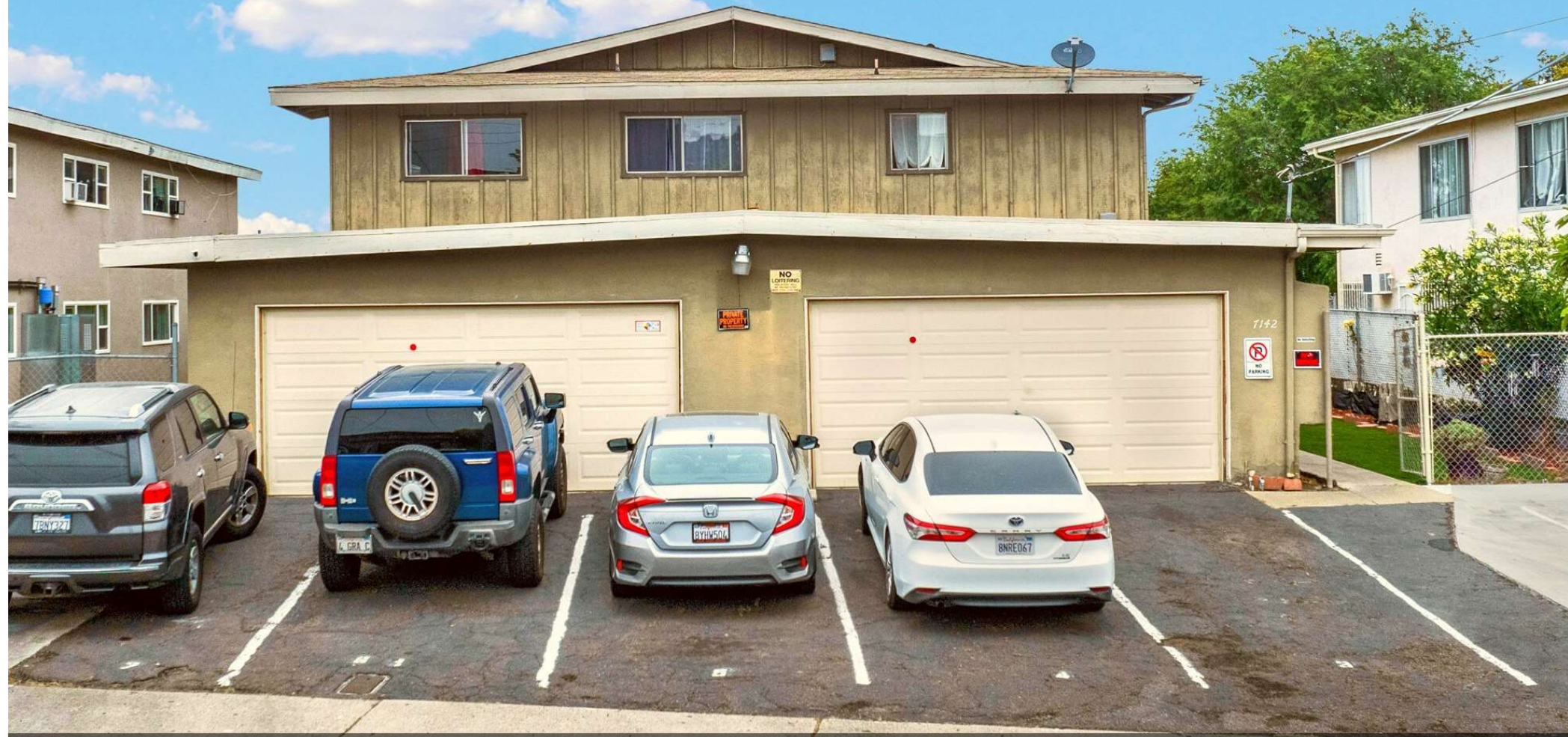


7142 Westview Pl

LEMON GROVE 91945



**4 LARGE 3-BEDROOM / 2-BATHROOM UNITS
EXCLUSIVELY LISTED BY DOUG TABER, CCIM
KELLER WILLIAMS REALTY**

Doug Taber & Keller Williams Realty – CA Real Estate Broker - has been retained as the exclusive listing and marketing agent to the Seller in connection with the Seller's solicitation of offers for the purchase of the property. The information contained in the following Marketing Package is proprietary and strictly confidential. Prospective buyers are advised that as part of the solicitation process, Seller will be evaluating several factors including the current financial qualifications of the prospective Buyer. The Seller expressly reserves the right, at its sole and absolute discretion, to evaluate the terms and conditions of any offer and reject any or all offers and/or expressions of interest to purchase the Property and expressly reserves the right, at its sole discretion, to terminate negotiations with any entity, for any reason, at any time with or without notice. The Seller shall have no legal commitment or obligation to any entity reviewing the Marketing Package or making an offer to purchase the Property unless and until the Seller executes and delivers a signed Real Estate Purchase Agreement on terms acceptable to Seller, in Seller's sole discretion. By submitting an offer, a prospective purchaser will be deemed to have acknowledged the foregoing and agreed to release the Seller and Doug Taber & Keller Williams Realty – CA Real Estate Broker from any liability with respect thereto.

All financial projections and information are provided for general reference purposes only and are based on assumptions relating to the general economy, market conditions, competition and other factors beyond the control of Doug Taber & Keller Williams Realty – CA Real Estate Broker and the Seller. Therefore, all projections, assumptions and other information provided and made herein are subject to material variation. All references to rents, income, revenues, expenses acreages, square footages and other measurements are approximations. The information contained herein is subject to change without notice and the recipient of these materials shall not look to the Seller or Doug Taber nor any of their officers, employees, representatives, independent contractors or affiliates, for the accuracy or completeness thereof. Recipients of this Marketing Package are advised and encouraged to conduct their own comprehensive review and analysis of the Property. Doug Taber & Keller Williams Realty has not verified, and will not verify, any of the information contained herein, nor has Doug Taber & Keller Williams Realty conducted any investigation regarding these matters and makes no warranty or representation whatsoever regarding the accuracy or completeness of the information provided. All potential buyers must take appropriate measures to verify all of the information set forth herein. Prior to submitting an offer, prospective purchasers should consult with their own legal counsel and personal and tax advisors to determine the consequences of an investment in the Property and arrive at an independent evaluation of such investment. Doug Taber & Keller Williams Realty has not made any investigation, and makes no warranty or representation, with respect to the income or expenses for the subject property, the future projected financial performance of the property, the size and square footage of the property and improvements, the presence or absence of contaminating substances, asbestos, the compliance with State and Federal regulations, the physical condition of the improvements thereon, or the financial condition or business prospects of any tenant, or any tenant's plans or intentions to continue its occupancy of the subject property.

Neither Doug Taber nor the Seller make any representation or warranty, express or implied, as to the accuracy or completeness of the information contained herein, and nothing contained herein is or shall be relied upon as a promise or representation as to the future performance of the Property. This Marketing Package has been prepared to provide summary, unverified information to prospective purchasers, and to establish only a preliminary level of interest in the subject property. The information contained herein is not a substitute for a thorough due diligence investigation. Any proforma or market income, expense and revenues contained herein do not constitute a representation, guaranty or warranty. Potential Buyers are encouraged to perform their own examination and inspection of the Property and information relating to same. Buyer shall rely solely on such examination and investigation and not on this Marketing Package or any information or materials contained herein or otherwise provided. This Marketing Package may include certain statements and estimates by Doug Taber with respect to the projected future performance of the Property. These Assumptions may or may not be proven to be correct, and there can be no assurance that such estimates will be achieved. Furthermore, Doug Taber and the Seller disclaim any and all liability for representations or warranties, expressed or implied, contained in or omitted from this Marketing Package, or any other written or oral communication transmitted or made available to the recipient.

No legal obligation or commitment shall arise by reason of the Marketing Package or its contents. Verification and analysis of the information contained herein is solely the responsibility of the prospective Buyer. Neither the Seller nor the broker nor any of their officers, agents or principals have made or will make any representations or warranties, expressed or implied as the accuracy or completeness of this Marketing Package or any of its contents. The property is to be sold in as-is, where-is condition without any representation as to the physical, financial or environmental condition of the property. Buyer agrees and acknowledges that the neither the broker nor the seller shall have any post closing obligation or responsibility to the Buyer. Further, any prospective Buyer acknowledges and agrees that the Broker and Seller will assume no post-closing obligation to the Buyer. Seller and Buyer understand, acknowledge and agree that the Agent may represent both the Seller and Buyer in the Sale and further acknowledges that they have authorized and consented to such dual representation. Potential Buyer agrees and acknowledges that the Seller and Doug Taber make no representations or warranties as to the condition or performance of the property and the Buyer agrees to hold both the Seller and Doug Taber harmless and indemnify the Seller and Doug Taber & Keller Williams Realty any and all matters concerning the subject property and hereby Doug Taber its agents, affiliates, directors and principals from any claims, and liability whatsoever.

EXCLUSIVELY LISTED BY:

Doug Taber, CCIM

Associate Broker | Keller Williams Realty

Direct: 619-483-1031

Email: Mail@DougTaber.com

DRE: #01920184

www.DougTaber.com

7142 Westview Pl, Lemon Grove 91945

4 UNIT RENTAL PROPERTY | LEMON GROVE

KELLER
WILLIAMS®

APN: 479-110-04-00

No. of Units: 4

Year Built: 1965

NRSF: 4,510 SF¹

Lot Size: 0.2 AC (8,821 SF)

Zoning: R-3¹

Price: \$1,375,000

Price / Unit: \$343,750

Price / SQ: \$305¹

Unit Mix: (4) 3 bed, 2 bath

Parking: 7 Open Spots
4 Garaged Spots

Occupancy: 100%

Market: Lemon Grove

¹SF Based on CRS Data. Buyer to verify.



7142 Westview Pl, Lemon Grove 91945

RARE FOURPLEX OPPORTUNITY IN LEMON GROVE: ALL 3-BEDROOM, 2 BATH UNITS WITH VALUE-ADD POTENTIAL FOR UNDER \$1.5M!

We are thrilled to present an exclusive opportunity to acquire this rare fourplex, featuring all 3-bedroom, 2-bath units. Located in the prime area of Lemon Grove, this property offers excellent proximity to major shopping retailers, San Diego State University, and easy arterial access to downtown San Diego. This makes it an attractive housing option for employees of surrounding businesses, SDSU students, and urban professionals, all within a short drive to downtown.

This community offers seven off-street parking spots and the potential for additional income through garage rentals and on-site laundry hook-ups. While a formal ADU study has not been completed for this property, it is worth noting that one neighbor has successfully converted their garages, and another is currently in the process.

This building is an ideal option for an owner-occupied "house-hack" or for a savvy investor looking to acquire a rare all 3-bedroom, 2-bath property with lots of upside.

Contact us today at (619) 483-1031 or RentalPropertyBroker.com to learn more about this incredible opportunity to own this true gem!

- **MOST Sought After Unit Mix:** All units are 3-bedroom, 2-bath.
- **Value-Add Opportunities:** Potential to increase rents, add laundry services, and rent out garages.
- **Desirable Location:** Located in a strong tenant employment area with nearby shopping centers, restaurants, and parks, all close to downtown San Diego.



7142 Westview Pl, Lemon Grove 91945

PROPERTY PHOTOS

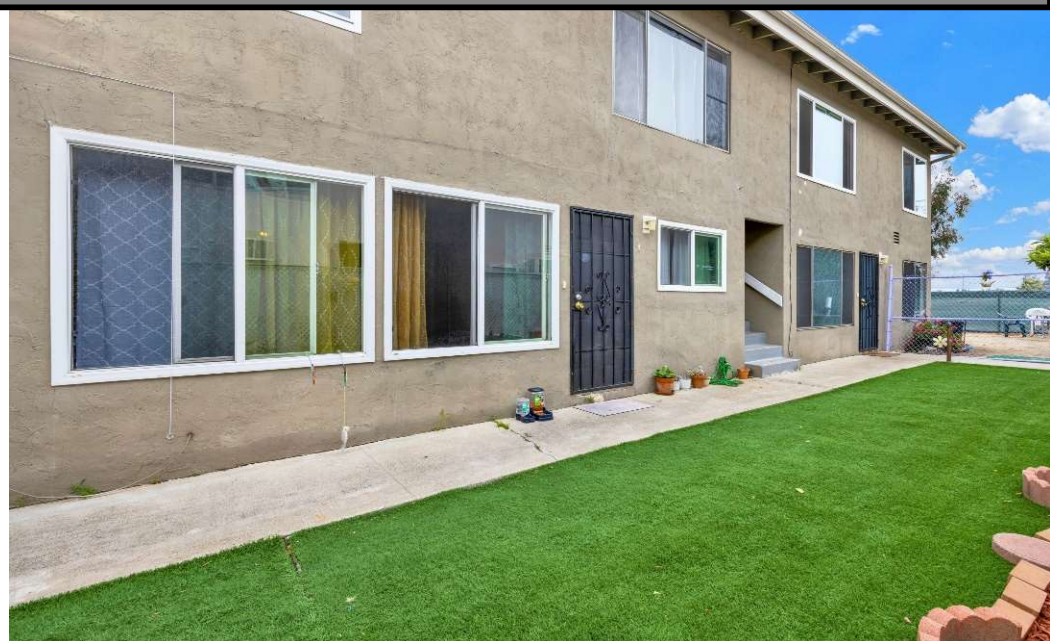
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EXTERIOR PHOTOS

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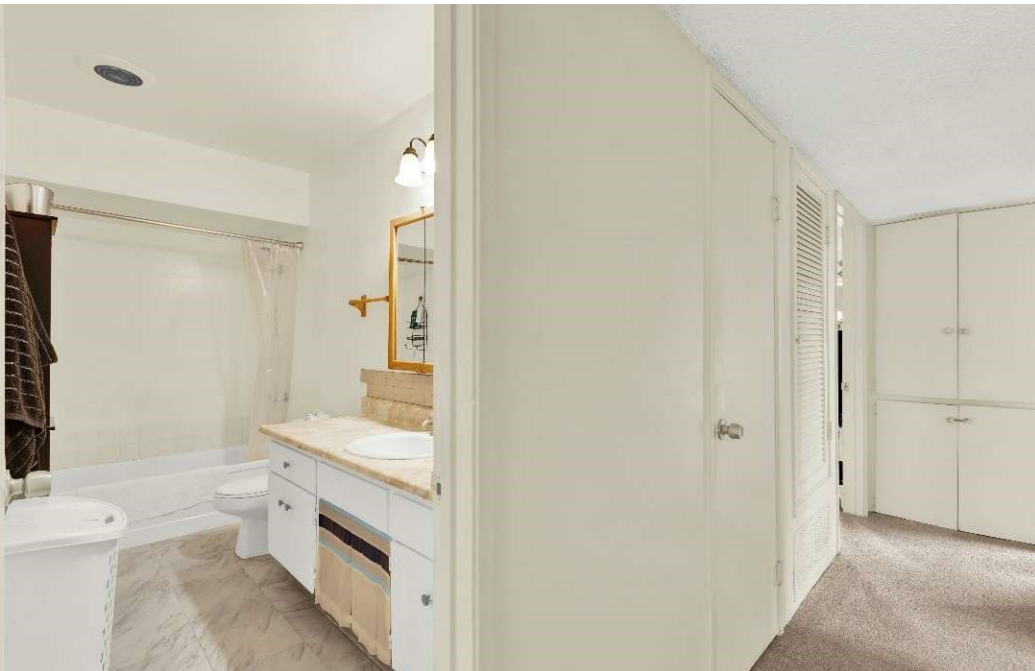
EXTERIOR PHOTOS

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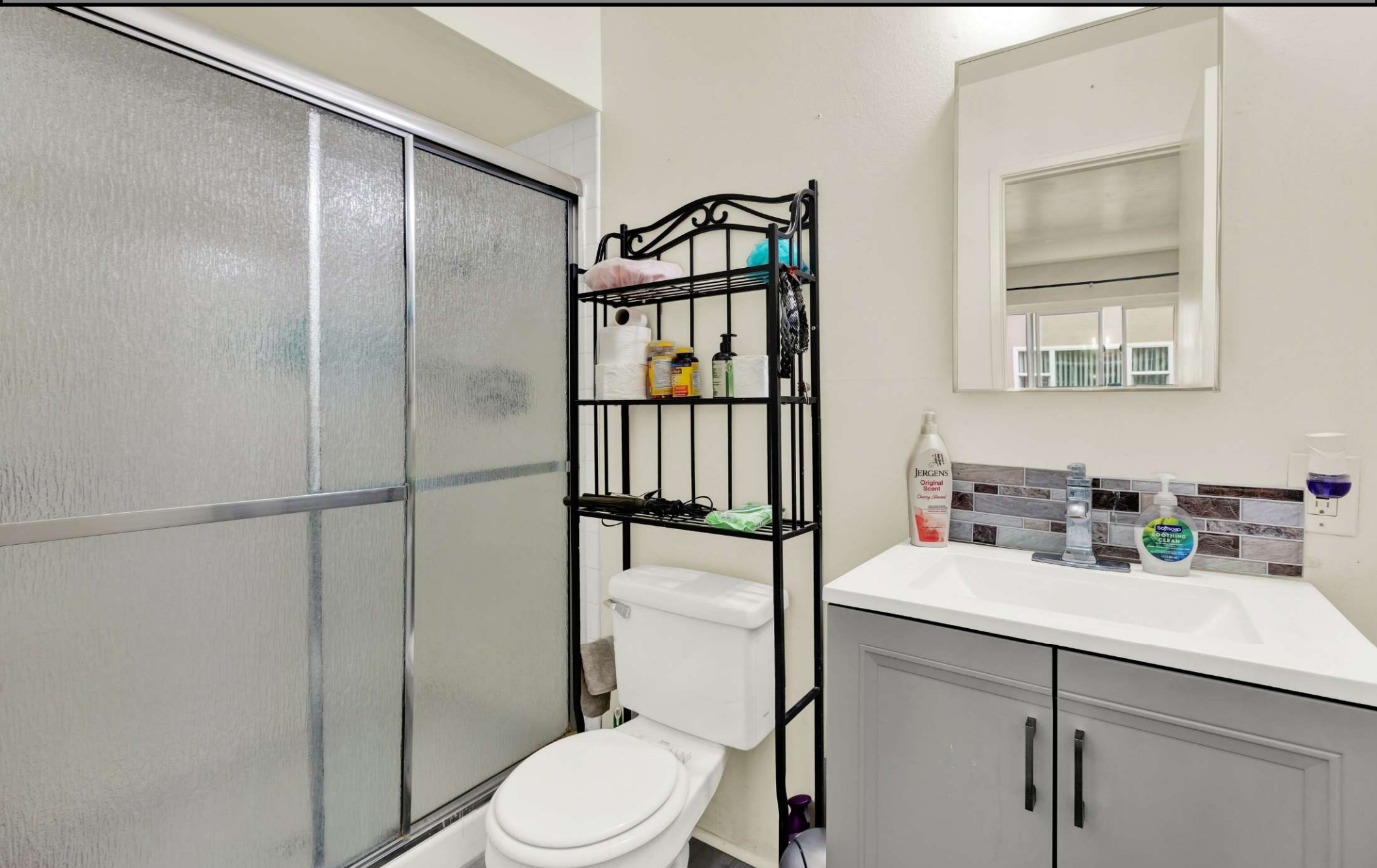
7142 Westview Pl, Lemon Grove 91945











553-555 Flower St, Chula Vista, CA 91910

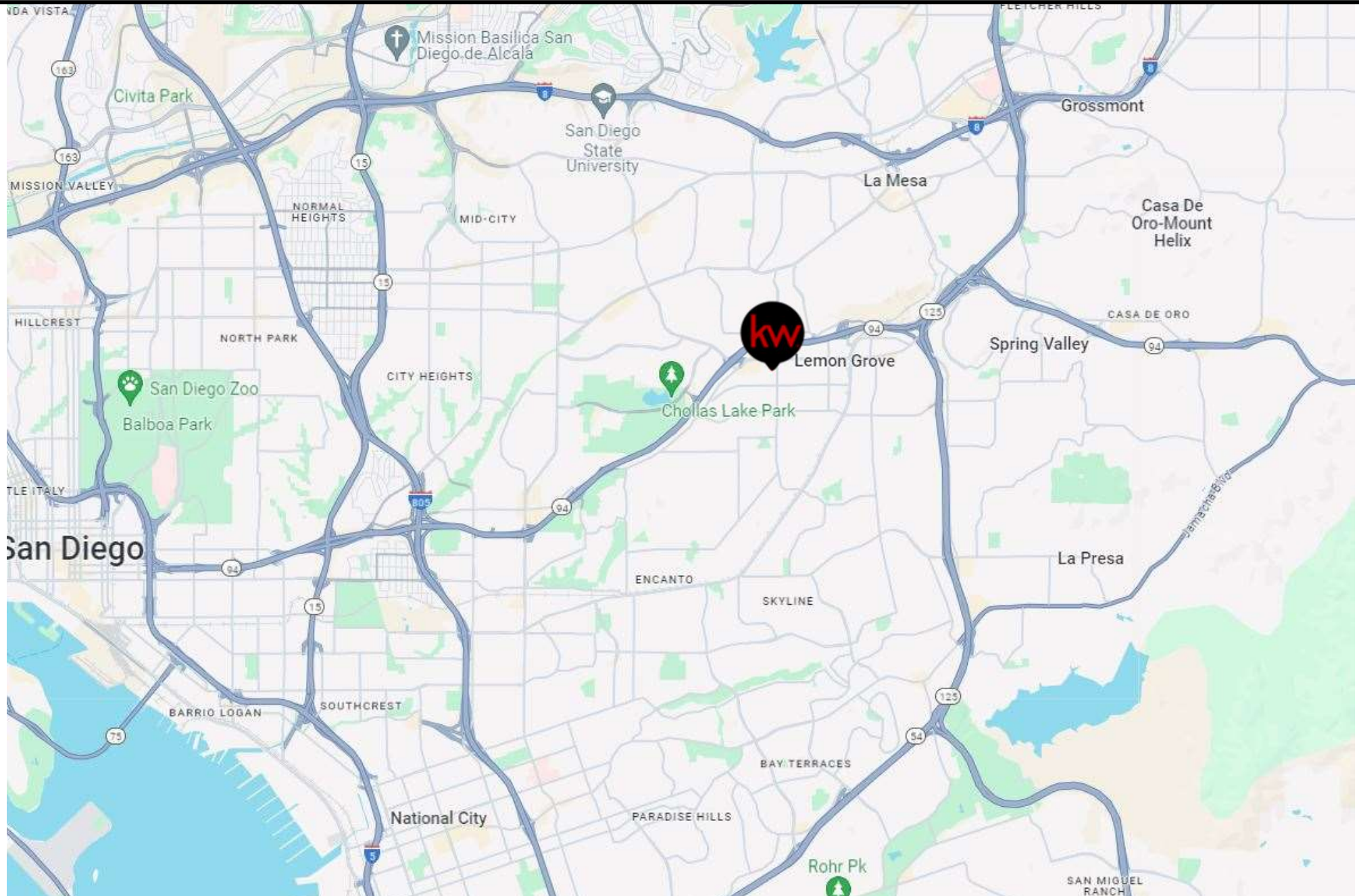
LOCATION

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LOCATION MAP

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7142 Westview Pl, Lemon Grove 91945

LOCATION MAP

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7142 Westview Pl, Lemon Grove 91945

LEMON GROVE

Lemon Grove is a city in San Diego County, California that has a population of 27,627 as of the 2020 census. From the 1860s to 1900, the area was known for sheep and poultry ranching and vegetable crops. In the early 1900s, the community acquired its name when large citrus groves were planted, and lemon and orange growing became the area's major industry. It is architecturally best known for the large monument of a lemon placed in 1963. The ten-foot-wide sculpture located on Main Street lies before a small lemon grove beside the Orange Line Trolley tracks near the local Trolley station.

Sensory Experiences

Lemon Grove offers a valuable settling space just outside of Downtown San Diego. Connected to downtown via the Martin Luther King Jr. freeway (94) allowing residents to experience what Downtown has to offer only a short drive away. Staying local, visitors can visit a number of unique eateries like Charley's Famous Hamburger, or the iconic Grove Grinder of Lemon Grove. Local night owls may also enjoy Dirks Nightclub for an energized nightlife.



553-555 Flower St, Chula Vista, CA 91910

In 1925, Tony Sonka, a distinguished merchant who recognized Lemon Grove's emerging significance within San Diego County, proudly proclaimed that Lemon Grove boasted the "Best Climate on Earth." This bold declaration has resonated through time, becoming the city's enduring slogan for over a century. The phrase not only highlights the area's favorable weather but also reflects the community's pride and identity.



7142 Westview Pl, Lemon Grove

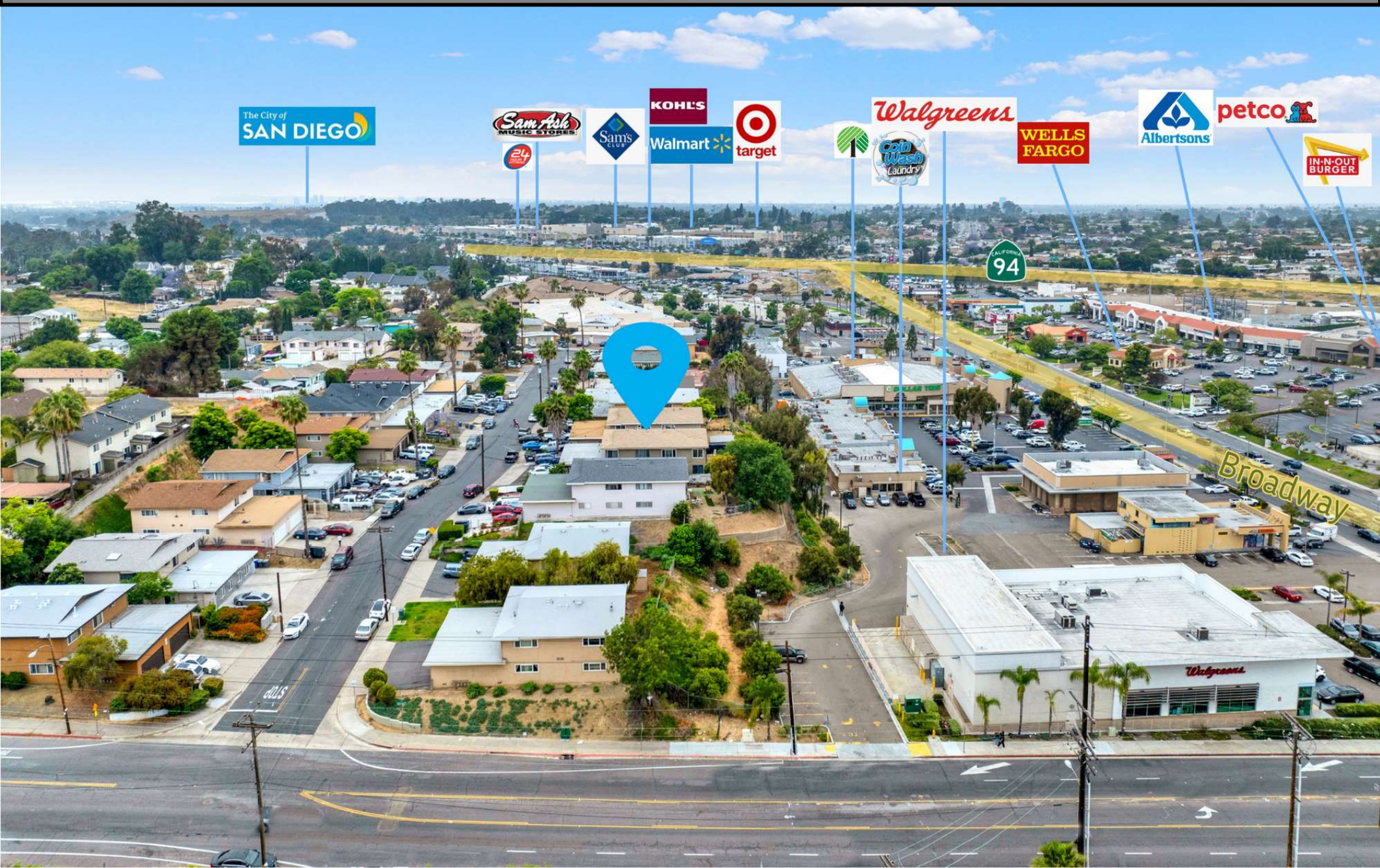
Very Walkable and bikeable location (83 walking score and 37 bikeable score), this building is close to everyday shopping, casual restaurants, fitness centers, and an easy commute to Downtown San Diego, making it attractive to long-term tenants.



7142 Westview Pl is miles away:

- **0.3 Miles** to Albertsons
- **0.8 Miles** to Iconic Grove Grinder
- **1.0 Miles** to Walmart & Target
- **1.0 Miles** to Sprouts Farmers Market
- **1.0 Miles** to Downtown Lemon Grove
- **1.3 Miles** to 24 Hours Fitness
- **1.3 Miles** to Sam's Club
- **1.5 Miles** to Charley's Famous Hamburgers
- **1.9 Miles** to Bonita Golf Course
- **2.2 Miles** to Chollas Park & Reservoir
- **3.2 Miles** to Colina Park Golf Course
- **4.6 Miles** to San Diego State University
- **7.3 Miles** to Sweetwater Park Trails
- **7.6 Miles** to Downtown San Diego
- **7.8 Miles** to Naval Base SD Port Ops.
- **9.6 Miles** to Balboa Park & SD Zoo
- **11.6 Miles** to San Diego Int. Airport





7142 Westview Pl, Lemon Grove 91945



7142 Westview Pl, Lemon Grove 91945



FINANCIALS

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PRICING ANALYSIS

# Units	Address	City	State	Zip	Yr Built (Aprx.)	Gross Sq. Ft.	Parcel Size	Acres	APN	
4	7142 Westview Pl	Lemon Grove	CA	91945	1965	4,510	8,821	0.20	479-110-04-00	
GRM			CAP Rate %			Rentable				
Price	Current	Potential	Current	Potential	\$ / Unit	\$ / Sq Ft	Sq Ft			
\$1,375,000	17.1	9.8	2.7%	6.9%	\$343,750	\$305	4,510			
Estimated Average Monthly Income Analysis					Estimated Annual Operating Expenses					
Units	Bed	Bath	Current Rent	Total	Potential Rent	Total	Advertising	\$0	Management (Off-Site)	\$9,600
1	3	2.0	\$1,900	\$1,900	\$2,925	\$2,925	Cleaning/ Turnover	\$0	Miscellaneous	\$250
1	3	2.0	\$2,000	\$2,000	\$2,925	\$2,925	Credit Check/Bank	\$0	Painting	\$800
1	3	2.0	\$1,700	\$1,700	\$2,925	\$2,925	Gardener	\$0	Repairs/Replacements	\$4,000
1	3	2.0	\$1,100	\$1,100	\$2,925	\$2,925	Gas & Electric	\$1,200	Salaries	\$0
0	Garage Spaces - Income		\$0	\$0	\$0	\$200	Insurance	\$2,400	Taxes*	\$14,438
no	Laundry Income			\$0		\$75	Pest Control	\$430	Trash Collection	\$2,960
no	RUBS			\$0		\$300	Management (On-Site)	\$0	Water & Sewer	\$3,930
no	Other Income			\$0		\$0				
Total Rental & Other Income				\$6,700		\$11,700			Total Annual Expenses	\$40,008
7 Total Parking Spaces									Expenses per: Est Sq Ft:	\$8.87
4 Garage									Unit:	\$10,002
0 Open									GSI:	49.76%
Annual Operating Proforma						Financing Information				
				Actual		Potential	Down Payment	69%	Amount	\$948,750
Gross Rental Income				\$80,400		\$140,400	Interest Rate	7.98%		
Plus Other Income				\$0		\$6,900	# of Years Amortized Over	30		
Gross Scheduled Income				\$80,400		\$140,400	Proposed Financing	31%	Amount	\$426,250
Less: Vacancy Factor	4%			\$3,216		\$5,616	Existing Financing	\$0		
Gross Operating Income				\$77,184		\$134,784	Debt Coverage Ratio	Current	0.99	
Less: Operating Expenses	49.8%			\$40,008		\$40,008				
Net Operating Income				\$37,177		\$94,777				
Less: First TD Payments				\$37,461		\$37,461				
Pre-Tax Cash Flow				(\$284)		\$57,316				

7142 Westview Pl, Lemon Grove 91945

Your rent seems to be a good deal!

Unless your rental is in poor condition or has fewer amenities than most.



[Toggle Street View](#)

7142 Westview Place Lemon Grove, CA



Results based on 6, 3-bedroom, 1 1/2 or more bath rentals seen within 12 months in a 0.50 mile radius.

AVERAGE	MEDIAN	25 TH PERCENTILE	75 TH PERCENTILE
\$2,925 ±15%	\$3,200	\$2,179	\$3,670

Historical Trend Line



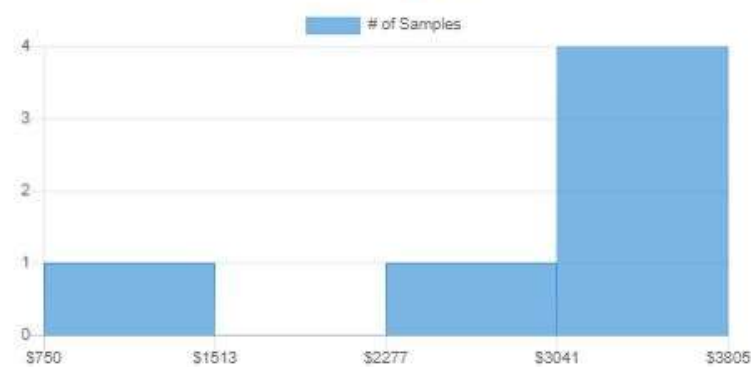
Average Rent by Bedroom Type



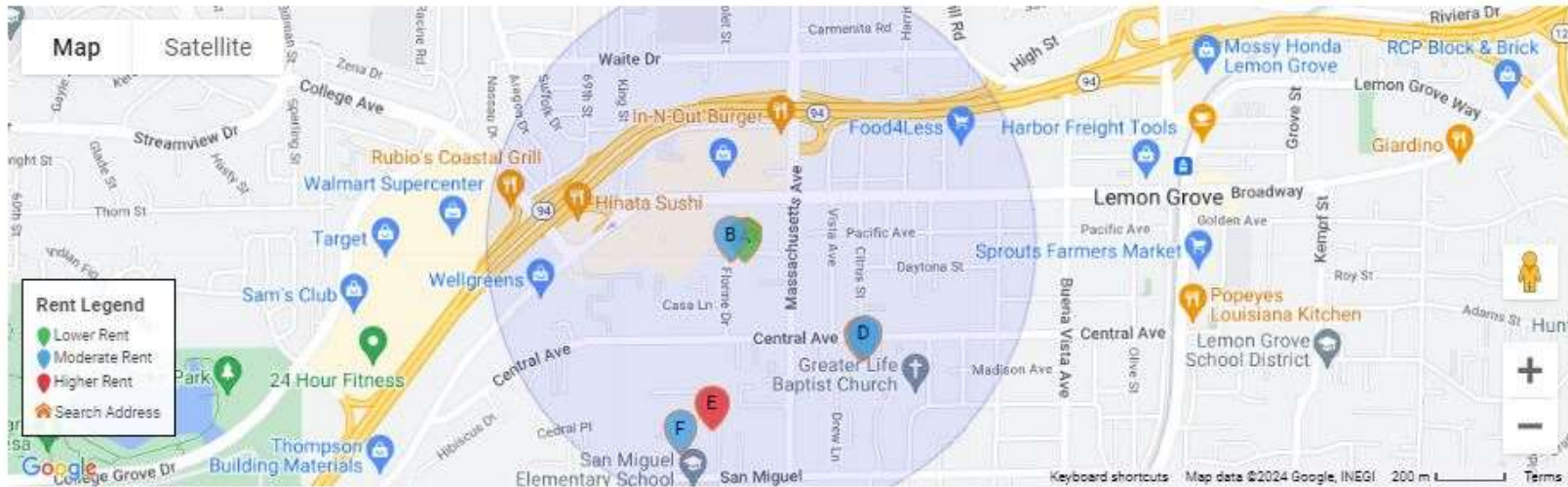
Summary Statistics

Sample Size	6
Sample Min	\$750
Sample Max	\$3,800
Sample Median	\$3,200
Sample Mean	\$2,925
Sample Standard Deviation	\$1,105
25th - 75th Percentile	\$2,179 - 3,670
10th - 90th Percentile	\$1,509 - 4,340
5th - 95th Percentile	\$1,107 - 4,742

Rent Distribution



3 BEDROOM RENT COMPS



[Download Comps](#)

	Address	Distance	Rent	Size	\$/ft ²	Beds	Baths	Bldg Type	Last Seen
A	7131 Westview Pl, Lemon Grove, CA 91945 G Property Details	0.06 mi	\$750	1,200 ft ²	\$0.63/ft ²	3 bed	2ba	Apartment	Jun 2023
B	7123 Westview Pl, Lemon Grove, CA 91945 G Property Details	0.08 mi	\$3,000	1,150 ft ²	\$2.61/ft ²	3 bed	2ba	Apartment	Jun 2023
C	7303 Central Ave, Lemon Grove, CA 91945 G Property Details	0.34 mi	\$3,200	1,200 ft ²	\$2.67/ft ²	3 bed	2ba	Condo	Oct 2023
D	7309 Central Ave, Lemon Grove, CA 91945 G Property Details	0.34 mi	\$3,200	1,200 ft ²	\$2.67/ft ²	3 bed	2ba	Condo	Mar 2024
E	2804 Mercury Dr, Lemon Grove, CA 91945 G Property Details	0.42 mi	\$3,800	1,196 ft ²	\$3.18/ft ²	3 bed	2ba	House	Aug 2023
F	2764 Cornelius Pl, Lemon Grove, CA 91945 G Property Details	0.49 mi	\$3,595	1,336 ft ²	\$2.69/ft ²	3 bed	2ba	House	Jan 2024

7142 Westview Pl, Lemon Grove 91945

DOUG TABER

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kw

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