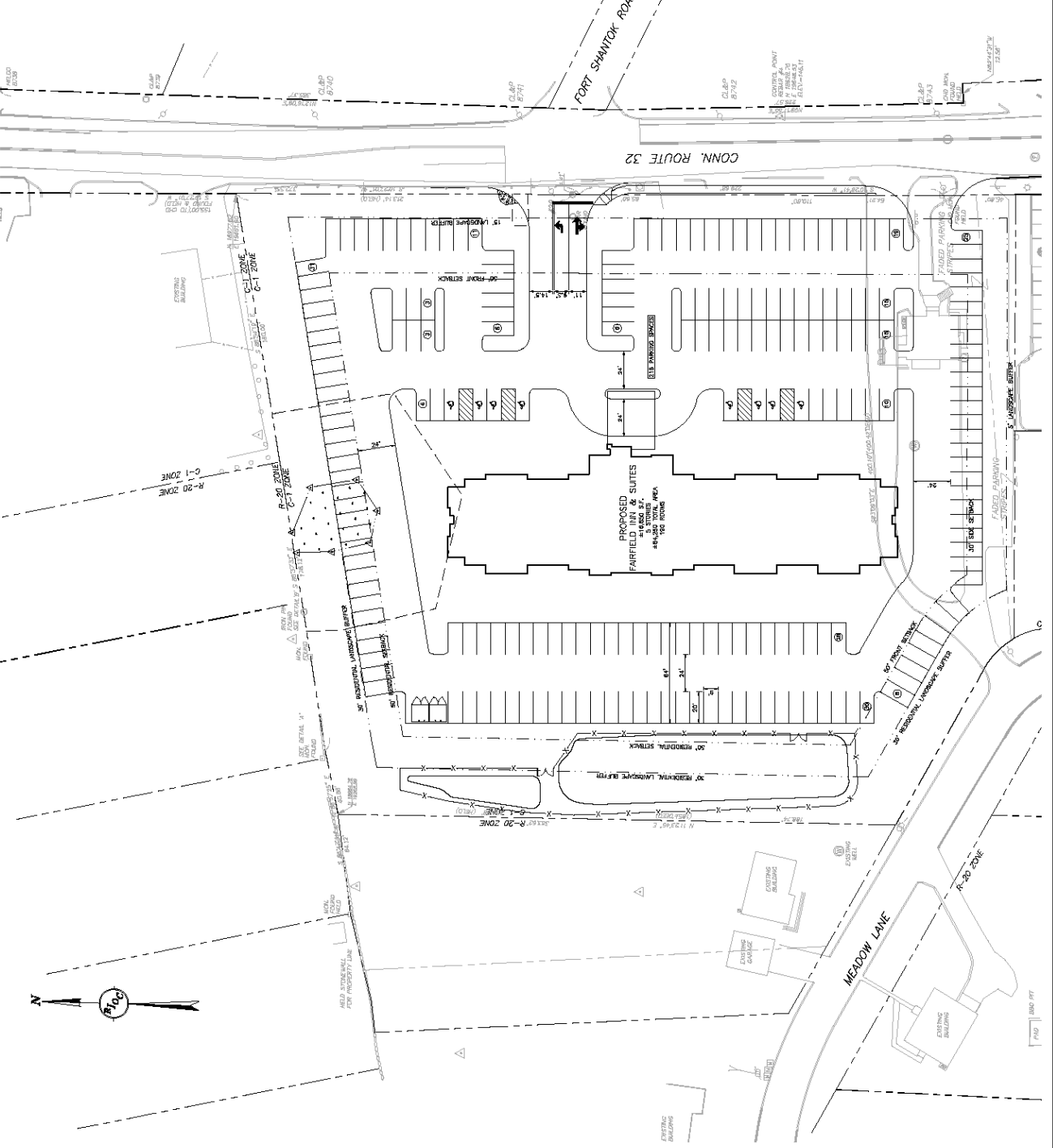
Prepared by: <b>R/O'CONNELL &amp; ASSOCIATES INC.</b> Civil Engineers & Land Planners 80 MIDDLEVALE AVENUE STORHAM, MA 02180 FAX: 781.276.0773	Project Name: <b>MONTVILLE, CT</b>	Project No.: <b>CP-13</b> Project No.: 06034
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**ZONING SUMMARY TABLE**

MONTVILLE, CONNECTICUT  
 1. SITE MUST BE REZONED TO C-2 TO ALLOW HOTEL USE (ALLOWED BY RPH)

REQUIREMENTS (C-2 ZONE)	REQUIRED	PROPOSED
MINIMUM LOT AREA	30,000 SQ. FT.	30,000 SQ. FT.
MINIMUM LOT WIDTH	100 FT.	100 FT.
MINIMUM LOT DEPTH	100 FT.	100 FT.
MINIMUM FRONT YARD SETBACK	20 FT.	20 FT.
MINIMUM SIDE YARD SETBACK	5 FT.	5 FT.
MINIMUM REAR YARD SETBACK	5 FT.	5 FT.
MINIMUM FRONT SETBACK	20 FT.	20 FT.
MINIMUM SIDE SETBACK	5 FT.	5 FT.
MINIMUM REAR SETBACK	5 FT.	5 FT.
MINIMUM FRONT SETBACK	20 FT.	20 FT.
MINIMUM SIDE SETBACK	5 FT.	5 FT.
MINIMUM REAR SETBACK	5 FT.	5 FT.
MINIMUM FRONT SETBACK	20 FT.	20 FT.
MINIMUM SIDE SETBACK	5 FT.	5 FT.
MINIMUM REAR SETBACK	5 FT.	5 FT.

HOTEL USE (4)  
 1. SPACE PER 2 SUITES  
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MINIMUM DENSITY REQUIREMENTS	REQUIRED
MAXIMUM DENSITY REQUIREMENTS	14 UNITS PER ACRE OF DEVELOPABLE LAND 14,640 SF = 1/3 ACRE
MIN. OPEN SPACE	31.6 %
MIN. SETBACK FROM EXIST. RESIDENTIAL	75.0 FT.
MIN. SETBACK FROM EXIST. PUBLIC ROW	50 FT.
MIN. LANDSCAPE BUFFER	5 FT.
MAX. BUILDING HEIGHT	40 FT. (3 STORIES)

MINIMUM DENSITY REQUIREMENTS	REQUIRED
MIN. SETBACK FROM EXIST. RESIDENTIAL	75.0 FT.
MIN. SETBACK FROM EXIST. PUBLIC ROW	50 FT.
MIN. LANDSCAPE BUFFER	5 FT.
MAX. BUILDING HEIGHT	40 FT. (3 STORIES)

- MONTVILLE, CT ZONING CHART**
- RESIDENTIAL**
- R-20 ZONE: MINIMUM DENSITY REQUIREMENTS: 14 UNITS PER ACRE OF DEVELOPABLE LAND
  - C-1 ZONE: MINIMUM DENSITY REQUIREMENTS: 14 UNITS PER ACRE OF DEVELOPABLE LAND

- PROVIDED**
- 51
  - 31.6 %
  - 75.0 FT.
  - 50 FT.
  - 5 FT.
  - 40 FT. (3 STORIES)

- PARKING CHART**
- | REQUIRED                                    | PROVIDED       |
|---|----------------|
| 8 FT. X 18 FT. (CARS)                       | 9 FT. X 20 FT. |
| 5.0 SPACES PER 1,000 SF OF GROSS FLOOR AREA | 156 SPACES     |
| MINIMUM 25' WIDE DRIVEWAY                   |                |
| MINIMUM 10' WIDE DRIVEWAY                   |                |
| MINIMUM 8' WIDE DRIVEWAY                    |                |
| MINIMUM 6' WIDE DRIVEWAY                    |                |
| MINIMUM 4' WIDE DRIVEWAY                    |                |
| MINIMUM 2' WIDE DRIVEWAY                    |                |

1. DEVELOPABLE LAND IS THE AREA OF LAND AFTER REDUCING ANY AREA DEEMED AS AN INLAND WETLAND OR ANOTHER REGULATED AREA, AND THE AREA OF LAND AFTER REDUCING ANY AREA DEEMED AS A CONTINGENT ACQUISITION OF 25 FEET TOTAL LOT AREA - 14,632 SF DEVELOPABLE AREA = 14,640 SF

2. CONCEPTUAL LAYOUTS OF THE PROPOSED DEVELOPMENT MUST BE SUBMITTED AND APPROVED BY THE TOWN ENGINEER AND PROFESSIONAL ARCHITECT BEFORE ANY CONSTRUCTION OF THE DEVELOPMENT BEGINS. THE ARCHITECT'S REQUIREMENTS ARE BASED ON MULTI-FAMILY WITH LESS THAN 20 UNITS.

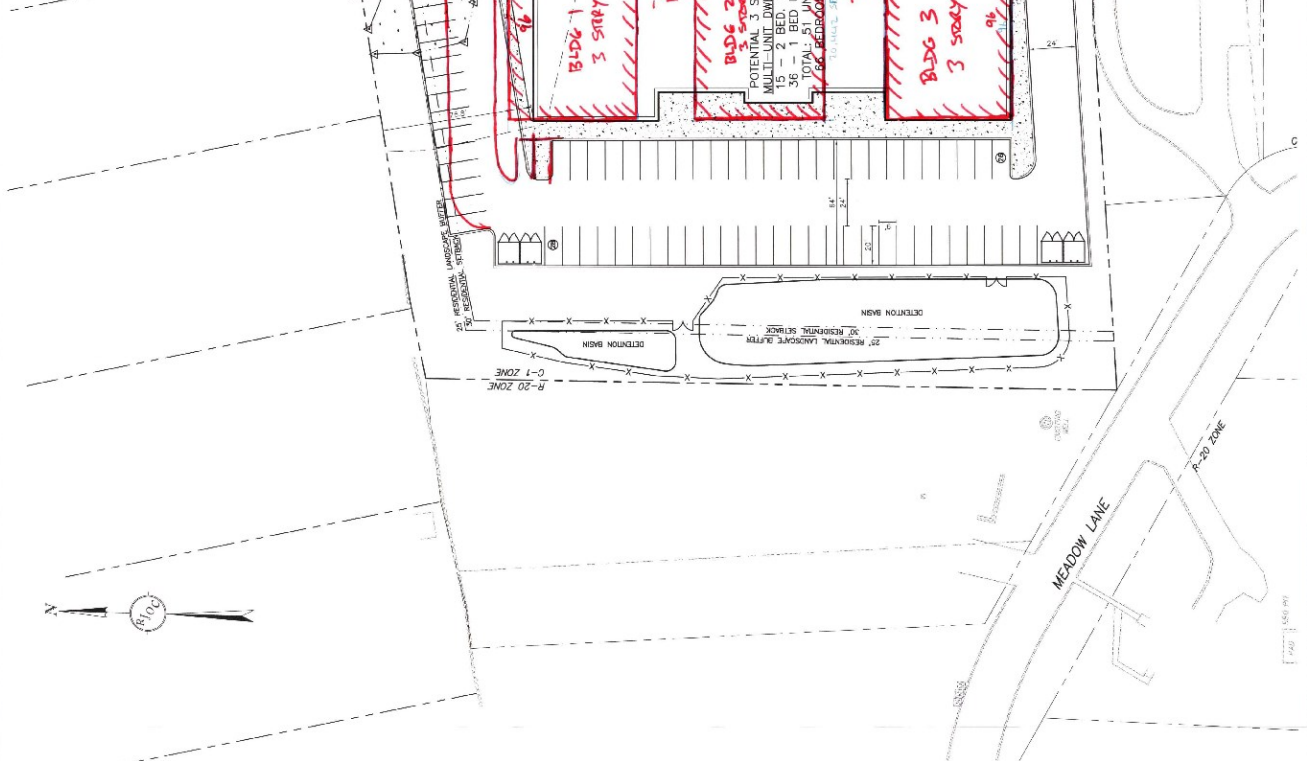
3. EVERY PARKING LOT MUST COVER 80.000 SQUARE FEET OR MORE, BUT LESS THAN 80,000 SQUARE FEET OF LOT AREA, INCLUDING ACCESSORY, SIDE AND REAR PARKING SPACES, EXCEPT WHERE SHOWN OTHERWISE.

4. CONCRETE SUCH LANGUAGED AREA MAY INCLUDE STAIRS, WALKWAYS, DRIVEWAYS AND DRIVEWAYS, INCLUDING OPENING SPACES SHALL BE LOCATED SO AS TO PROVIDE WITH AESTHETIC VALUE AND VISIBILITY.

5. A LANDSCAPED BUFFER 15 FEET IN WIDTH AND PROVIDED WITH A 6" BERM SHALL BE LOCATED BETWEEN THE PROPOSED DEVELOPMENT AND EXISTING DEVELOPMENT, EXCEPT AS OTHERWISE REQUIRED. SUCH BUFFER SHALL PROVIDE VISUAL SCREENING AS WELL AS SOUND ATTENUATION. ALL FURNISHINGS SHALL BE LOCATED WITHIN A PERIOD OF 2 FEET FROM THE PERIMETER OF THE BUFFER.

6. OR SHAWTE CORNER LOT SHALL BE LOCATED TO THE RIGHT OF THE BUFFER AND LOCATED WITHIN A PERIOD OF 2 FEET FROM THE PERIMETER OF THE BUFFER.

7. CONCEPTUAL LAYOUTS OF THE PROPOSED DEVELOPMENT MUST BE SUBMITTED AND APPROVED BY THE TOWN ENGINEER AND PROFESSIONAL ARCHITECT BEFORE ANY CONSTRUCTION OF THE DEVELOPMENT BEGINS.



Requested by: RMC/ODG  
 Drawn by: BLM  
 Checked by: 11/11/07  
 Date: 03/15/2010  
 Project No: 06004

Project Name:  
 RMC CONSULTING INC.  
 80 MONTVILLE AVENUE  
 MONTVILLE, CT 06034  
 PHONE: 860.405.0221  
 FAX: 860.405.0131

Project Name:  
**RJO'CONNELL**  
 & ASSOCIATES, INC.  
 Civil Engineers & Land Planners  
 80 MONTVILLE AVENUE  
 MONTVILLE, CT 06034  
 PHONE: 860.405.0221  
 FAX: 860.405.0131

Project Name:  
**MONTVILLE CT**  
 CONCEPTUAL  
 SITE PLAN

Project No:  
**CP-15A**  
 06004  
 08004

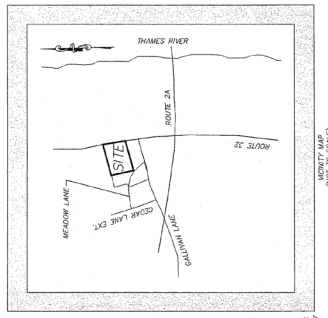
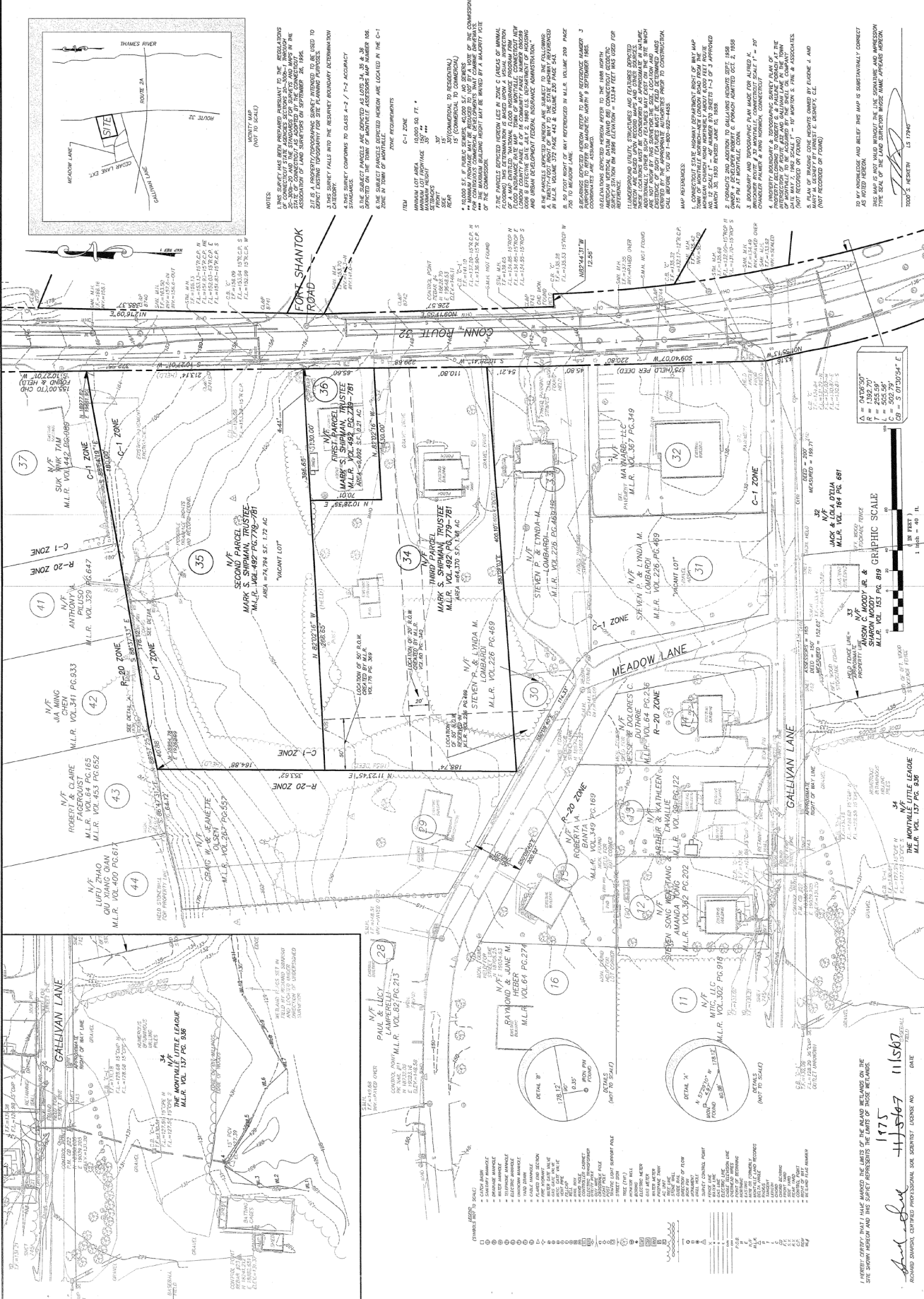
3 BUILDING  
 CONCEPT





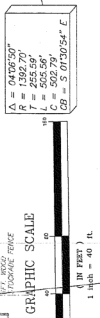
R.L. O'CONNELL & ASSOCIATES, INC.  
PROPERTY/TOPOGRAPHIC SURVEY  
CONN. ROUTE 32  
MONTVILLE, CONNECTICUT  
DATE: 09-10-07  
DRAWN BY: CAD  
CHECKED BY: TSW  
SCALE: 1" = 40'  
SHEET NO. 1 OF 2

F.A.H. F. A. Heeketh & Associates, Inc.  
1800 Lake Road  
Farmington, CT 06030  
Phone: (860) 653-8000  
Fax: (860) 653-8000  
e-mail: info@fahsurvey.com



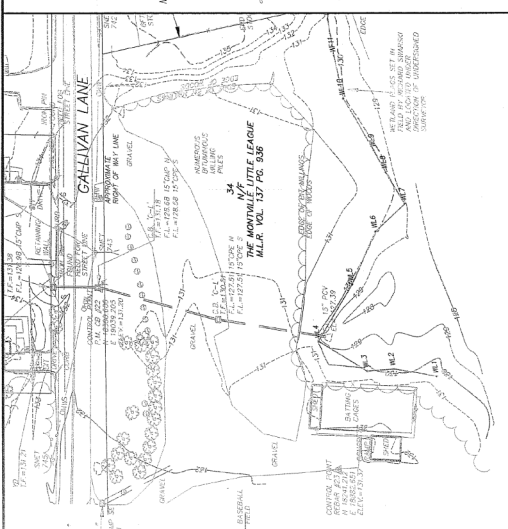
NOTES  
1. THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF THE STATE OF CONNECTICUT, AND THE SURVEYOR HAS BEEN LICENSED BY THE STATE OF CONNECTICUT.  
2. THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE REGULATIONS OF THE STATE OF CONNECTICUT.  
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PROPERTY/TOPOGRAPHIC SURVEY  
CONN. ROUTE 32  
MONTVILLE, CONNECTICUT  
DATE: 09-10-07  
DRAWN BY: CAD  
CHECKED BY: TSW  
SCALE: 1" = 40'  
SHEET NO. 1 OF 2



GRAPHIC SCALE  
1 inch = 40 ft.

1175  
111567  
DATE  
RECORDS SECTION, CERTIFIED PROFESSIONAL SURVEYOR LICENSE NO.



DETAIL 'X'  
DETAIL 'Y'  
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