

SITE WORK PLANS FOR **HARMONY DENTAL**

2712 MATLOCK ROAD
LOT 73A2, A. NEWTON ADDITION
THE CITY OF ARLINGTON
TARRANT COUNTY, TEXAS

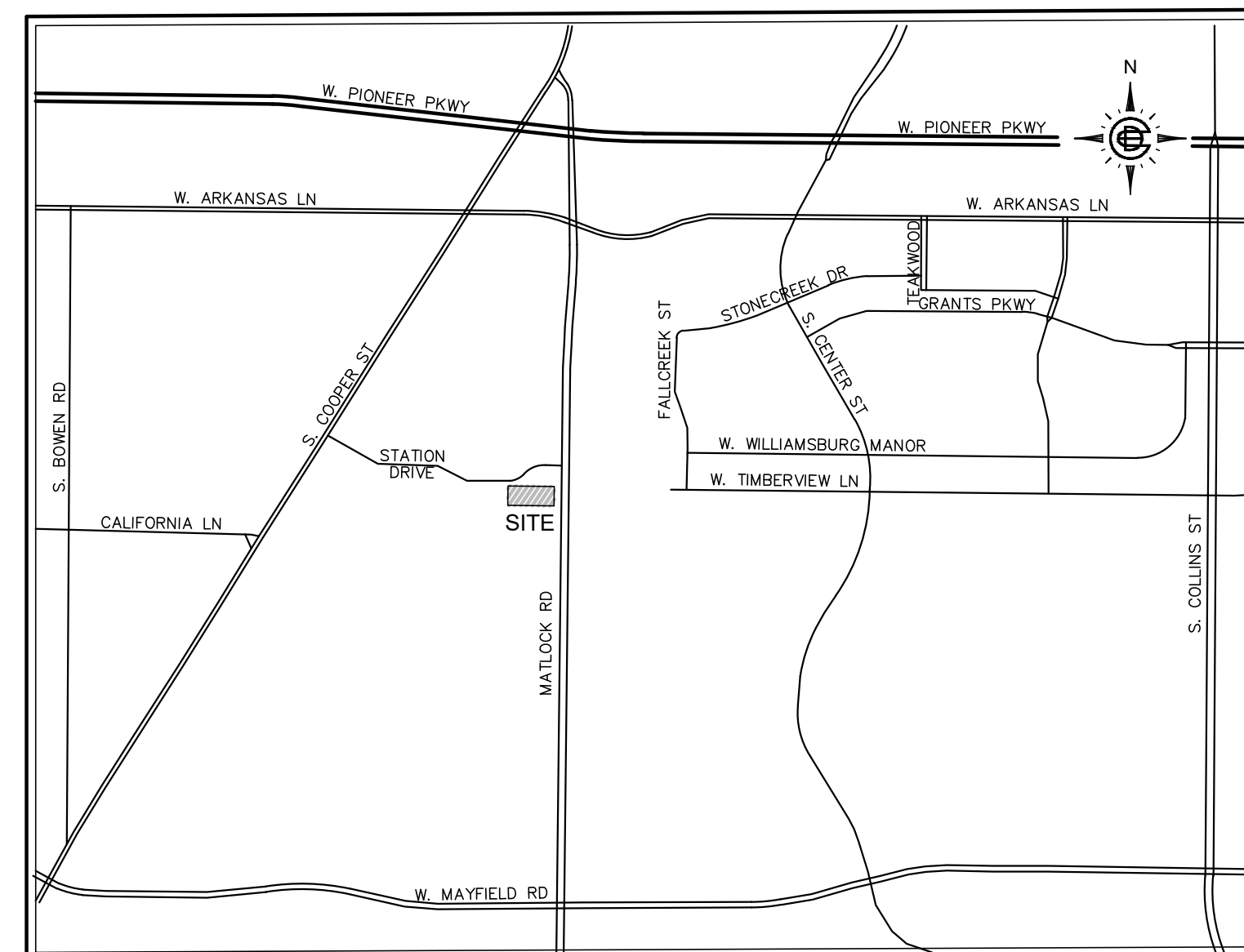
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VICINITY MAP
N.T.S.

SHEET INDEX

C0.1	TOPOGRAPHIC SURVEY
C0.2	PLAT
C1.1	GENERAL NOTES & LEGEND
C2.1	DEMOLITION PLAN
C3.1	DIMENSION CONTROL PLAN
C4.1	EROSION CONTROL PLAN
C4.10	EROSION CONTROL DETAILS
C5.1	GRADING PLAN
C6.1	DRAINAGE AREA MAP - EXISTING CONDITIONS
C6.2	DRAINAGE AREA MAP - DEVELOPED CONDITIONS
C7.1	WATER & SANITARY SEWER PLAN
C7.10	SANITARY SEWER PROFILES
C8.1	PAVING PLAN
C8.10 - C8.11	PAVING DETAILS

ISSUE DATE	DEC. FILE NO.
04/28/23	105913
CITY FILE NO.	SHEET NO.
-	C0.0

LEGAL DESCRIPTION

Being Lots 73A1 and 73A2, of A Newton Addition, an addition to the City of Arlington, Tarrant County, Texas, according to the plat thereof recorded in Document Number D215108338, Plat Records, Tarrant County, Texas.

SURVEYOR NOTES

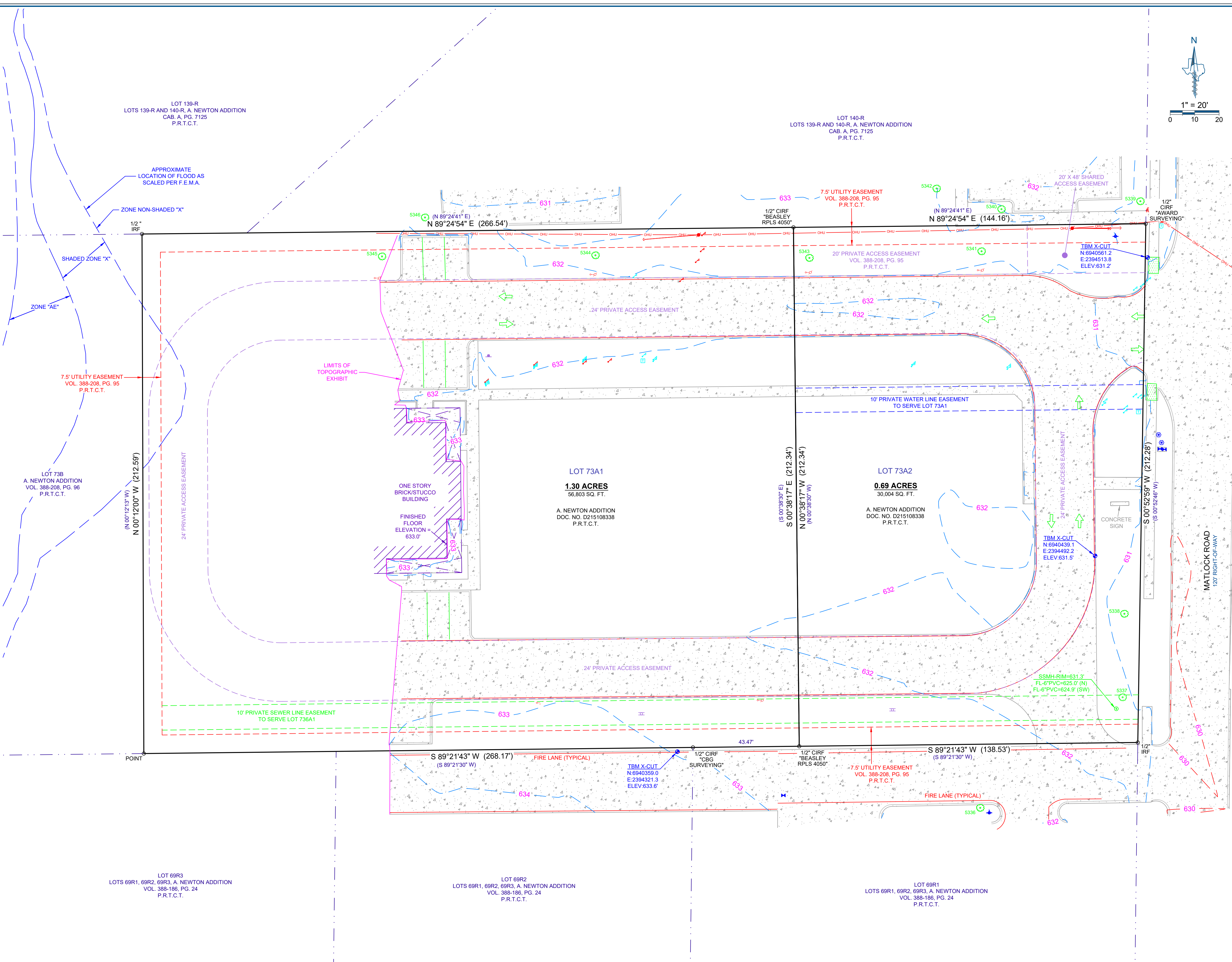
1. This survey was performed without the benefit of an Abstract of Title or Title Commitment. Research of record documents done by Eagle Surveying was performed for the purpose of determining the boundary of this property and adjoining parcels. Additional record documents may exist and encumber this property.
2. All building lines, setbacks, and easements shown hereon are by Document No. D215108338 unless noted otherwise.
3. The bearings shown on this survey are based on GPS observations utilizing the AllTerra RTK Network, North American Datum of 1983 (Adjustment Realization 2011).
4. Elevations shown on this survey are based on GPS observations utilizing the AllTerra RTK Network, North American Vertical Datum of 1988 (Geoid 12A).
5. Approximate locations of the Underground Utilities, if shown on this survey, were derived from above ground observations, Utility markings, and/or record documents. No excavation was performed on this site at the time of this survey. For the exact location of the Underground Utilities call 1-800-545-6005. Eagle Surveying, LLC accepts no liability as to the accuracy of the Underground Utilities.
6. This document represents an accurate on the ground survey of 2712 Matlock Road in the City of Arlington, Tarrant County, Texas, on February 21, 2022.

FLOOD NOTE

This property is located in **Non-shaded Zone "X"** and **Shaded Zone "X"** as scaled from the F.E.M.A. Flood Insurance Rate Map dated March 21, 2019 and is located in Community Number 484544 as shown on Map Number 48439C0355L. The location of the Flood Zone is approximate. For additional information regarding Flood Zone designation, please contact 1-(877) FEMA MAP. As per LOMR 17-06-3146P, dated June 29, 2018.

ALTERATIONS AND ERRORS

This survey is the work product of the signing surveyor and may not be altered or modified in any manner, except by the signing surveyor. Any alteration or modification performed to this survey by any party except for the signing surveyor will be prosecuted to the fullest extent of the law. The surveyor will not be responsible to the client for any typos or errors for which a correction is not requested by the client within thirty days following the issuance of this survey.



TREE TABLE

I.D.	COMMON NAME	DBH (INCHES)
5336	LIVE OAK	48
5337	LIVE OAK	16
5338	LIVE OAK	14
5339	ELM	14
5340	PALM	30
5341	LIVE OAK	16
5342	ELM	12
5343	LIVE OAK	16
5344	LIVE OAK	16
5345	LIVE OAK	22
5346	ELM	20

JOB NUMBER
2302.025

DATE
02-22-2023

REVISION

DRAWN BY
TER



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TX Firm # 10194177

TOPOGRAPHIC SURVEY

LEGEND

- Boundary Monumentation
- Record Call
- CRIP
- RF
- CAB
- PG
- VOL
- DOC NO.
- P.R.T.C.T.
- PVC Stub Out
- Overhead Utilities
- Conduit
- Ramp
- Survey Markers
- Tree Canopy
- Tree I.D.
- Guy Wire
- Power Pole
- Light Pole
- Electric Utility Mark
- Water Main
- Water Valve

PROJECT GENERAL NOTES

- ALL MATERIALS, CONSTRUCTION METHODS, AND TESTING FOR PROPOSED IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE GOVERNING AUTHORITY'S CURRENT REGULATIONS, SPECIFICATIONS, AND DETAILS. DEVIATIONS FOR PUBLIC IMPROVEMENTS WILL NOT BE ALLOWED UNLESS CLEARLY SPECIFIED IN WRITING FROM THE GOVERNING AUTHORITY. DEVIATIONS ON PRIVATE IMPROVEMENTS SHALL BE ALLOWED ONLY AS NOTED ON THESE PLANS, BUT IN NO WAY SHALL VIOLATE LOCAL, STATE, OR FEDERAL LAW.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL INFORMATION PRESENTED IN THESE PLANS PRIOR TO SUBMISSION OF ANY BID OR CONTRACT DOCUMENT FOR THE SCOPE OF WORK CONTAINED HEREIN. ALL BID AND/OR CONTRACT DOCUMENTS SHALL REFERENCE THE PLAN AND/OR SEAL DATE PROVIDED ON EACH SHEET WITHIN THESE PLANS.
- THE INFORMATION AND DESIGN SHOWN ON THESE PLANS HAS BEEN COORDINATED WITH OTHER DESIGN PROFESSIONALS AS NOTED. THE CONTRACTOR IS RESPONSIBLE FOR RECONCILING ALL PLAN SETS (SITE WORK, BUILDING, ROADWAY, PUBLIC UTILITY, ETC.) PRIOR TO CONSTRUCTION OF IMPROVEMENTS. THE OWNER AND DESIGN ENGINEER ASSUME NO RESPONSIBILITY FOR REVISIONS MADE TO OTHER PLAN SETS AND NOT SHARED WITH THE DESIGN ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING ALL EXISTING FEATURES OF THE SITE AND INCLUDING ANY COSTS ASSOCIATED WITH CLEARING, HAULING, MATERIAL STORAGE, CONSTRUCTION UTILITIES, LABOR, ETC. IN THE CONTRACT AMOUNT.
- ALL EXISTING IMPROVEMENTS, GRADES, FEATURES, CONDITIONS, ETC. SHOWN ON THESE PLANS HAVE BEEN SHOWN BASED ON INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING FACILITIES, GRADES, CONDITIONS, UTILITIES, ETC. AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE AND THE DESIGN ENGINEER/ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES. THE OWNER AND DESIGN ENGINEER/ARCHITECT ASSUME NO RESPONSIBILITY FOR INACCURACY OR OMISSION OF EXISTING FACILITIES, GRADES, CONDITIONS, UTILITIES, ETC.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SAFETY CONDITIONS OF THE SITE DURING ALL CONSTRUCTION ACTIVITIES, WHETHER WORK IS UNDERWAY OR NOT. STORED MATERIALS, EQUIPMENT, AND CONSTRUCTION ACTIVITIES SHALL BE MONITORED AT ALL TIMES AND ALL REASONABLE MEASURES SHALL BE TAKEN TO PROTECT THE SAFETY, HEALTH, AND WELFARE OF THE GENERAL PUBLIC. ALL-WEATHER ACCESS PATHS SHALL BE PROVIDED AS REQUIRED BY ALL GOVERNING EMERGENCY SERVICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ALL REQUIRED DOCUMENTATION (NOTICES OF INTENT, SITE NOTICE, INSPECTION REPORTS, ETC.) PREPARED. A COPY OF ALL REQUIRED DOCUMENTS SHALL BE AVAILABLE ON THE PROJECT SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT IN CONFORMANCE WITH ALL LOCAL, STATE, AND/OR FEDERAL REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL PERMITS, CONTRACTOR LICENSES AND/OR REGISTRATIONS, AND DOCUMENTATION FROM THE GOVERNING AUTHORITIES FOR ALL WORK REQUIRED BY THESE PLANS. A COPY OF ALL APPROVED PLANS, PERMITS, LICENSES, REGISTRATIONS, AND DOCUMENTATION SHALL BE AVAILABLE ON THE PROJECT SITE AT ALL TIMES THROUGHOUT CONSTRUCTION. ANY REQUIRED FEES, BONDS, DEPOSITS, ETC. REQUIRED TO PERFORM THE WORK SHALL BE PROVIDED BY THE CONTRACTOR AND COSTS ASSOCIATED WITH SUCH SHALL BE INCLUDED IN THE CONTRACT AMOUNT.
- ALL MATERIALS TESTING SHALL BE PERFORMED BY A QUALIFIED TESTING LABORATORY CONTRACTED DIRECTLY WITH THE OWNER/DEVELOPER. THE CONTRACTOR SHALL COOPERATE WITH ALL TESTING AGENCIES AND MAKE ALL REASONABLE EFFORTS TO ASSIST THE REPRESENTATIVES IN OBTAINING REQUIRED SAMPLES. ANY TESTS INDICATING MATERIALS FAILING TO MEET THE REQUIREMENTS OF THE PLANS AND/OR SPECIFICATIONS SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE. ALL COSTS OF RE-TESTING SHALL BE REIMBURSED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SCHEDULING ALL INSPECTIONS REQUIRED BY THE GOVERNING AUTHORITIES AND/OR PRIVATE CONTRACT. ALL COSTS ASSOCIATED WITH INSPECTIONS BY THE GOVERNING AUTHORITIES SHALL BE PAID BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD SURVEY AND STAKING REQUIRED TO PERFORM THE WORK IN THESE PLANS. BENCHMARKS HAVE BEEN PROVIDED IN THE PLANS FOR VERTICAL DATUM REFERENCE. THE CONTRACTOR'S SURVEYOR(S) SHALL BE RESPONSIBLE FOR VERIFYING ALL BENCHMARK ELEVATIONS AND NOTIFYING THE DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY WORK BEING DONE.
- ALL MATERIALS AND EQUIPMENT USED AND/OR INSTALLED ON THIS PROJECT SHALL BE NEW, CLEAN, AND UNUSED. MATERIALS SHALL NOT BE USED AFTER THE MANUFACTURER'S RECOMMENDED EXPIRATION DATE. ALL MATERIALS SHALL BE STORED AND/OR USED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, UNLESS OTHERWISE NOTED ON THESE PLANS. IN NO CASE SHALL WORK BE DONE THAT VOIDS OR REDUCES ANY WARRANTY PROVIDED BY THE MANUFACTURER. ANY MATERIAL OR EQUIPMENT DAMAGED, STOLEN, OR LOST SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ALL MANUFACTURED PRODUCTS USED DURING CONSTRUCTION AND/OR SHOP DRAWINGS PROVIDED BY MANUFACTURERS SHALL BE SUBMITTED TO THE OWNER AND DESIGN ENGINEER/ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO USE. ALL NATURAL MATERIALS (STONE, PLANTINGS, MULCH, ETC.) SHALL BE SUBMITTED TO THE OWNER AND DESIGN ENGINEER/ARCHITECT FOR APPROVAL OF TYPE, COLOR, AESTHETIC, ETC. PRIOR TO INSTALLATION. PRODUCT SAMPLES MAY BE REQUESTED AND SHALL BE PROVIDED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL CONTACT THE LOCAL UTILITY LOCATION ORGANIZATION (ONE-CALL SYSTEM) A MINIMUM OF 48 HOURS PRIOR TO PERFORMING ANY WORK ON THE PROJECT SITE. ALL EXISTING UTILITIES IN THE AREA OF ANY WORK, WHETHER NOTED OR NOT, SHALL BE FIELD LOCATED AND PROTECTED THROUGHOUT ALL CONSTRUCTION ACTIVITIES. ACCESS TO ALL PUBLIC UTILITY SURFACE APPURTENANCES (METERS, VALVES, VAULTS, MANHOLES, CABINETS, HYDRANTS, ETC.) NOT BEING MODIFIED BY THIS WORK SHALL BE MAINTAINED AND AVAILABLE TO THOSE UTILITY COMPANIES AT ALL TIMES. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE TO A CONDITION ACCEPTABLE TO THE APPLICABLE UTILITY COMPANY.
- ALL EXISTING IMPROVEMENTS NOT BE REMOVED OR MODIFIED SHALL BE PROTECTED AT ALL TIMES. ANY DAMAGE TO EXISTING SIDEWALKS, STREETS, DRIVEWAYS, TREES, WALLS, FENCES, ETC. DUE TO CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE TO A CONDITION AS GOOD OR BETTER THAN EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A TRENCH SAFETY PLAN PREPARED IN ACCORDANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS. THE PLAN SHALL BE PREPARED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE WHERE THE WORK IS BEING PERFORMED. REFLECTIVE BARRICADES OR OTHER WARNING DEVICES EFFECTIVE IN DAYLIGHT OR NIGHT SHALL BE PLACED AROUND ALL OPEN TRENCHES. TRENCHES NOT BEING ACTIVELY WORKED IN SHOULD BE COVERED OR BARRICADED TO PROTECT ALL PERSONS AND VEHICLES IN THE AREA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO ALL TRAFFIC CONTROL REQUIREMENTS OF THE GOVERNING AUTHORITY. ANY PLANS REQUIRED IN ADDITION TO THOSE PROVIDED IN THIS PLAN SET WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- FULL ALL-WEATHER ACCESS FOR PERSONAL VEHICLES SHALL BE PROVIDED TO ALL EXISTING ACCESS POINTS ON ADJACENT PROPERTIES AT ALL TIMES, UNLESS OTHERWISE ALLOWED IN WRITING BY THE PROPERTY OWNER(S).
- ALL AREAS WITHIN THE PROJECT SITE, ADJACENT PROPERTIES, AND ADJACENT PUBLIC RIGHT-OF-WAY USED BY CONSTRUCTION TRAFFIC SHALL BE MAINTAINED BY THE CONTRACTOR, INCLUDING KEEPING THE AREA(S) FREE OF DIRT, MUD, OILS, TRASH, OR OTHER CONSTRUCTION RELATED MATERIALS. ANY DAMAGE TO PAVING, LANDSCAPING, SIGNAGE, FENCING, ETC. SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE UPON COMPLETION OF WORK ACTIVITIES TO A CONDITION THE SAME OR BETTER AS EXISTED PRIOR TO CONSTRUCTION COMMENCING.
- ALL CONSTRUCTION EQUIPMENT/VEHICLES, MATERIAL STORAGE AND/OR STAGING AREAS SHALL BE LOCATED WITHIN THE PROJECT SITE AND IN COMPLIANCE WITH ALL CONTRACT DOCUMENTS. NO MATERIALS OR EQUIPMENT SHALL BE STORED ON ADJACENT PROPERTIES UNLESS APPROVAL IS GIVEN IN WRITING BY THAT PROPERTY OWNER.
- THE CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY PROVIDERS TO PROVIDE ANY AND ALL UTILITIES REQUIRED FOR CONSTRUCTION OF THE PROJECT. COSTS ASSOCIATED WITH PROVIDING AND REMOVING TEMPORARY SERVICES SHALL BE INCLUDED IN THE CONTRACT AMOUNT. USE OF THE PERMANENT UTILITY SERVICES IS PROHIBITED WITHOUT WRITTEN APPROVAL BY THE OWNER.
- THE CONTRACTOR SHALL COORDINATE WITH ANY ADJACENT CONTRACTORS WORKING ON OTHER PROJECTS ADJACENT TO THE PROJECT SITE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE AND THE DESIGN ENGINEER OF ANY CONFLICTS OR DISPUTES THAT ARISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PROJECT SITE AS CLEAN AND FREE OF LOOSE TRASH, DEBRIS, AND SOIL MIGRATION AS IS REASONABLY PRACTICAL. ANY MATERIALS OR EQUIPMENT REPORTED TO CAUSE A NUISANCE BY THE GOVERNING AUTHORITY SHALL BE REMOVED IMMEDIATELY. IF, IN THE OPINION OF THE CONTRACTOR, THE NUISANCE IS REQUIRED TO COMPLETE THE PROJECT SCOPE HE SHALL NOTIFY THE OWNER'S REPRESENTATIVE AND DESIGN ENGINEER IMMEDIATELY.

- THE CONTRACTOR SHALL CLEAN THE SITE OF ALL DIRT, DEBRIS, TRASH, EXCESS MATERIAL, CONSTRUCTION WASTE CONTAINERS, EQUIPMENT, ETC. UPON COMPLETION OF WORK ACTIVITIES AND PRIOR TO REQUESTING FULL PAYMENT OF THE CONTRACT AMOUNT OR OPENING THE SITE TO THE GENERAL PUBLIC. ALL EROSION CONTROL MEASURES SHALL BE REMOVED UPON FULL STABILIZATION OF THE DISTURBED AREAS.
- AT THE OWNER'S DISCRETION, THE CONSTRUCTED IMPROVEMENTS MAY BE REVIEWED BY THE OWNER AND/OR DESIGN ENGINEER. ANY WORK NOTED THAT IS NOT IN CONFORMANCE WITH THESE PLANS IS SUBJECT TO REJECTION OR MODIFICATION. REJECTED IMPROVEMENTS SHALL BE FULLY REMOVED AND IMPROVEMENTS SHALL BE RECONSTRUCTED TO CONFORM TO THE DESIGN SHOWN ON THESE PLANS AT THE CONTRACTOR'S EXPENSE. MODIFICATIONS MAY BE ALLOWED AT THE OWNER'S AND/OR DESIGN ENGINEER'S DISCRETION, AND SHOULD BE COMPLETED AT THE CONTRACTOR'S EXPENSE. ALL REJECTED WORK OR WORK SUBJECT TO MODIFICATION SHALL BE COMPLETED AND ACCEPTED PRIOR TO FULL PAYMENT OF THE CONTRACT AMOUNT.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE REMOVAL OF ALL TRASH, CONSTRUCTION EQUIPMENT, WASTE, SPOILS, TEMPORARY FACILITIES, AND EXCESS MATERIALS FROM THE CONSTRUCTION SITE. REMOVAL AND/OR DISPOSAL OF ALL ITEMS SHALL BE DONE IN A LAWFUL MANNER OUTSIDE THE LIMITS OF THE SUBJECT PROPERTY. ALL COSTS FOR TRANSPORT AND DISPOSAL OF REMOVED ITEMS SHALL BE INCLUDED IN THE CONTRACT AMOUNT.
- THE CONTRACTOR SHALL MAINTAIN A DETAILED RECORD OF ALL CHANGES, MODIFICATIONS, AND EXISTING IMPROVEMENTS THAT DEVIATE FROM THE DESIGN SHOWN ON THESE PLANS. THE RECORDS SHALL BE PROVIDED TO THE DESIGN ENGINEER UPON COMPLETION OF WORK AND PRIOR TO REQUESTING FULL PAYMENT OF THE CONTRACT AMOUNT.

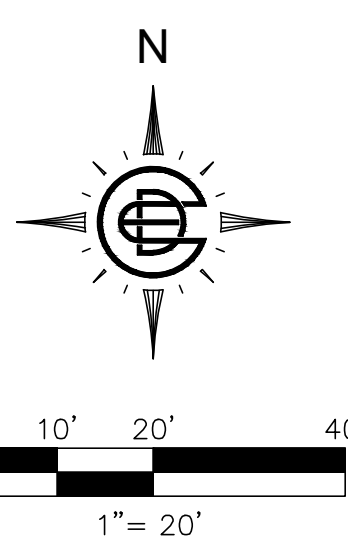
LEGEND	EXISTING	PROPOSED
PROPERTY LINE		
BUILDING		
FINISH FLOOR ELEVATION	FF= 100.00	FF= 100.00
SPOT ELEVATION		
CURB		
RETAINING WALL		
CONTOUR LINE	583	83
STORM DRAIN		
STORM DRAIN MANHOLE/JUNCTION BOX		
CURB INLET		
GRATE INLET		
WATER LINE		
FIRE HYDRANT		
WATER METER BOX		
WATER VALVE		
BACKFLOW PREVENTOR		
DETECTOR CHECK		
IRRIGATION CONTROL VALVE		
SANITARY SEWER LINE		
SANITARY SEWER MANHOLE		
CLEANOUT		
LIGHT POLE		
POWER POLE		
ELECTRIC TRANSFORMER		
ELECTRIC SWITCHGEAR		
UNDERGROUND UTILITY MARKER		
UNDERGROUND TELECOMMUNICATIONS LINE		
UNDERGROUND ELECTRIC LINE		
UNDERGROUND GAS LINE		
OVERHEAD LINE		
OVERHEAD TELECOMMUNICATIONS LINE		
GAS METER		
ACCESSIBLE PARKING		
VAN ACCESSIBLE PARKING		
SIGN		
TREE		

ABBREVIATIONS

AD	AREA DRAIN
AP	ASPHALT PAVEMENT
APPROX	APPROXIMATELY
ASPH	ASPHALT
BC	BACK OF CURB
B-B	BACK TO BACK
BFR	BARRIER FREE RAMP
BW	BENCHMARK
BO	BY OTHERS
BW	BACK OF WALL
CAV	CABLE TV
CFS	CUBIC FEET PER SECOND
CI	CURB INLET
CL	CENTER LINE
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
CONC	CONCRETE
CONST	CONSTRUCT
CP	CONCRETE PAVEMENT
DCDC	DOUBLE CHECK DETECTOR CHECK
DCO	DOUBLE CLEANOUT
DE	DRAINAGE EASEMENT
DI	DROP INLET
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
DOC	DOCUMENT
DW	DOMESTIC WATER
EC	ELECTRIC CABINET
EJ	EXPANSION JOINT
ELEV	ELEVATION
EM	ELECTRIC MARKER
EMH	ELECTRIC MANHOLE
EP	ELECTRIC PEDESTAL
ESMT	EASEMENT
EV	ELECTRIC VAULT
EX	EXISTING
EXIST	EXISTING
FC	FACE OF CURB
F-F	FACE TO FACE
FF	FINISHED FLOOR
FH	FIRE HYDRANT
FM	FORCE MAIN
FO	FIBER OPTIC
FP	FINISHED PAD
FPS	FEET PER SECOND
FL	FLOW LINE
FT	FEET/FOOT
FW	FACE OF WALL
G	GUTTER
GI	GRATE INLET
GM	GAS MARKER
GV	GAS VALVE
HDPE	HIGH DENSITY POLYETHYLENE
HDWL	HEADWALL
HMAC	HOT MIX ASPHALTIC CONCRETE
HORIZ	HORIZONTAL
HP	HIGH POINT
HVAC	HEATING, VENTILATION AND AIR CONDITIONING
IRR	IRRIGATION
JB	JUNCTION BOX
JT	JOINT
LF	LINEAL FEET
LP	LOW POINT
LT	LEFT
MH	MANHOLE
N/A	NOT APPLICABLE
NG	NATURAL GROUND
NO.	NUMBER
PC	POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVATURE
PI	POINT OF INTERSECTION
PIV	POST INDICATOR VALVE
PL	PROPERTY LINE
PP	POWER POLE
PRC	POINT OF REVERSE CURVATURE
PROP	PROPOSED
PSP	PEDESTRIAN SIGNAL POLE
PT	POINT OF TANGENCY
PVC	POLYVINYL CHLORIDE
PVMT	PAVEMENT
OCEW	ON CENTER EACH WAY
OHE	OVERHEAD ELECTRIC
R	RADIUS
RCB	REINFORCED CONCRETE BOX
RCI	RECESSED CURB INLET
RCP	REINFORCED CONCRETE PIPE
RCCP	REINFORCED CONCRETE CYLINDRICAL PIPE
REINF	REINFORCED
RL	RIDGE LINE
ROW	RIGHT OF WAY
RT	RIGHT
SEP INST	SEPARATE INSTRUMENT
SF	SQUARE FEET
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SQ	SQUARE
SS	SANITARY SEWER
SSE	SANITARY SEWER EASEMENT
SSMH	SANITARY SEWER MANHOLE
STA	STATION
SY	SQUARE YARD
TC	TOP OF CURB
TCM	TELECOMMUNICATIONS MARKER
TCP	TELECOMMUNICATIONS PEDESTAL
TCV	TELECOMMUNICATIONS VAULT
TD	TRENCH DRAIN
TMH	TELECOMMUNICATIONS MANHOLE
TOB	TOP OF BANK
TOS	TOE OF SLOPE
TP	TOP OF PAVEMENT
TSC	TRAFFIC SIGNAL CABINET
TSP	TRAFFIC SIGNAL POLE
TSV	TRAFFIC SIGNAL VAULT
TYP	TYPICAL
UC	UTILITY CABINET
UE	UTILITY EASEMENT
UV	UTILITY VAULT
VCP	VITRIFIED CLAY PIPE
WE	WATER EASEMENT
WM	WATER METER
WMH	WATER MANHOLE
WS	WATER SERVICE
WTR	WATER
WV	WATER VALVE
WW	WASTEWATER

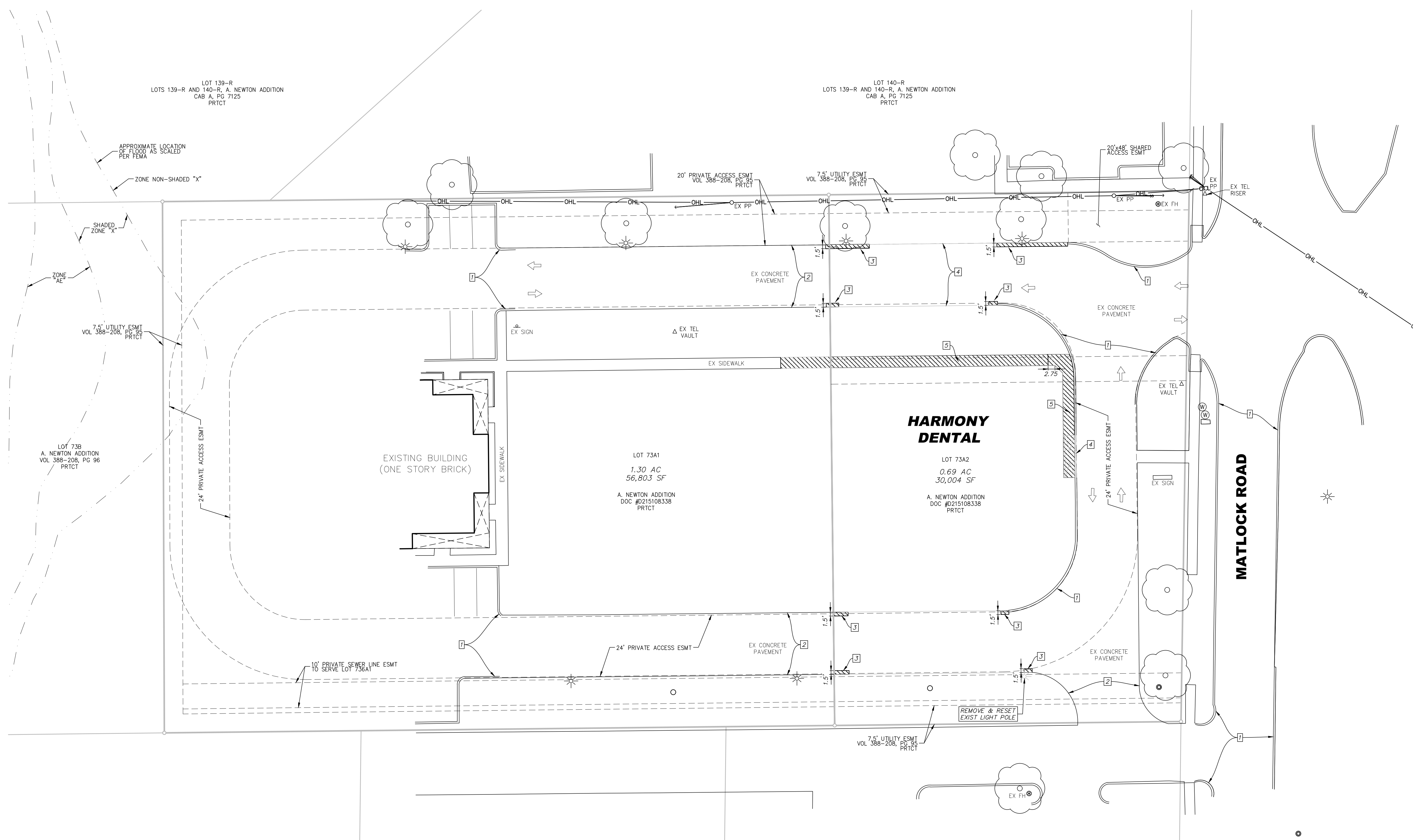
GENERAL NOTES & LEGEND

HARMONY DENTAL 2712 MATLOCK ROAD CITY OF ARLINGTON, TEXAS	
PRELIMINARY FOR REVIEW ONLY THESE DOCUMENTS ARE FOR REVIEW ONLY AND NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMITTING. THEY HAVE BEEN PREPARED BY OR UNDER THE SUPERVISION OF DANIEL B. STEWART, P.E. P.E. NO.: 107767 DATE: 04/28/23	DESIGN 5300 TOWN & COUNTRY BOULEVARD, SUITE 150 FRISCO, TEXAS 75034 469-650-0960 TBPE FIRM NO. F-202255
ISSUE DATE 04/28/23	DEC FILE NO. 105913
CITY FILE NO. -	SHEET NO. C1.1



LOTS 139-R AND 140-R, A. NEWTON ADDITION
CAB A, PG 7125
PRTCT

LOT 140-R
LOTS 139-R AND 140-R, A. NEWTON ADDITION
CAB A, PG 7125
PRTCT



PAVEMENT LEGEND	
	EXISTING CONCRETE PAVEMENT
	REMOVE EXISTING PAVEMENT

CONSTRUCTION NOTES	
INDICATED BY	
1.	EXISTING CURB.
2.	EXISTING PAVEMENT EDGE.
3.	FULL DEPTH SAWCUT.
4.	REMOVE EXISTING CURB.
5.	REMOVE EXISTING SIDEWALK.

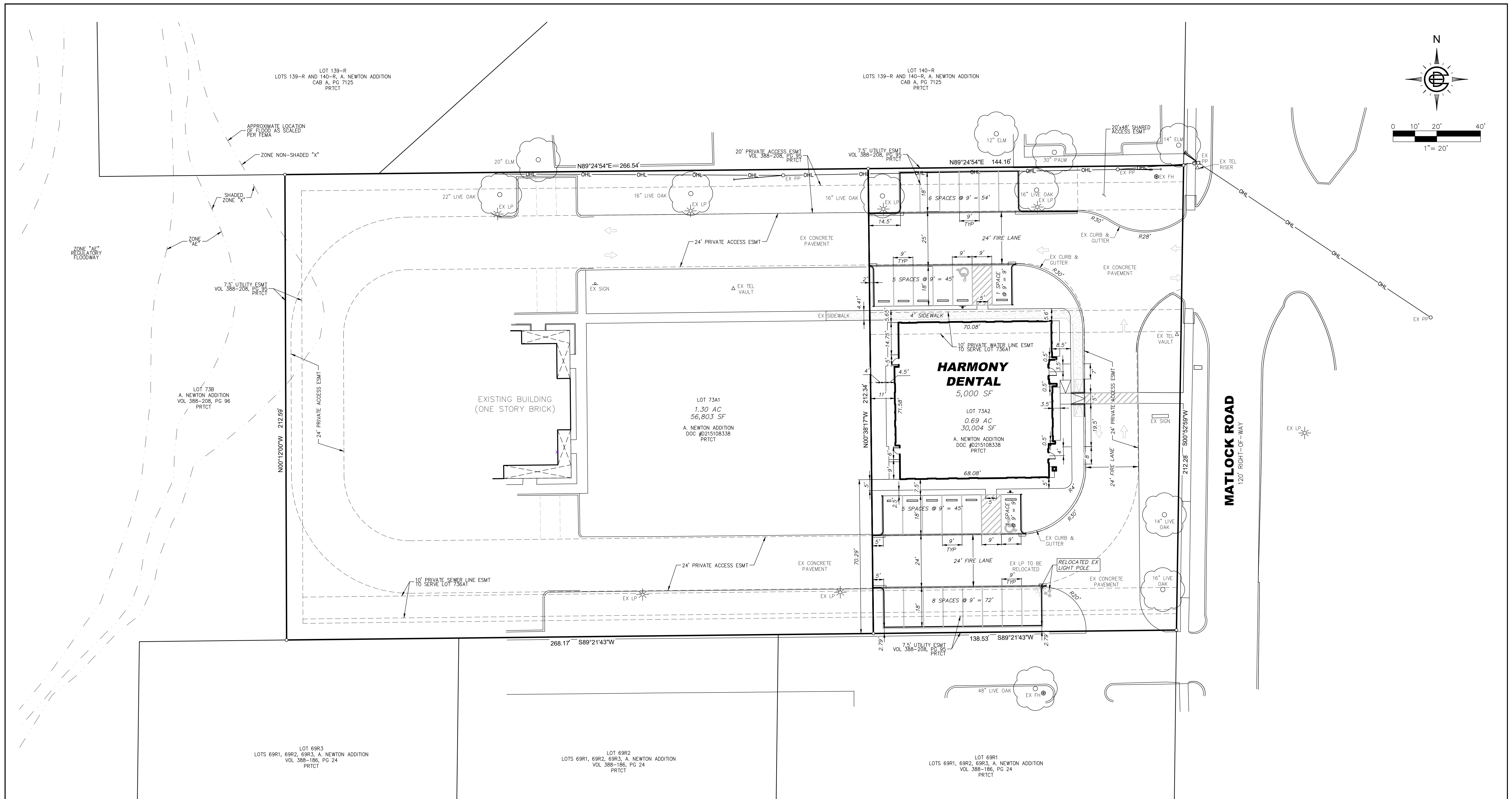
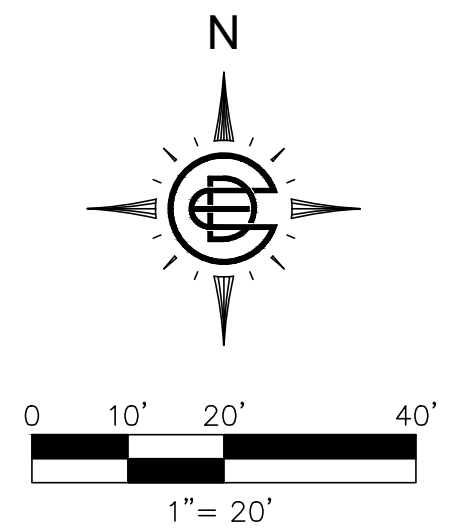
- DEMOLITION GENERAL NOTES**
- ALL MATERIALS DEMOLISHED FROM THE SITE SHALL BE REMOVED AND DISPOSED OFF-SITE BY THE CONTRACTOR.
 - CONTRACTOR SHALL PROVIDE TEMPORARY FENCING, WALLS, BARRICADES, ETC. TO PROTECT THE GENERAL PUBLIC FROM ANY DEBRIS, DUST, PROJECTILES, ETC. THAT MAY OCCUR AS A RESULT OF THE DEMOLITION ACTIVITIES.
 - CONTRACTOR SHALL PROVIDE REFLECTIVE BARRIERS, FENCES, AND/OR SIGNAGE TO PREVENT ACCESS TO THE DEMOLITION AREA BY THE GENERAL PUBLIC WHILE THE WORK IS ONGOING, WHETHER WORK IS ACTIVELY UNDER WAY OR NOT.
 - EXISTING ACCESSIBILITY PATHS TO MEET ADA REQUIREMENTS OR LOCAL ORDINANCES SHALL BE MAINTAINED AT ALL TIMES.
 - CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL BY PROPERTY OWNER PRIOR TO PLACING ANY TRAFFIC CONTROL DEVICES NOT SHOWN ON THIS PLAN.
 - ALL EROSION CONTROL REQUIRED EROSION CONTROL MEASURE SHALL BE IN PLACE PRIOR TO ANY DEMOLITION ACTIVITIES TAKING PLACE.
 - ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, UNLESS NOTED OTHERWISE.

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LOTS 69R1, 69R2, 69R3, A. NEWTON ADDITION
VOL 388-186, PG 24
PRTCT

LOT 69R2
LOTS 69R1, 69R2, 69R3, A. NEWTON ADDITION
VOL 388-186, PG 24
PRTCT


LOT 69R1
LOTS 69R1, 69R2, 69R3, A. NEWTON ADDITION
VOL 388-186, PG 24
PRTCT

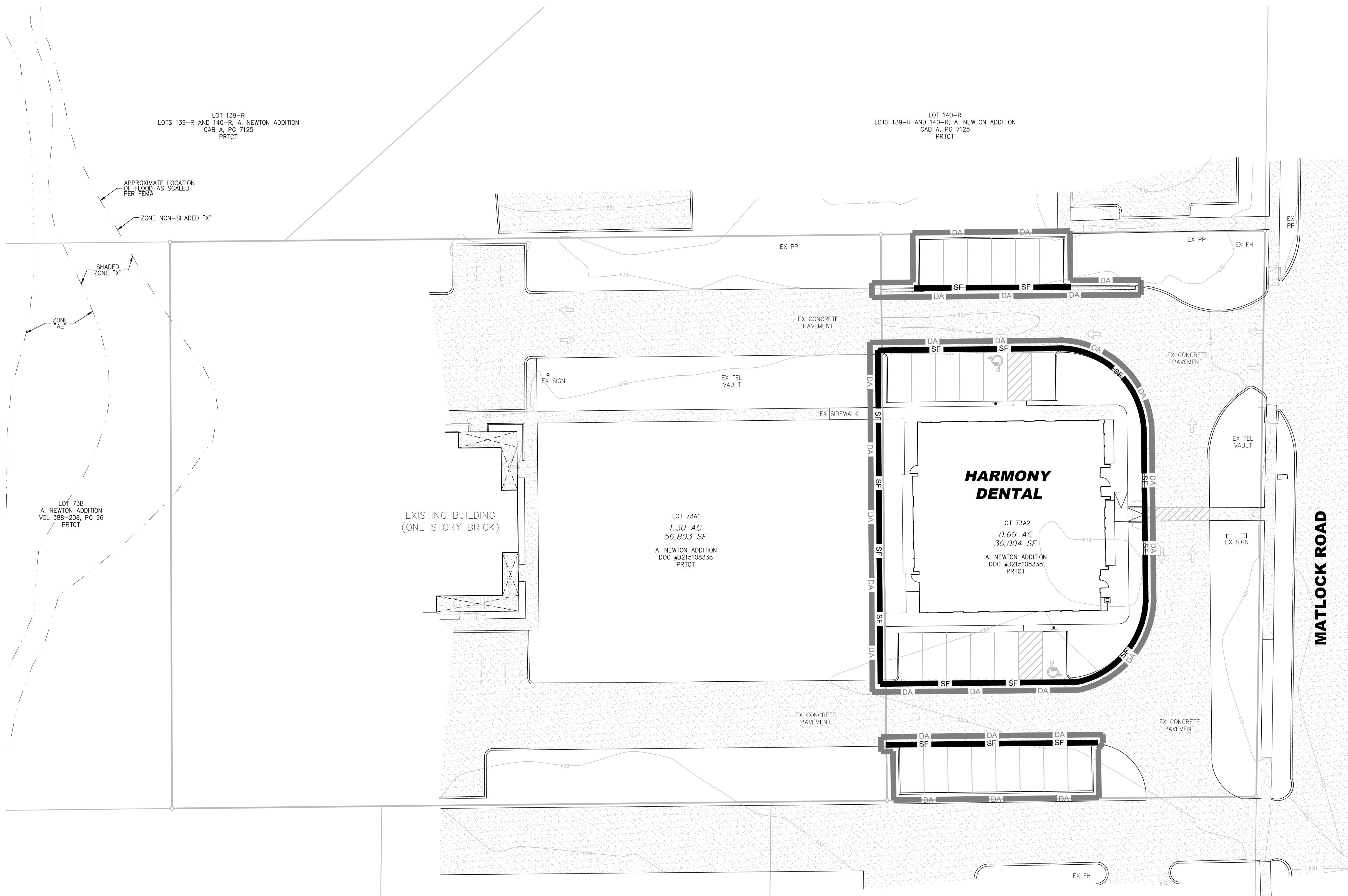
DEMOLITION PLAN	
HARMONY DENTAL	
2712 MATLOCK ROAD	
CITY OF ARLINGTON, TEXAS	
PRELIMINARY FOR REVIEW ONLY <small>THESE DOCUMENTS ARE FOR REVIEW ONLY AND NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMITTING. THEY HAVE BEEN PREPARED BY OR UNDER THE SUPERVISION OF DANIEL B. STEWART, P.E.</small> P.E. NO.: 107767 DATE: 04/28/23	DESIGN <small>5300 TOWN & COUNTRY BOULEVARD, SUITE 150 FRISCO, TEXAS 75034 469-850-0060 TBPE FIRM NO. F-20255</small>
	ISSUE DATE 04/28/23
CITY FILE NO. -	SHEET NO. C2.1



SITE DATA	
LOT AREA:	0.69 ACRES (30,004 SQ. FT.)
ZONING:	OC (OFFICE COMMERCIAL)
CURRENT USE:	UNDEVELOPED
PROPOSED USE:	DENTAL OFFICE
BUILDING AREA:	5,000 SQ. FT.
FLOOR/AREA RATIO:	0.17
PARKING REQUIRED:	20 SPACES (1/250)
PARKING PROVIDED:	
9'x18' ACCESSIBLE	24 SPACES
TOTAL	2 SPACES
	26 SPACES (1/193)

- DIMENSION CONTROL GENERAL NOTES**
- BOUNDARY SURVEY: BOUNDARY SURVEY INFORMATION IS BASED ON THE TOPOGRAPHIC SURVEY PREPARED BY EAGLE SURVEYING, DATED FEBRUARY 22, 2023.
 - PROPERTY LINES & EASEMENTS: REFER TO THE TOPOGRAPHIC SURVEY TO VERIFY PROPERTY LINES AND EASEMENT LOCATIONS.
 - DIMENSION CONTROL: ALL PAVING DIMENSIONS AND COORDINATES ARE TO FACE OF CURB, UNLESS NOTED OTHERWISE.
 - CURB RADI: ALL CURB RADI SHALL BE TWO FEET (2') AT THE FACE OF CURB, UNLESS NOTED OTHERWISE.
 - BUILDING DIMENSIONS: REFER TO THE BUILDING PLANS FOR EXACT BUILDING DIMENSIONS.
 - BUILDING ORIENTATION: THE BUILDING SHALL BE PARALLEL AND PERPENDICULAR TO THE WEST PROPERTY LINE: N00°38'17"W.

DIMENSION CONTROL PLAN	
HARMONY DENTAL	
2712 MATLOCK ROAD	
CITY OF ARLINGTON, TEXAS	
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ISSUE DATE 04/28/23	DEC FILE NO. 105913
CITY FILE NO. -	SHEET NO. C3.1
P.E. NO.: 107767 DATE: 04/28/23	



LEGEND

- INSTALL SILT FENCE PER DETAIL
- LIMIT OF DISTURBED AREA
- INSTALL INLET PROTECTION
- INSTALL STABILIZED CONSTRUCTION ENTRANCE
- OVERLAND FLOW DIRECTION

N

EROSION CONTROL GENERAL NOTES

1. NO LAND DISTURBANCE SHALL BEGIN UNTIL ALL APPLICABLE PERMITS HAVE BEEN ISSUED BY THE GOVERNING AUTHORITIES.
2. THE CONTRACTOR SHALL COMPLY WITH ALL STATE, COUNTY, AND/OR LOCAL ORDINANCES.
3. ALL CONTRACTORS SHALL BE AWARE OF AND ADHERE TO THE PROJECT SPECIFIC STORM WATER POLLUTION PREVENTION PLAN (SWPPP), THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT, AND/OR ANY APPLICABLE STATE GENERAL PERMITS.
4. THIS EROSION CONTROL PLAN DOES NOT CONSTITUTE A SWPPP. REFER TO THE SWPPP DOCUMENT OR SITE NOTICE FOR COMPLETE REQUIREMENTS.
5. ALL POTENTIAL POLLUTANTS SHALL BE STORED, HANDLED, ETC. IN A MANNER THAT PREVENTS DISCHARGE FROM THE SITE THROUGH STORM WATER RUNOFF.
6. OIL, GREASE, CHEMICAL, AND PETROLEUM PRODUCTS SHALL BE IMMEDIATELY CLEANED IF SPILLED OR LEAKING.
7. DUST CONTROL SHALL BE PREVENTED WITH REGULAR WATERING. OIL, PETROLEUM, OR OTHER CHEMICALS ARE PROHIBITED FOR DUST CONTROL.
8. ANY DISTURBED AREA WITH NO CONSTRUCTION ACTIVITY FOR FOURTEEN CALENDAR DAYS SHALL BE TEMPORARILY OR PERMANENTLY STABILIZED.
9. PERMANENT STABILIZATION OF ALL NON-PAVED AREAS SHALL BE COMPLETED PER THE LANDSCAPE PLAN. ANY DISTURBED AREA OUTSIDE THE LIMITS OF THE LANDSCAPE PLAN SHALL BE HYDROMULCHED WITH A LOCALLY AND SEASONALLY APPROPRIATE GRASS MIX AND WATERED WITH TEMPORARY ABOVE GROUND IRRIGATION UNTIL A THREE-INCH STAND OF GRASS IS ESTABLISHED.
10. ALL VEHICLES AND EQUIPMENT SHALL BE CLEANED AT THE STABILIZED CONSTRUCTION ENTRANCE/EXIT BEFORE LEAVING THE SITE. ALL WASH WATER SHALL BE TREATED OR COLLECTED IN A MANNER TO AVOID POLLUTANTS FROM CONTACTING STORMWATER RUNOFF.
11. ANY SOILS AND/OR CONSTRUCTION MATERIALS TRACKED, SPILLED, AND/OR WASHED ONTO ADJACENT PROPERTIES OR RIGHTS-OF-WAY SHALL BE IMMEDIATELY REMOVED AND CLEANED.
12. ALL SILT, MATERIAL, AND/OR CONSTRUCTION DEBRIS ACCUMULATED ON OR IN ANY EROSION CONTROL OR STORM WATER CONVEYANCE DEVICE (SILT FENCE, TEMPORARY OR PERMANENT POND, STORM DRAIN INLETS AND PIPES, ETC.) WHICH IMPAIRS THE EFFECTIVENESS OF SUCH DEVICE SHALL BE REMOVED IMMEDIATELY UPON INSPECTION NOTING SUCH IMPAIRMENT.
13. A SILT FENCE SHALL BE PLACED COMPLETELY AROUND ANY STOCKPILE PLACED ON SITE.
14. ADDITIONAL EROSION CONTROL MEASURES MAY BE NECESSARY DUE TO CONSTRUCTION ACTIVITIES THROUGHOUT THE PROJECT AND SHALL BE IMPLEMENTED AT THE CONTRACTOR'S EXPENSE. REFER TO THE SWPPP FOR REQUIREMENTS AND/OR DOCUMENTATION THAT MAY BE REQUIRED.
15. ALL CONSTRUCTION RELATED EROSION CONTROL DEVICES (INCLUDING TEMPORARY ABOVE GROUND IRRIGATION SYSTEMS) SHALL BE REMOVED AND DISPOSED OF UPON COMPLETE STABILIZATION OF THE DISTURBED AREA.
16. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PREVENT AND/OR REPAIR ANY IMPACT TO ADJACENT PROPERTY AND/OR RIGHT-OF-WAY NOT SHOWN ON THIS PLAN AT THEIR EXPENSE.
17. REFER TO THE SWPPP FOR REQUIREMENTS TO MODIFY THIS PLAN TO SHOW FIELD LOCATION OF MATERIAL STORAGE, CONCRETE WASHOUT, EQUIPMENT STAGING, ETC.
18. THE CONTRACTOR SHALL BE RESPONSIBLE TO HAVE ALL REQUIRED INSPECTIONS AND DOCUMENTATION PERFORMED AS DEFINED IN THE SWPPP.
19. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH ALL APPLICABLE STORMWATER POLLUTION PREVENTION REQUIREMENTS FOR ALL REMOTE SITES BEING USED FOR SOIL IMPORT, SOIL EXPORT, AND/OR DISPOSAL.

LOT 139-R
LOTS 139-R AND 140-R, A. NEWTON ADDITION
CAB A, PG 7125
PRTCT

LOT 140-R
LOTS 139-R AND 140-R, A. NEWTON ADDITION
CAB A, PG 7125
PRTCT

LOT 73B
A. NEWTON ADDITION
VOL. 388-208, PG 96
PRTCT

EXISTING BUILDING
(ONE STORY BRICK)

LOT 73A1
1.30 AC
56,803 SF
A. NEWTON ADDITION
DOC #0215108338
PRTCT

LOT 73A2
0.69 AC
30,004 SF
A. NEWTON ADDITION
DOC #0215108338
PRTCT

LOT 69R3
LOTS 69R1, 69R2, 69R3, A. NEWTON ADDITION
VOL. 388-186, PG 24
PRTCT

LOT 69R2
LOTS 69R1, 69R2, 69R3, A. NEWTON ADDITION
VOL. 388-186, PG 24
PRTCT

LOT 69R1
LOTS 69R1, 69R2, 69R3, A. NEWTON ADDITION
VOL. 388-186, PG 24
PRTCT

FEMA FLOOD NOTE:

THE DISTURBED AREA SHOWN ON THIS PLAN LIES ENTIRELY WITHIN ZONE X, WHICH LIE OUTSIDE THE 500 YEAR FLOODPLAIN AS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM'S FLOOD INSURANCE RATE MAP FOR TARRANT COUNTY, TEXAS, MAP NUMBER 48439C0355L, EFFECTIVE 3/21/2019, AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

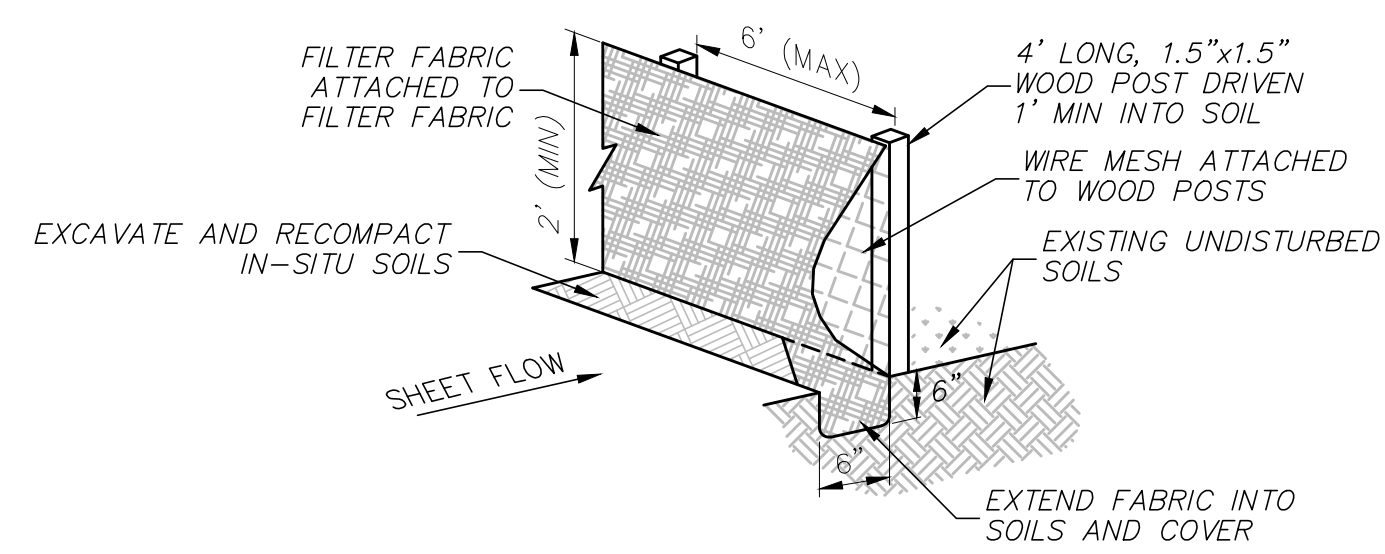
ACREAGE SUMMARY

TOTAL DISTURBED AREA: 0.37 ACRES

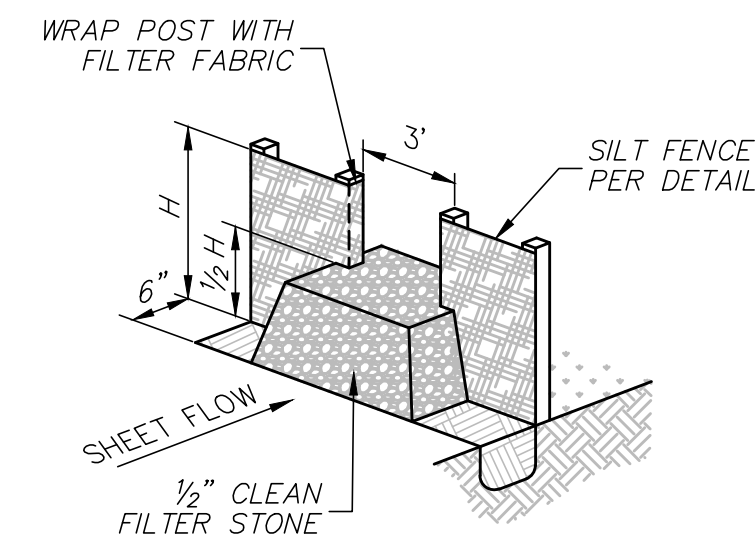
- BENCHMARKS**
1. X-CUT SET ON CONCRETE SIDEWALK EAST OF SUBJECT PROPERTY. 14.0 FT SOUTH OF THE NORTHEAST CORNER OF SUBJECT PROPERTY. 188.5 FT NORTH OF THE MOST SOUTHEAST CORNER OF SUBJECT PROPERTY.
ELEVATION: 631.2
 2. X-CUT SET IN CONCRETE SOUTH OF SUBJECT PROPERTY. 288.8 FT SOUTHWEST OF THE NORTHEAST CORNER OF SUBJECT PROPERTY. 188.4 FT WEST OF THE SOUTHEAST CORNER OF SUBJECT PROPERTY.
ELEVATION: 633.6



EROSION CONTROL PLAN	
HARMONY DENTAL	
2712 MATLOCK ROAD	
CITY OF ARLINGTON, TEXAS	
PRELIMINARY FOR REVIEW ONLY	DESIGN
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P.E. NO.: 107767 DATE: 04/28/23	<small>5300 TOWN & COUNTRY BOULEVARD, SUITE 150 FRISCO, TEXAS 75034 469-850-0900 TBPE FIRM NO. F-20255</small>
ISSUE DATE 04/28/23	DEC FILE NO. 105913
CITY FILE NO. -	SHEET NO. C4.1



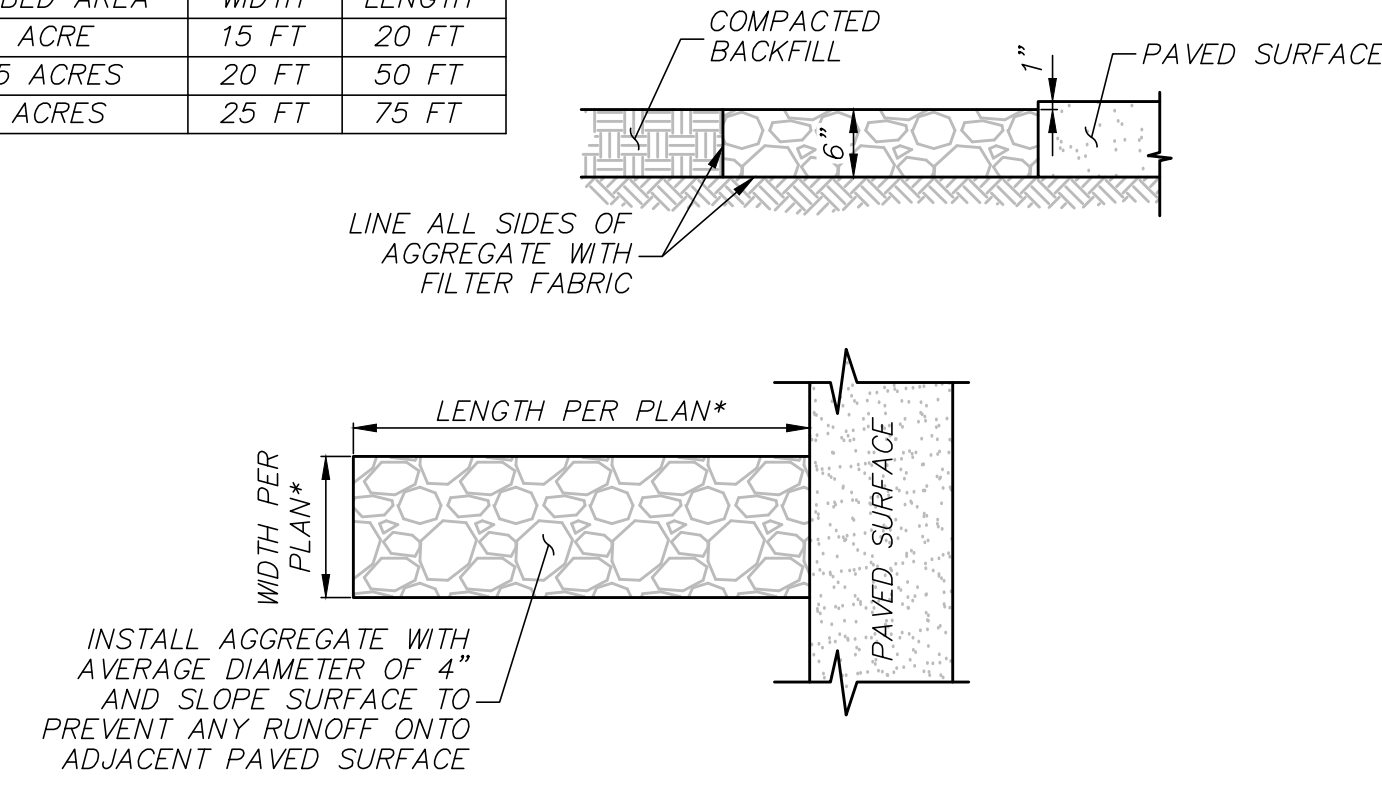
SILT FENCE



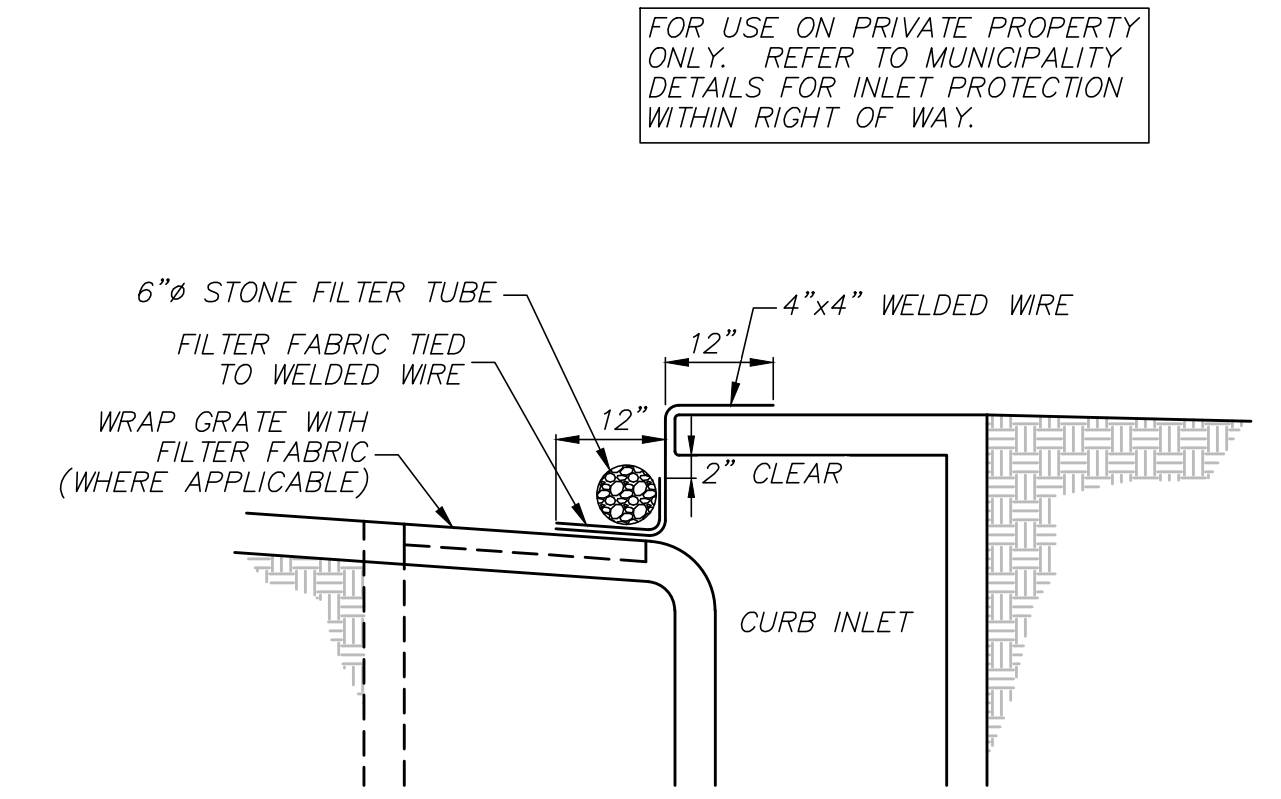
STONE OVERFLOW

***MINIMUM DIMENSION OF ENTRANCE/EXIT**

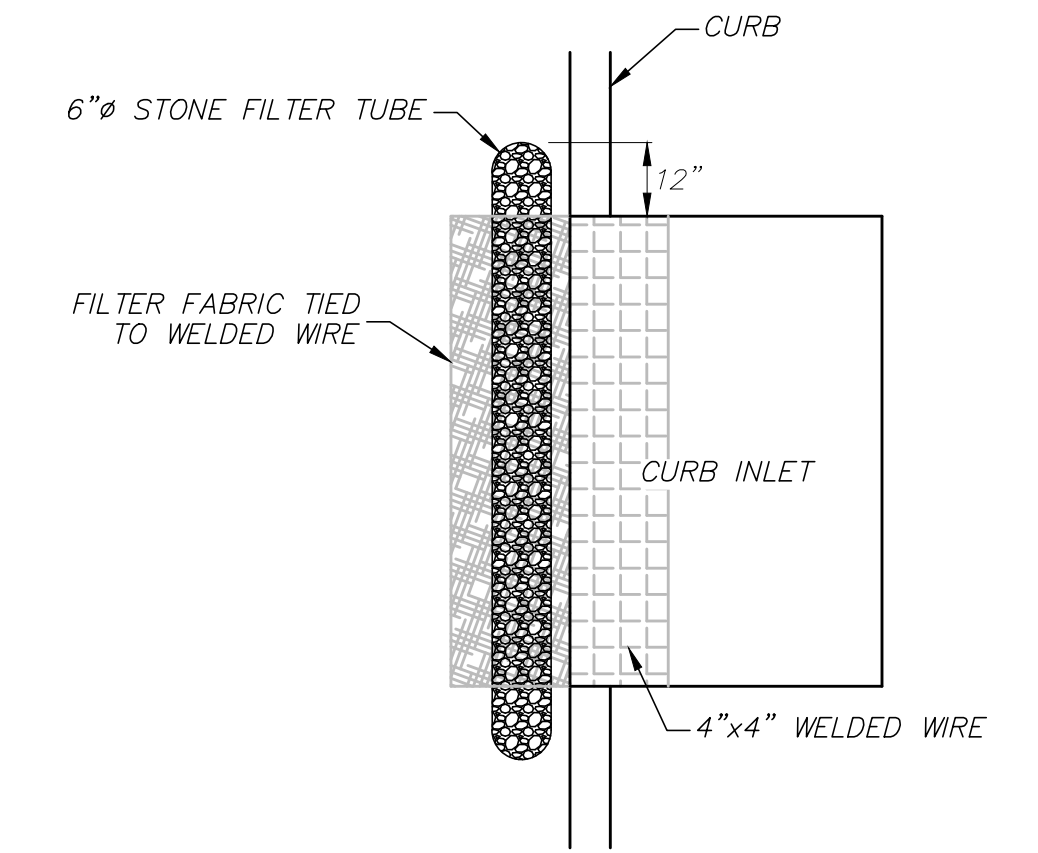
DISTURBED AREA	WIDTH	LENGTH
< 1 ACRE	15 FT	20 FT
1 - 5 ACRES	20 FT	50 FT
> 5 ACRES	25 FT	75 FT



CONSTRUCTION ENTRANCE/EXIT



CURB INLET PROTECTION



EROSION CONTROL DETAILS

HARMONY DENTAL

2712 MATLOCK ROAD

CITY OF ARLINGTON, TEXAS

PRELIMINARY FOR REVIEW ONLY

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P.E. NO.: 107767
DATE: 04/28/23



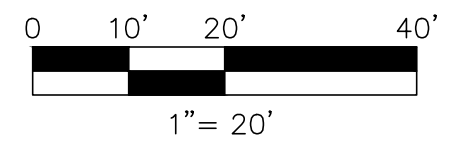
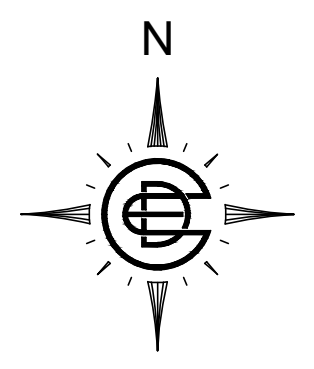
5300 TOWN & COUNTRY BOULEVARD, SUITE 150
FRISCO, TEXAS 75034
469-450-0060
TBPE FIRM NO. F-20255

ISSUE DATE: 04/28/23
DEC FILE NO.: 105913

CITY FILE NO.: -
SHEET NO.: C4.10

DETAILS ON THIS SHEET ARE NOT TO SCALE.

DETAILS AND NOTES ARE FOR PAVING IMPROVEMENTS ON PRIVATE PROPERTY. ALL IMPROVEMENTS IN PUBLIC RIGHT-OF-WAY AND EASEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY'S STANDARDS AND REGULATIONS.



LOT 139-R
LOTS 139-R AND 140-R, A. NEWTON ADDITION
CAB A, PG 7125
PRCT

LOT 140-R
LOTS 139-R AND 140-R, A. NEWTON ADDITION
CAB A, PG 7125
PRCT

LOT 738
A. NEWTON ADDITION
VOL 388-206, PG 96
PRCT

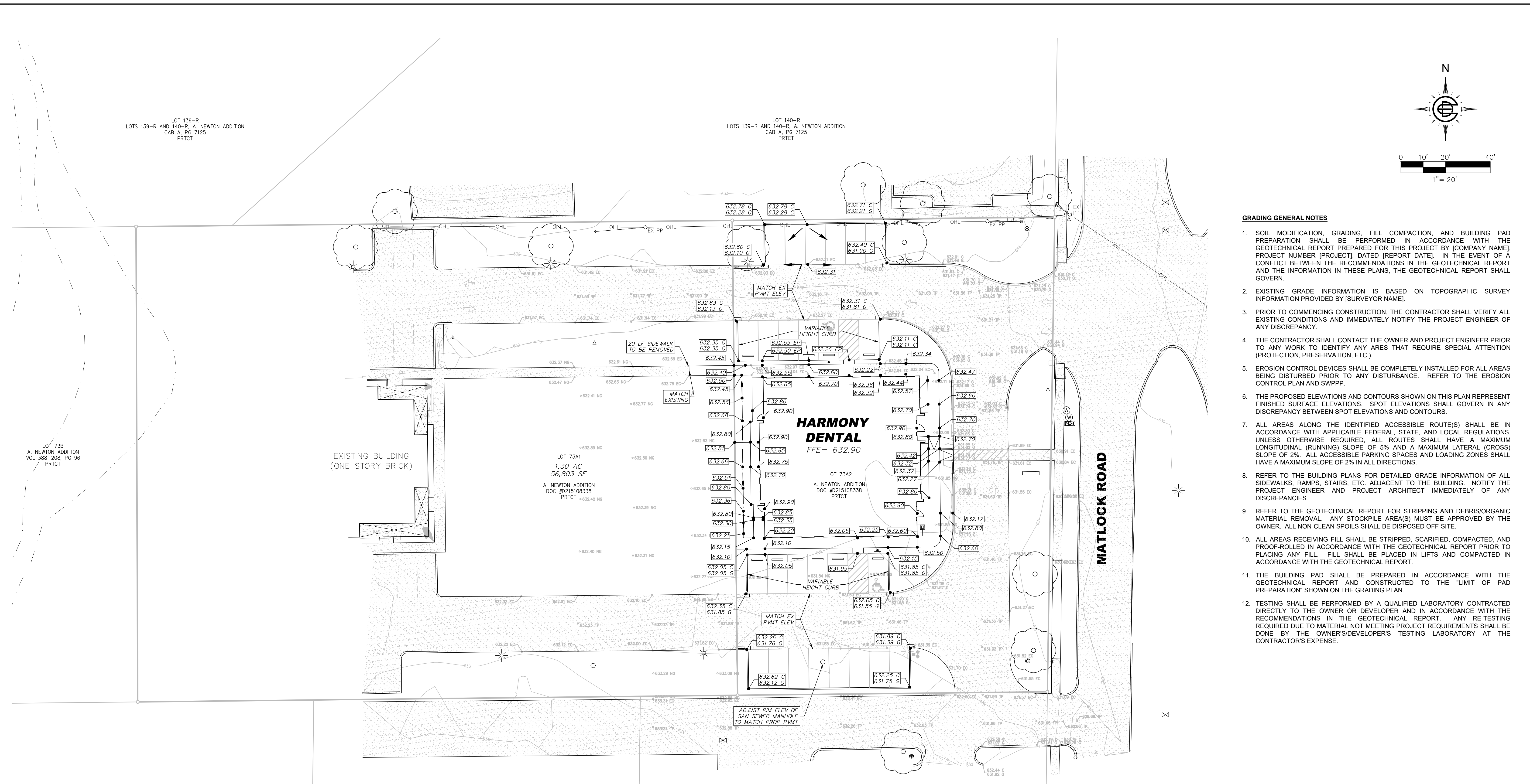
EXISTING BUILDING
(ONE STORY BRICK)

LOT 73A1
1.30 AC
56,803 SF
A. NEWTON ADDITION
DOC #215108338
PRCT

LOT 73A2
A. NEWTON ADDITION
DOC #215108338
PRCT

MATLOCK ROAD

HARMONY DENTAL
FFE = 632.90



GRADING GENERAL NOTES

- SOIL MODIFICATION, GRADING, FILL COMPACTION, AND BUILDING PAD PREPARATION SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT BY [COMPANY NAME], PROJECT NUMBER [PROJECT], DATED [REPORT DATE]. IN THE EVENT OF A CONFLICT BETWEEN THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND THE INFORMATION IN THESE PLANS, THE GEOTECHNICAL REPORT SHALL GOVERN.
- EXISTING GRADE INFORMATION IS BASED ON TOPOGRAPHIC SURVEY INFORMATION PROVIDED BY [SURVEYOR NAME].
- PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCY.
- THE CONTRACTOR SHALL CONTACT THE OWNER AND PROJECT ENGINEER PRIOR TO ANY WORK TO IDENTIFY ANY AREAS THAT REQUIRE SPECIAL ATTENTION (PROTECTION, PRESERVATION, ETC.).
- EROSION CONTROL DEVICES SHALL BE COMPLETELY INSTALLED FOR ALL AREAS BEING DISTURBED PRIOR TO ANY DISTURBANCE. REFER TO THE EROSION CONTROL PLAN AND SWPPP.
- THE PROPOSED ELEVATIONS AND CONTOURS SHOWN ON THIS PLAN REPRESENT FINISHED SURFACE ELEVATIONS. SPOT ELEVATIONS SHALL GOVERN IN ANY DISCREPANCY BETWEEN SPOT ELEVATIONS AND CONTOURS.
- ALL AREAS ALONG THE IDENTIFIED ACCESSIBLE ROUTE(S) SHALL BE IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS. UNLESS OTHERWISE REQUIRED, ALL ROUTES SHALL HAVE A MAXIMUM LONGITUDINAL (RUNNING) SLOPE OF 5% AND A MAXIMUM LATERAL (CROSS) SLOPE OF 2%. ALL ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL HAVE A MAXIMUM SLOPE OF 2% IN ALL DIRECTIONS.
- REFER TO THE BUILDING PLANS FOR DETAILED GRADE INFORMATION OF ALL SIDEWALKS, RAMPS, STAIRS, ETC. ADJACENT TO THE BUILDING. NOTIFY THE PROJECT ENGINEER AND PROJECT ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- REFER TO THE GEOTECHNICAL REPORT FOR STRIPPING AND DEBRIS/ORGANIC MATERIAL REMOVAL. ANY STOCKPILE AREA(S) MUST BE APPROVED BY THE OWNER. ALL NON-CLEAN SPOILS SHALL BE DISPOSED OFF-SITE.
- ALL AREAS RECEIVING FILL SHALL BE STRIPPED, SCARIFIED, COMPACTED, AND PROOF-ROLLED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PRIOR TO PLACING ANY FILL. FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
- THE BUILDING PAD SHALL BE PREPARED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT AND CONSTRUCTED TO THE "LIMIT OF PAD PREPARATION" SHOWN ON THE GRADING PLAN.
- TESTING SHALL BE PERFORMED BY A QUALIFIED LABORATORY CONTRACTED DIRECTLY TO THE OWNER OR DEVELOPER AND IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT. ANY RE-TESTING REQUIRED DUE TO MATERIAL NOT MEETING PROJECT REQUIREMENTS SHALL BE DONE BY THE OWNER'S/DEVELOPER'S TESTING LABORATORY AT THE CONTRACTOR'S EXPENSE.

LOT 69R3
LOTS 69R1, 69R2, 69R3, A. NEWTON ADDITION
VOL 388-186, PG 24
PRCT

LOT 69R2
LOTS 69R1, 69R2, 69R3, A. NEWTON ADDITION
VOL 388-186, PG 24
PRCT

LOT 69R1
LOTS 69R1, 69R2, 69R3, A. NEWTON ADDITION
VOL 388-186, PG 24
PRCT



GRADING PLAN

HARMONY DENTAL
2712 MATLOCK ROAD
CITY OF ARLINGTON, TEXAS

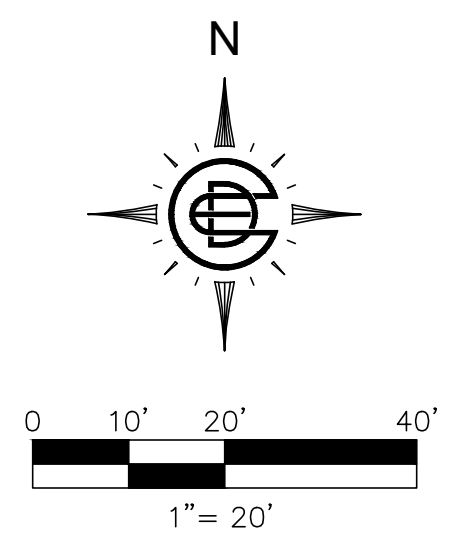
- BENCHMARKS**
- X-CUT SET ON CONCRETE SIDEWALK EAST OF SUBJECT PROPERTY, 14.0 FT SOUTH OF THE NORTHEAST CORNER OF SUBJECT PROPERTY, 188.5 FT NORTH OF THE MOST SOUTHEAST CORNER OF SUBJECT PROPERTY.
ELEVATION: 631.2
 - X-CUT SET IN CONCRETE SOUTH OF SUBJECT PROPERTY, 288.8 FT SOUTHWEST OF THE NORTHEAST CORNER OF SUBJECT PROPERTY, 188.4 FT WEST OF THE SOUTHEAST CORNER OF SUBJECT PROPERTY.
ELEVATION: 633.6

DESIGN	
3300 TOWN & COUNTRY BOULEVARD, SUITE 150 FRISCO, TEXAS 75034 469-850-0900 TBPE FIRM NO. F-20255	
ISSUE DATE	DEC FILE NO.
04/28/23	105913
CITY FILE NO.	SHEET NO.
-	C5.1

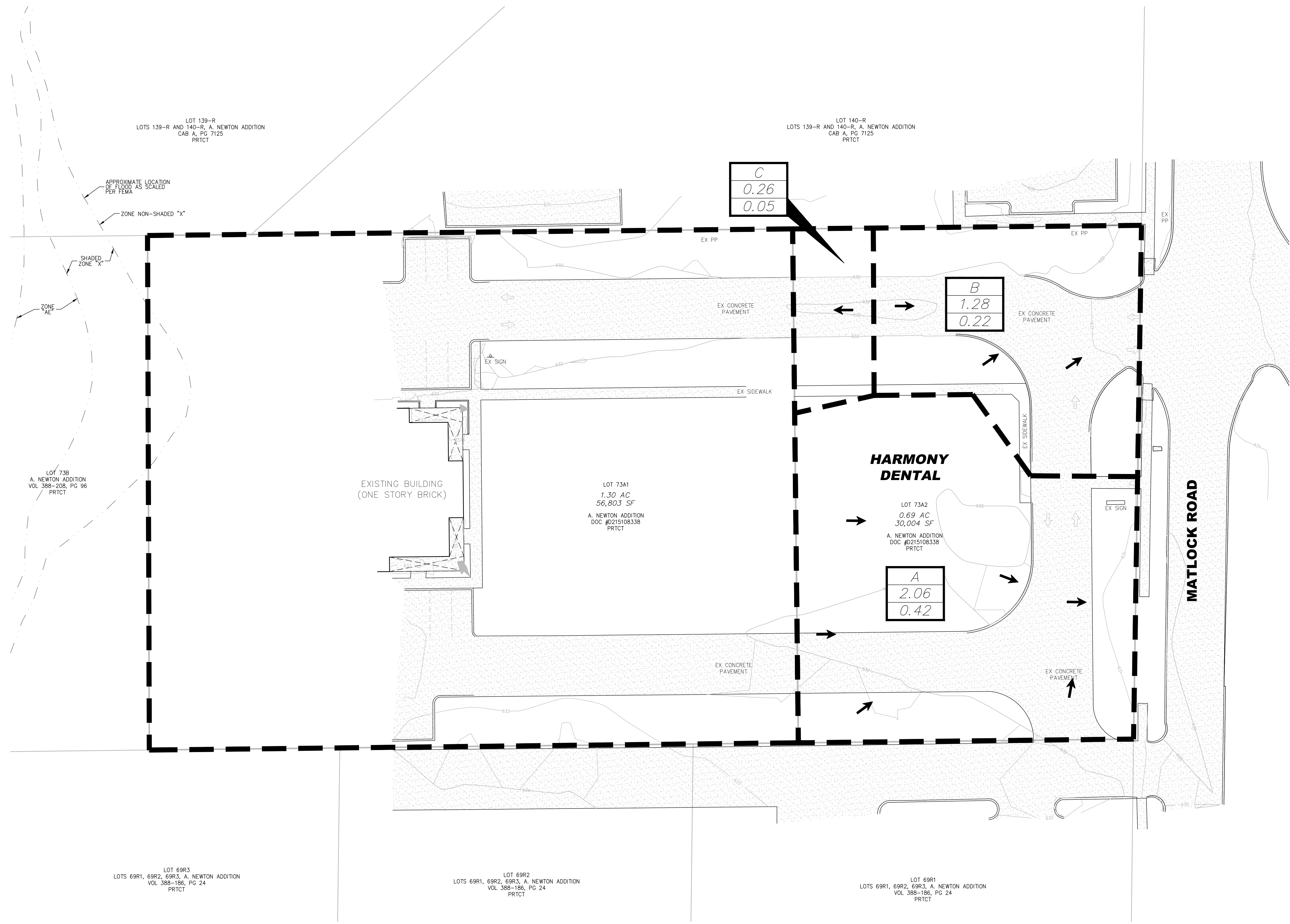
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P.E. NO.: 107767
DATE: 04/28/23



LEGEND				
	EXISTING DRAINAGE BASIN DIVIDE			
<table border="1"><tr><td>A</td></tr><tr><td>0.00</td></tr><tr><td>0.00</td></tr></table>	A	0.00	0.00	DRAINAGE BASIN LABEL DRAINAGE BASIN FLOW, 100 YR (CFS) DRAINAGE BASIN AREA (AC)
A				
0.00				
0.00				
	OVERLAND FLOW DIRECTION			

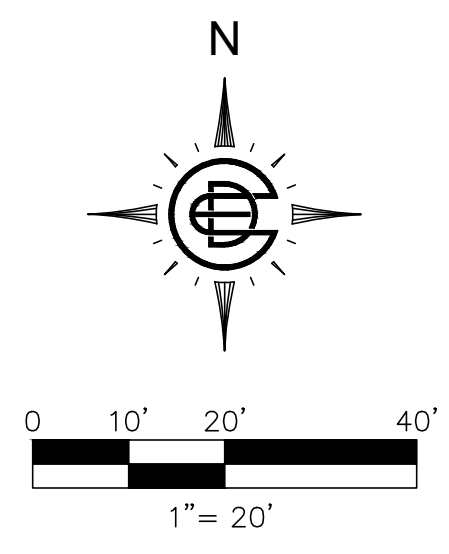


HYDROLOGY CALCULATIONS						
Q = C * I * A						
Basin No.	Area (acres)	C	t _c (min)	I ₁₀₀ (in/hr)	Q ₁₀₀ (cfs)	Inlet Size
A	0.42	0.53	10	9.24	2.06	
B	0.22	0.63	10	9.24	1.28	
C	0.05	0.57	10	9.24	0.26	
TOTAL	0.69				3.60	

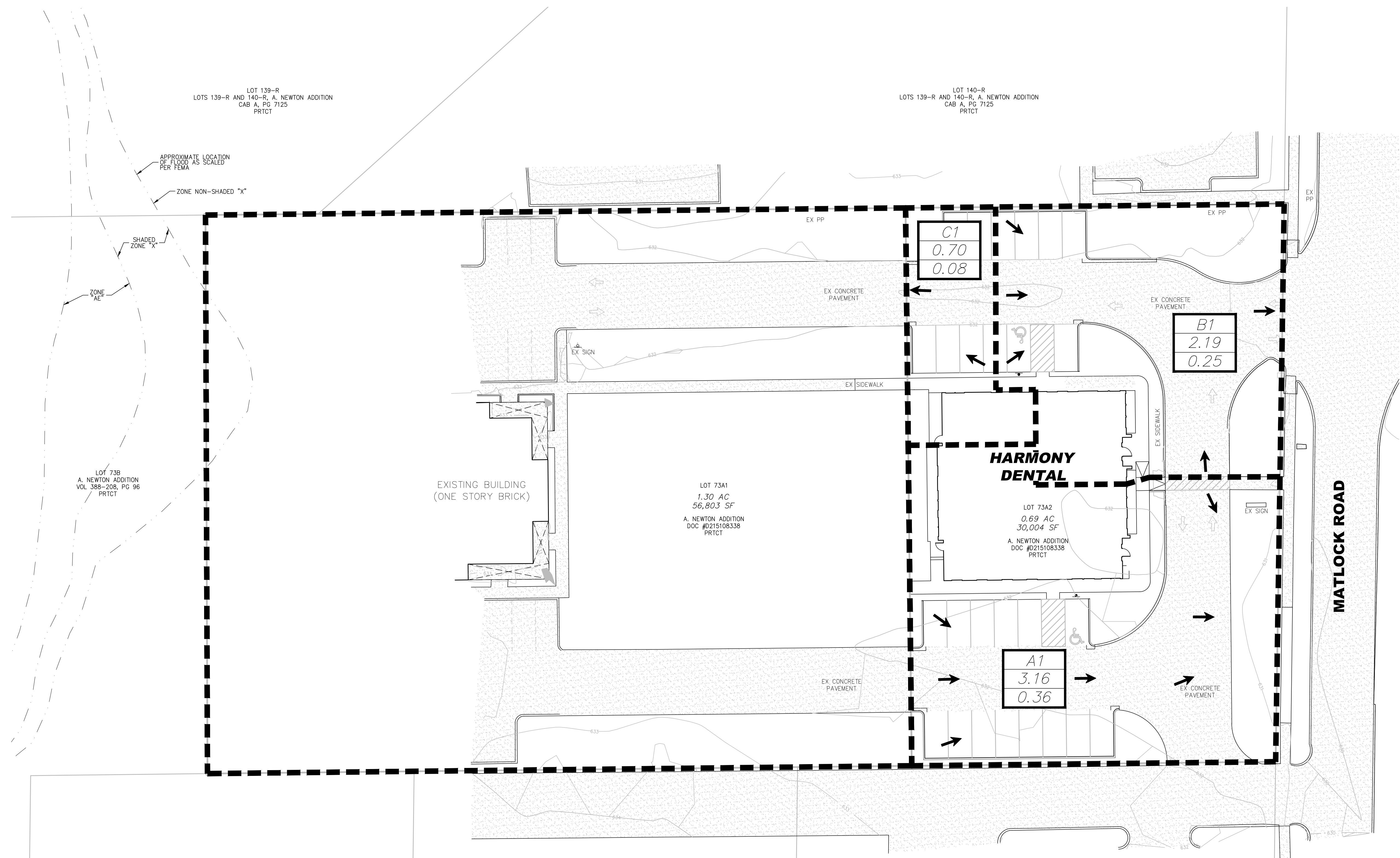
* C FACTOR BASED ON WEIGHTED AVERAGE. C=0.95 USED FOR PAVED AREAS, C=0.35 FOR OPEN LANDSCAPE AREA

DRAINAGE AREA MAP EXISTING CONDITIONS	
HARMONY DENTAL	
2712 MATLOCK ROAD	
CITY OF ARLINGTON, TEXAS	
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P:\JOBFILES\105913 - Harmony Dental\DWG\105913 DRAINAGE AREA MAP.dwg, 5/25/2023 10:34:46 AM, Ricky Lincley, 11



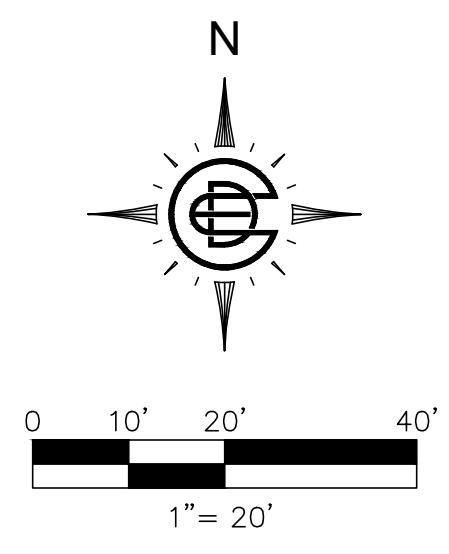
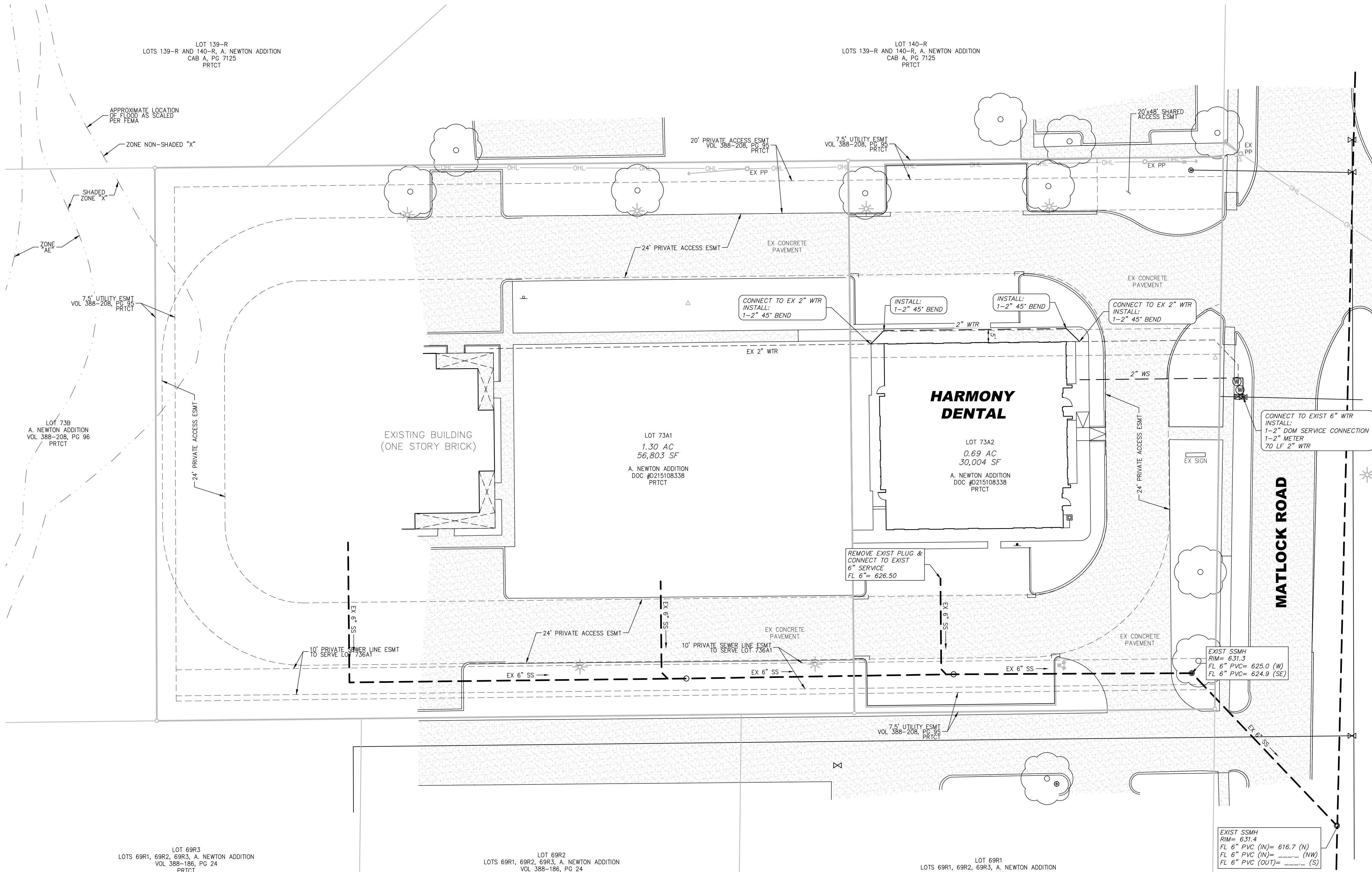
LEGEND				
	EXISTING DRAINAGE BASIN DIVIDE			
	PROPOSED DRAINAGE BASIN DIVIDE			
<table border="1" style="display: inline-table;"><tr><td>A</td></tr><tr><td>0.00</td></tr><tr><td>0.00</td></tr></table>	A	0.00	0.00	DRAINAGE BASIN LABEL DRAINAGE BASIN FLOW, 100 YR (CFS) DRAINAGE BASIN AREA (AC)
A				
0.00				
0.00				
	OVERLAND FLOW DIRECTION			



HYDROLOGY CALCULATIONS						
Q = C * I * A						
Basin No.	Area (acres)	C	t _c (min)	I ₁₀₀ (in/hr)	Q ₁₀₀ (cfs)	Inlet Size
A1	0.36	0.95	10	9.24	3.16	TO MATLOCK ROAD SURFACE DRAINAGE
B1	0.25	0.95	10	9.24	2.19	TO NORTHERN DRIVE CONNECTION TO MATLOCK
C1	0.08	0.95	10	9.24	0.70	WEST ALONG EX. FIRE LANE
TOTAL	0.69				6.06	

DRAINAGE AREA MAP DEVELOPED CONDITIONS	
HARMONY DENTAL	
2712 MATLOCK ROAD	
CITY OF ARLINGTON, TEXAS	
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WATER GENERAL NOTES

1. ALL MATERIALS, CONSTRUCTION METHODS, AND TESTING FOR PUBLIC IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE GOVERNING AUTHORITY'S REGULATIONS, SPECIFICATIONS, AND DETAILS. ALL MATERIALS, CONSTRUCTION METHODS, AND TESTING FOR PRIVATE IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE GOVERNING AUTHORITY'S REGULATIONS, SPECIFICATIONS, AND DETAILS UNLESS OTHERWISE NOTED ON THESE PLANS.
2. THE CONTRACTOR SHALL HAVE A TRENCH SAFETY PLAN PREPARED IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE WHERE WORK IS OCCURRING.
3. THE EXISTING UTILITIES SHOWN ON THIS PLAN REFLECT INFORMATION RECEIVED FROM OTHERS (RECORD PLANS, GROUND SURVEY, ETC.). THE PROJECT ENGINEER TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION OR FOR UTILITIES FOUND THAT ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES, BOTH HORIZONTALLY AND VERTICALLY, PRIOR TO THE INSTALLATION OF PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES.
4. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES NOT BEING REMOVED. ANY REPAIR, WORK STOPPAGE, OR PENALTY INCURRED DUE TO DAMAGE TO EXISTING UTILITIES SHALL BE AT THE CONTRACTOR'S EXPENSE.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL BONDS REQUIRED BY THE GOVERNING AUTHORITY.
6. PIPE MATERIAL FOR WATER LINES SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE OR REQUIRED BY GOVERNING AUTHORITY:
 - 6.1. WATER MAINS 6" AND LARGER: BLUE PVC-AWWA C900-CLASS 165
 - 6.2. WATER SERVICES SMALLER THAN 6": PVC-SCH 40, OR TYPE K COPPER
 - 6.3. FIRE LINES: REFER TO FIRE SPRINKLER DESIGN DRAWINGS
7. FIRE LINES SHALL BE INSTALLED BY A LICENSED FIRE SPRINKLER CONTRACTOR.
8. THERE SHALL BE A MINIMUM OF 42 INCHES FROM TOP OF PIPE TO TOP OF FINAL SURFACE GRADE.
9. EMBEDMENT AND BACKFILL FOR ALL WATER PIPING SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND DETAILS OF THE GOVERNING AUTHORITY OR MANUFACTURER, WHICHEVER IS MORE STRINGENT.
10. WATER MAINS SHALL BE PLACED NO CLOSER TO ANY SANITARY SEWER MAIN THAN ALLOWED BY EPA, STATE, OR LOCAL REQUIREMENTS, WHICHEVER IS MORE STRINGENT.
11. ALL VALVE LIDS SHALL BE ADJUSTED TO BE FLUSH WITH TOP OF FINAL PAVEMENT GRADE OR TWO INCHES ABOVE FINAL GRADE IN NON-PAVED AREAS.
12. ALL FIRE HYDRANTS (PUBLIC AND PRIVATE) SHALL MEET THE GOVERNING AUTHORITY'S SPECIFICATIONS (MODEL, MANUFACTURER, COLOR, ETC.) FOR PUBLIC HYDRANTS. FIRE HYDRANTS SHALL BE LOCATED, BOTH HORIZONTALLY AND VERTICALLY, AND ROTATED TO MEET THE REQUIREMENTS OF THE GOVERNING AUTHORITY.
13. WATER METERS SHALL BE INSTALLED PER THE GOVERNING AUTHORITY'S STANDARD DETAILS AND SPECIFICATIONS. ALL METERS PLACED BELOW THE GROUND SURFACE SHALL BE IN A COVERED BOX LOCATED THREE FEET FROM THE NEAREST BACK OF CURB OR EDGE OF PAVEMENT, OR AS REQUIRED BY THE GOVERNING AUTHORITY. THE TOP/LID OF THE BOX SHALL BE TWO INCHES ABOVE FINAL GRADE.
14. ALL WATER LINES SHALL BE STERILIZED AND TESTED. RESULTS SHALL MEET OR EXCEED THE GOVERNING AUTHORITY'S REQUIREMENTS.

SANITARY SEWER GENERAL NOTES

1. ALL MATERIALS, CONSTRUCTION METHODS, AND TESTING FOR PUBLIC IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE GOVERNING AUTHORITY'S REGULATIONS, SPECIFICATIONS, AND DETAILS. ALL MATERIALS, CONSTRUCTION METHODS, AND TESTING FOR PRIVATE IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE GOVERNING AUTHORITY'S REGULATIONS, SPECIFICATIONS, AND DETAILS UNLESS OTHERWISE NOTED ON THESE PLANS.
2. THE CONTRACTOR SHALL HAVE A TRENCH SAFETY PLAN PREPARED IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE WHERE WORK IS OCCURRING.
3. THE EXISTING UTILITIES SHOWN ON THIS PLAN REFLECT INFORMATION RECEIVED FROM OTHERS (RECORD PLANS, GROUND SURVEY, ETC.). THE PROJECT ENGINEER TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION OR FOR UTILITIES FOUND THAT ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES, BOTH HORIZONTALLY AND VERTICALLY, PRIOR TO THE INSTALLATION OF PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES.

4. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES NOT BEING REMOVED. ANY REPAIR, WORK STOPPAGE, OR PENALTY INCURRED DUE TO DAMAGE TO EXISTING UTILITIES SHALL BE AT THE CONTRACTOR'S EXPENSE.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BONDS REQUIRED BY THE GOVERNING AUTHORITY.
6. PIPE MATERIAL FOR SANITARY SEWER LINES SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED OR REQUIRED BY GOVERNING AUTHORITY:
 - 6.1. SEWER MAINS 6" AND LARGER: GREEN PVC-ASTM D 3034-SDR 35
7. EMBEDMENT AND BACKFILL FOR ALL SANITARY SEWER PIPING SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND DETAILS OF THE GOVERNING AUTHORITY OR MANUFACTURER, WHICHEVER IS MORE STRINGENT.
8. SANITARY SEWER MAINS SHALL BE PLACED NO CLOSER TO ANY WATER MAIN THAN ALLOWED BY EPA, STATE, OR LOCAL REQUIREMENTS, WHICHEVER IS MORE STRINGENT. ONE FULL JOINT (20") SANITARY SEWER PIPE SHALL BE CENTERED ON ANY WATER MAIN CROSSING.
9. ALL PIPE CONNECTIONS TO SANITARY SEWER STRUCTURES SHALL BE SEALED TO CREATE A WATER-TIGHT CONNECTION.
10. UNLESS NOTED OTHERWISE OR REQUIRED BY GOVERNING AUTHORITY'S SPECIFICATIONS OR DETAILS, ALL SANITARY SEWER MANHOLES SHALL BE PRECAST STRUCTURES MANUFACTURED BY FORTERRA.
11. IN PAVED AREAS, THE TOP OF ALL MANHOLE RIMS, CLEANOUT COVERS, ETC. SHALL BE FLUSH WITH THE FINAL SURFACE ELEVATION OF SURROUNDING PAVEMENT. IN UNPAVED AREAS, ALL MANHOLE RIMS, CLEANOUT COVERS, ETC. SHALL BE THREE TO SIX INCHES (3"-6") ABOVE FINAL GRADE.
12. REFER TO THE PAVING DETAILS FOR JOINTS AND/OR BLOCKOUTS TO BE PLACED AROUND ALL SANITARY SEWER MANHOLES.

BENCHMARKS	
1.	X-CUT SET ON CONCRETE SIDEWALK EAST OF SUBJECT PROPERTY, 14.0 FT SOUTH OF THE NORTHEAST CORNER OF SUBJECT PROPERTY, 188.5 FT NORTH OF THE MOST SOUTHEAST CORNER OF SUBJECT PROPERTY. ELEVATION: 631.2
2.	X-CUT SET IN CONCRETE SOUTH OF SUBJECT PROPERTY, 288.8 FT SOUTHWEST OF THE NORTHEAST CORNER OF SUBJECT PROPERTY, 188.4 FT WEST OF THE SOUTHEAST CORNER OF SUBJECT PROPERTY. ELEVATION: 633.6



WATER & SANITARY SEWER PLAN	
HARMONY DENTAL	
2712 MATLOCK ROAD	
CITY OF ARLINGTON, TEXAS	
DESIGN	
5300 TOWN & COUNTRY BOULEVARD, SUITE 150 FRISCO, TEXAS 75034 469-850-0900 TBE FIRM NO. F-20255	
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P.E. NO.: 107767 DATE: 04/28/23	DEC FILE NO. 105913
	SHEET NO. C8.1

LOT 139-R
LOTS 139-R AND 140-R, A. NEWTON ADDITION
CAB A, PG 7125
PRTCT

LOT 140-R
LOTS 139-R AND 140-R, A. NEWTON ADDITION
CAB A, PG 7125
PRTCT

LOT 73B
A. NEWTON ADDITION
VOL 388-205, PG 96
PRTCT

EXISTING BUILDING
(ONE STORY BRICK)

LOT 73A1
1.30 AC
56,803 SF
A. NEWTON ADDITION
DOC #D215108338
PRTCT

**HARMONY
DENTAL**

LOT 73A2
0.69 AC
30,004 SF
A. NEWTON ADDITION
DOC #D215108338
PRTCT

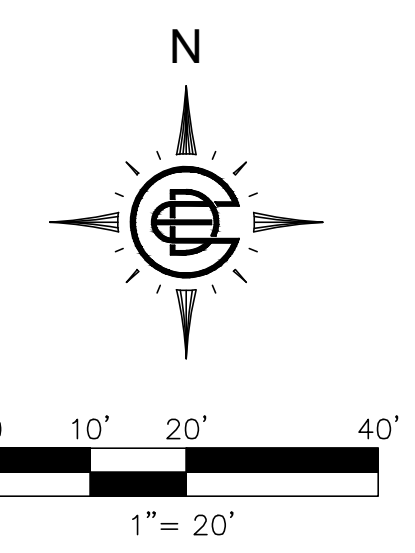
5" CP
VARIABLE
HEIGHT CURB

MATLOCK ROAD

LOT 69R3
LOTS 69R1, 69R2, 69R3, A. NEWTON ADDITION
VOL 388-186, PG 24
PRTCT

LOT 69R2
LOTS 69R1, 69R2, 69R3, A. NEWTON ADDITION
VOL 388-186, PG 24
PRTCT

LOT 69R1
LOTS 69R1, 69R2, 69R3, A. NEWTON ADDITION
VOL 388-186, PG 24
PRTCT



PAVEMENT LEGEND	
	EXISTING CONCRETE PAVEMENT
	REMOVE EXISTING PAVEMENT
	4"-3,000 PSI REINFORCED CONCRETE SIDEWALK PER DETAIL
	5"-3,500 PSI REINFORCED CONCRETE ON 6" COMPACTED SUBGRADE PER DETAIL (5" CP)

CONSTRUCTION NOTES	
INDICATED BY	
1.	EXISTING CURB.
2.	FULL DEPTH SAWCUT.
3.	REMOVE EXISTING CURB & CONSTRUCT BUTT JOINT PER DETAIL.
4.	CONSTRUCT BUTT JOINT PER DETAIL.
5.	EDGE OF EXISTING PAVEMENT.
6.	CONSTRUCT PAVEMENT ISOLATION JOINT PER DETAIL.
7.	INSTALL ACCESSIBLE PARKING SIGN PER DETAIL.
8.	CONSTRUCT INTEGRAL CURB PER DETAIL.
9.	INSTALL WHEEL STOP PER DETAIL.
10.	PAINT FIRE LANE PER DETAIL.
11.	CONSTRUCT CURB END PER DETAIL.
12.	PAINT ANGLED STRIPING PER DETAIL.
13.	PAINT CROSSWALK PER DETAIL.
14.	CONSTRUCT CONCRETE SIDEWALK PER DETAIL.
15.	CONSTRUCT ACCESSIBLE PARKING AREA PER DETAIL.
16.	PAINT PARKING STALL STRIPING PER DETAIL.

REFER TO SHEETS C9.10 - C9.11 FOR PAVING NOTES AND DETAILS.

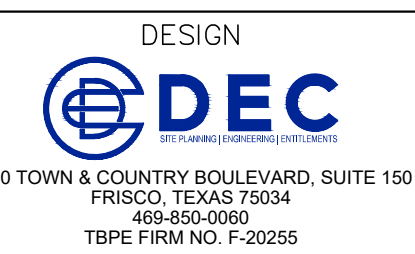
SET SAN SEWER MANHOLE RIM & COVER FLUSH WITH PROPOSED CONC PAVEMENT

RELOCATE EX LIGHT POLE

PAVING PLAN

HARMONY DENTAL
2712 MATLOCK ROAD
CITY OF ARLINGTON, TEXAS

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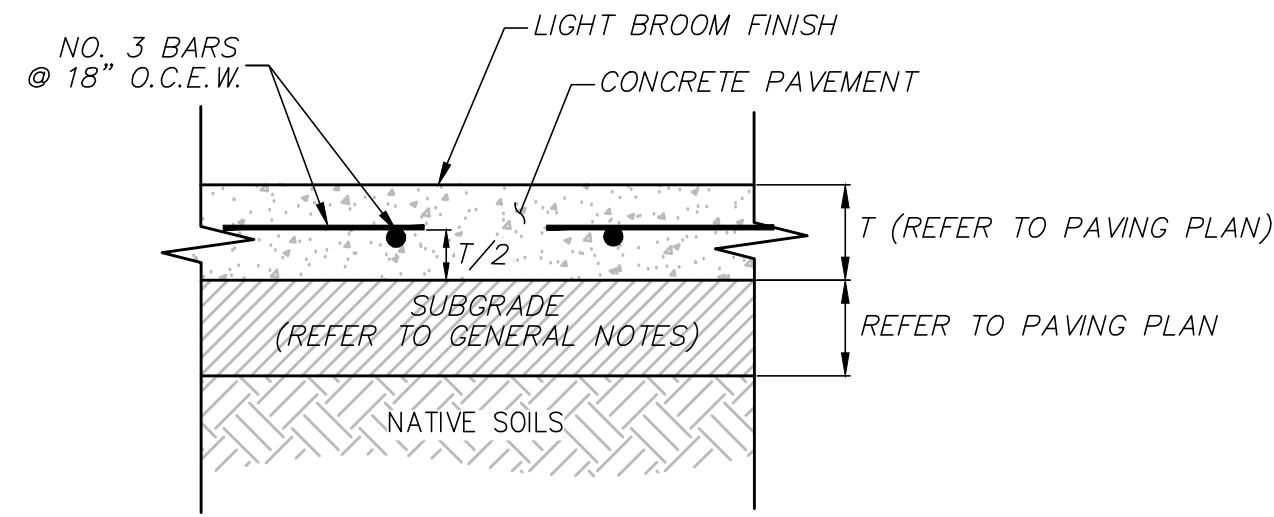
DESIGN
5300 TOWN & COUNTRY BOULEVARD, SUITE 150
FRISCO, TEXAS 75034
469-850-0060
TBP# FIRM NO. F-20255

P.E. NO.: 107767
DATE: 04/28/23

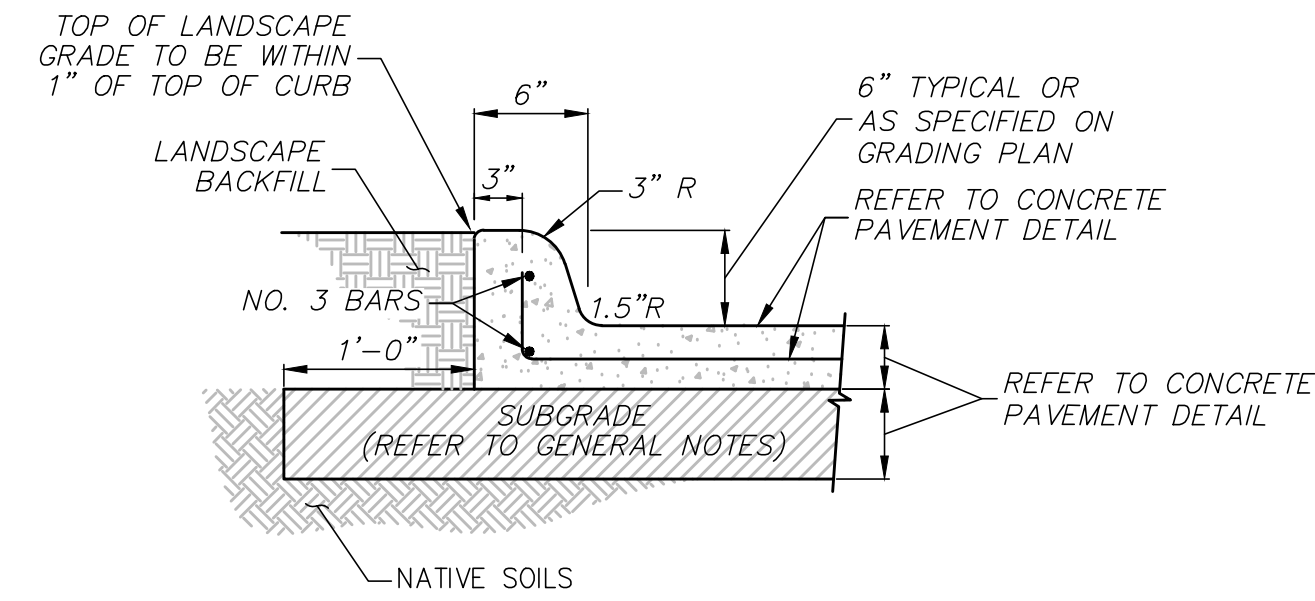
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04/28/23	105913
CITY FILE NO.	SHEET NO.
-	C8.1

PAVING GENERAL NOTES

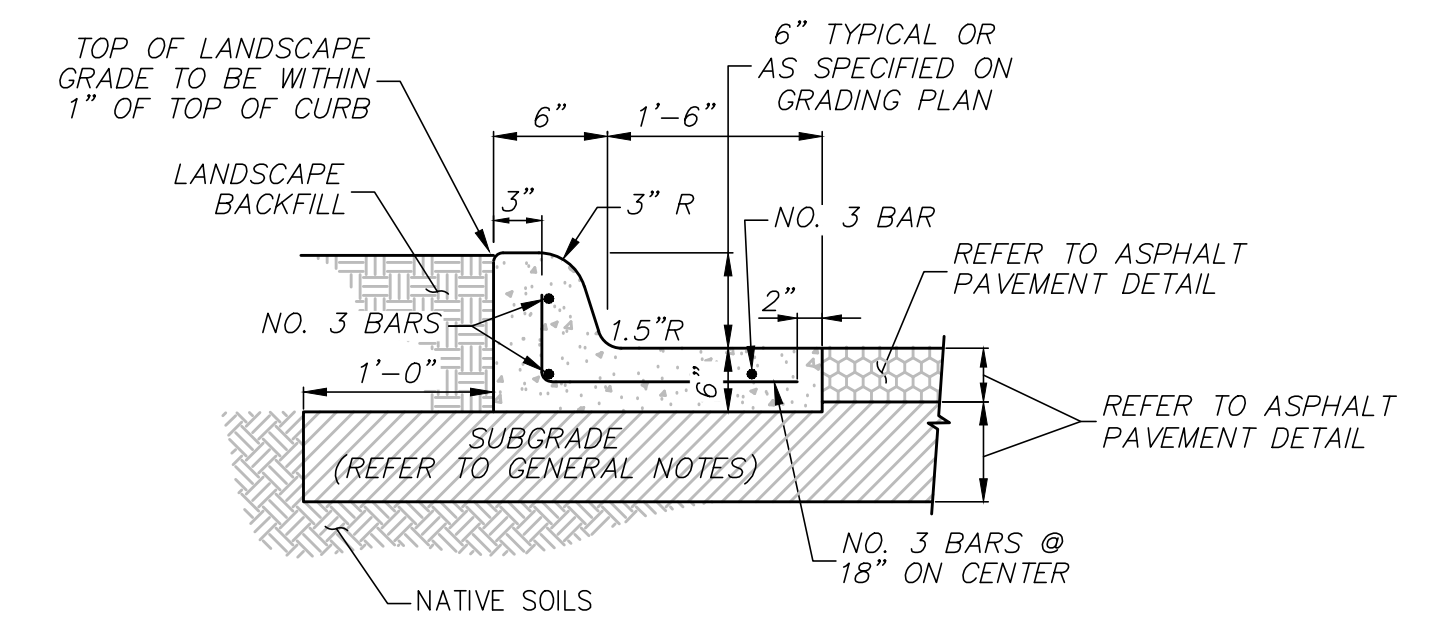
- ALL MATERIALS, CONSTRUCTION METHODS, AND TESTING FOR PAVING IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE GOVERNING AUTHORITY'S REGULATIONS, SPECIFICATIONS, AND DETAILS UNLESS OTHERWISE NOTED ON THESE PLANS.
- THE CONTRACTOR SHALL PROVIDE A TWO YEAR UNCONDITIONAL MAINTENANCE WARRANTY ON ALL PAVEMENT.
- ALL SUBGRADE SOILS SHALL BE PREPARED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER. SUBGRADE PREPARATION SHALL CONSIST OF THE FOLLOWING, UNLESS OTHERWISE RECOMMENDED:
 - PROOF-ROLL SOILS AND EXCAVATE ANY SOFT AREAS DOWN TO FIRM SUBGRADE, BACKFILL WITH CLEAN SOILS AND COMPACT.
 - SCARIFY SOILS TO A DEPTH OF _____ INCHES AND RE-COMPACT TO AT LEAST 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698) AND WITHIN THE RANGE OF _____% BELOW TO _____% ABOVE THE MATERIAL'S OPTIMUM MOISTURE CONTENT.
 - THE SUBGRADE SHALL BE PROTECTED AND MAINTAINED WITH DESIGN MOISTURE CONTENT UNTIL THE PAVEMENT HAS BEEN PLACED. DENSITY TESTS MUST BE TAKEN AFTER ANY PRECIPITATION EVENT AND NO MORE THAN 72 HOURS PRIOR TO PLACEMENT OF PAVEMENT.
- THE USE OF LEVELING SAND UNDER CONCRETE PAVEMENT IS PROHIBITED.
- ALL PAVEMENT SHALL BE CONSTRUCTED TO THE THICKNESS AND MINIMUM STRENGTH SHOWN ON THE PAVING PLAN. ALL STRENGTHS FOR CONCRETE PAVEMENTS SHALL BE 28 DAY COMPRESSIVE STRENGTH, UNLESS OTHERWISE NOTED. CONCRETE SHALL HAVE A WATER-TO-CEMENT RATIO TO ACHIEVE A SLUMP BETWEEN THREE INCHES AND FIVE INCHES. CONCRETE SHALL BE ENTRAINED WITH 4.5 PERCENT AIR, WITH AN ACCEPTABLE DEVIATION OF 1.5 PERCENT (4.5% ±1.5%).
- ALL REINFORCING BARS AND DOWELS SHALL BE UNCOATED 60 KSI STEEL BARS.
- ALL REINFORCING BARS AND DOWELS MUST BE SUPPORTED WITH BAR CHAIRS.
- CONCRETE SHALL NOT BE PLACED WHEN THE OUTSIDE AMBIENT TEMPERATURE IS LESS THAN 40 DEGREES FAHRENHEIT, RAIN IS FALLING, OR RAIN IS IMMINENT. TEMPERATURE READINGS SHALL BE TAKEN IN THE SHADE AWAY FROM ANY ARTIFICIAL HEAT OR COOLING SOURCE.
- CONCRETE SHALL BE POURED IN SECTIONS NOT TO EXCEED THIRTY FEET IN WIDTH, UNLESS PUMPED.
- ALL CONCRETE PAVEMENT SURFACES SHALL BE FINISHED WITH A LIGHT BROOM FINISH AND ALLOWED TO CURE FOR A MINIMUM OF 72 HOURS PRIOR TO PLACEMENT OF ANY LOADING. THE CONCRETE SURFACE SHALL BE PROTECTED IN WINDY CONDITIONS TO PREVENT SURFACE CRACKING.
- THE CONTRACTOR SHALL PREPARE A JOINT LAYOUT PLAN AND PROVIDE IT TO THE DESIGN ENGINEER FOR REVIEW A MINIMUM OF ONE WEEK PRIOR TO PAVING. THE JOINT PATTERN SHALL AVOID IRREGULAR SHAPES AND PLACEMENT OF JOINTS ALONG SWALE/VALLEY LINES. THE MAXIMUM JOINT SPACING SHALL BE:
 - CONTROL JOINTS: 5' PAVEMENT - 12.5 FEET
6' PAVEMENT - 15 FEET
7' PAVEMENT - 17.5 FEET
 - EXPANSION JOINTS: 90 FEET
- SAW CUTTING OF JOINTS SHALL BE DONE AS SOON AS IT CAN SUPPORT THE WEIGHT OF SAWCUTTING EQUIPMENT, AND WITHIN EIGHT HOURS OF THE CONCRETE BEING POURED. NO JOINT SHALL BE SHORTER THAN EIGHTEEN INCHES (1'-6").
- ALL SLURRY AROUND SAW JOINTS SHALL BE CLEANED IMMEDIATELY. ONCE DRY AND WITHIN 48 HOURS, ALL JOINTS TO RECEIVE SEALANT SHALL BE CLEANED OF DIRT, DUST, DEBRIS, ETC. AND SEALED. SEALANT IN VEHICULAR AREAS SHALL BE HOT POURED RUBBER JOINT SEALING COMPOUND. SEALANT IN SIDEWALK AREAS AND ADJACENT TO STRUCTURES SHALL BE A LIGHT GRAY (TO MATCH PAVEMENT COLOR) SILICONE BASED, SELF LEVELING SEALANT. SEALANT SHALL BE PLACED TO WITHIN 1/4" OF THE TOP OF PAVEMENT.
- UNLESS NOTED OTHERWISE, ALL EXPANSION JOINT MATERIAL SHALL BE PLACED SO THAT THE TOP OF THE FILLER MATERIAL IS ONE INCH BELOW THE TOP OF PAVEMENT.
- ALL CURBS AND PAVEMENT BEING PLACED ADJACENT TO EXISTING CURBS AND/OR PAVEMENTS SHALL MATCH THE SURFACE ELEVATION/SHAPE OF THE EXISTING CURB AND/OR PAVEMENT.
- ALL PAVEMENT MARKINGS SHALL BE WHITE, UNLESS OTHERWISE NOTED OR REQUIRED BY GOVERNING AUTHORITY. MARKINGS SHALL BE PAINTED WITH TWO COATS OF UNDILUTED LATEX TRAFFIC PAINT AT THE MANUFACTURER'S RECOMMENDED APPLICATION RATE. THE SECOND COAT SHALL BE APPLIED NO MORE THAN SEVEN DAYS PRIOR TO USE BY THE GENERAL PUBLIC. MARKINGS SHALL HAVE SHARP EDGES AND A CONSISTENT COLOR. MARKINGS PERPENDICULAR TO CURB LINES SHALL BE PAINTED UP TO THE BOTTOM FACE OF THE CURB.
- REFER TO THE IRRIGATION PLAN, SITE LIGHTING PLAN, AND/OR FRANCHISE UTILITY PLAN(S) FOR CONDUIT REQUIREMENTS. ALL CONDUITS SHALL BE PLACED PRIOR TO SUBGRADE BEING PREPARED.
- TESTING SHALL BE PERFORMED BY A QUALIFIED TESTING LABORATORY CONTRACTED DIRECTLY WITH THE OWNER/DEVELOPER. TESTING SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT OR AS DIRECTED BY THE OWNER/DEVELOPER. ANY TESTS INDICATING PAVEMENT FAILING TO MEET THE REQUIREMENTS OF THE PLANS AND/OR SPECIFICATIONS SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE. ALL COSTS OF RE-TESTING SHALL BE REIMBURSED BY THE CONTRACTOR.
- ALL PAVEMENT SURFACES SHALL BE POWER WASHED TO REMOVE DIRT, DEBRIS, STAINS, ETC. AFTER ALL CONSTRUCTION EQUIPMENT AND MATERIAL HAVE BEEN REMOVED FROM THE PAVEMENT SURFACE, AND PRIOR TO OPENING TO THE GENERAL PUBLIC.
- DETECTABLE WARNING SURFACES SHALL BE ALERTCAST REPLACEABLE CAST-IN-PLACE DETECTABLE WARNING MAT, COLONIAL RED, MANUFACTURED BY DETCABLE WARNING SYSTEMS OR APPROVED EQUIVALENT.



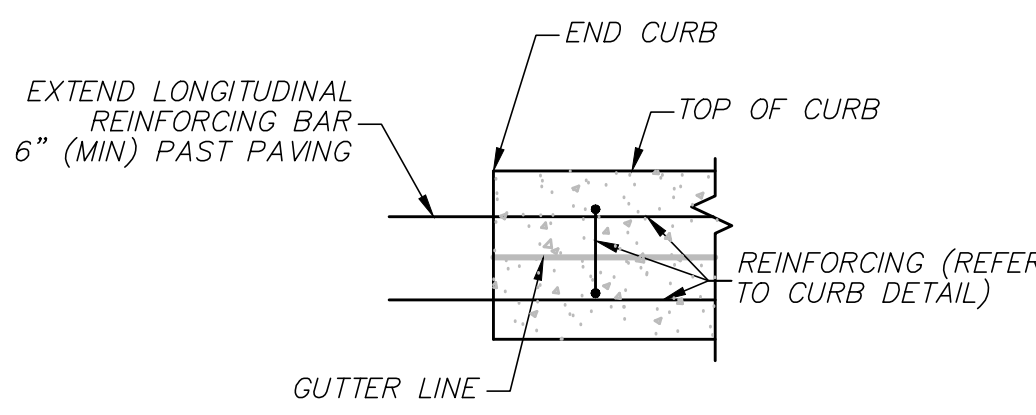
CONCRETE PAVEMENT



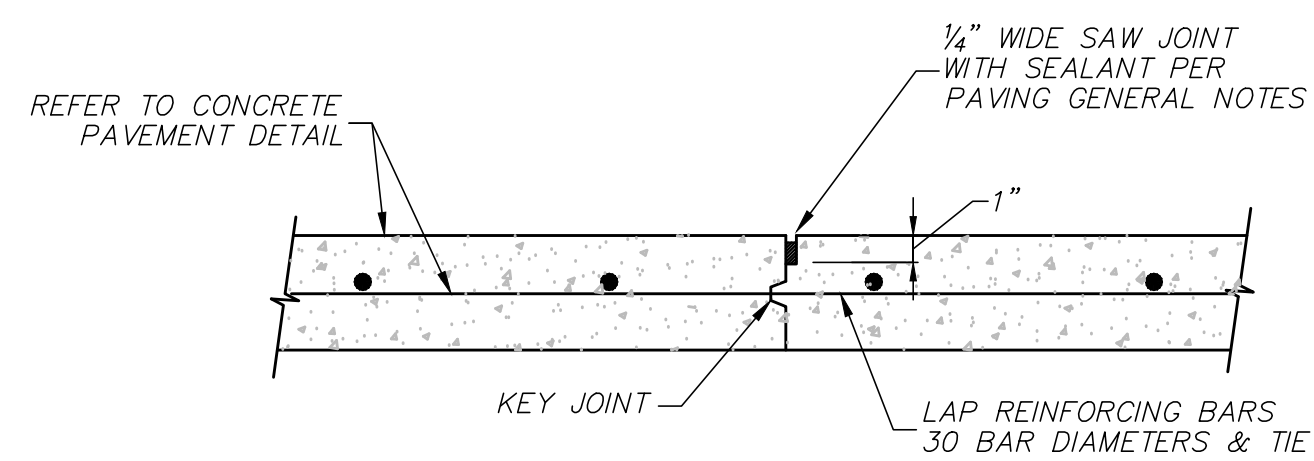
INTEGRAL CURB



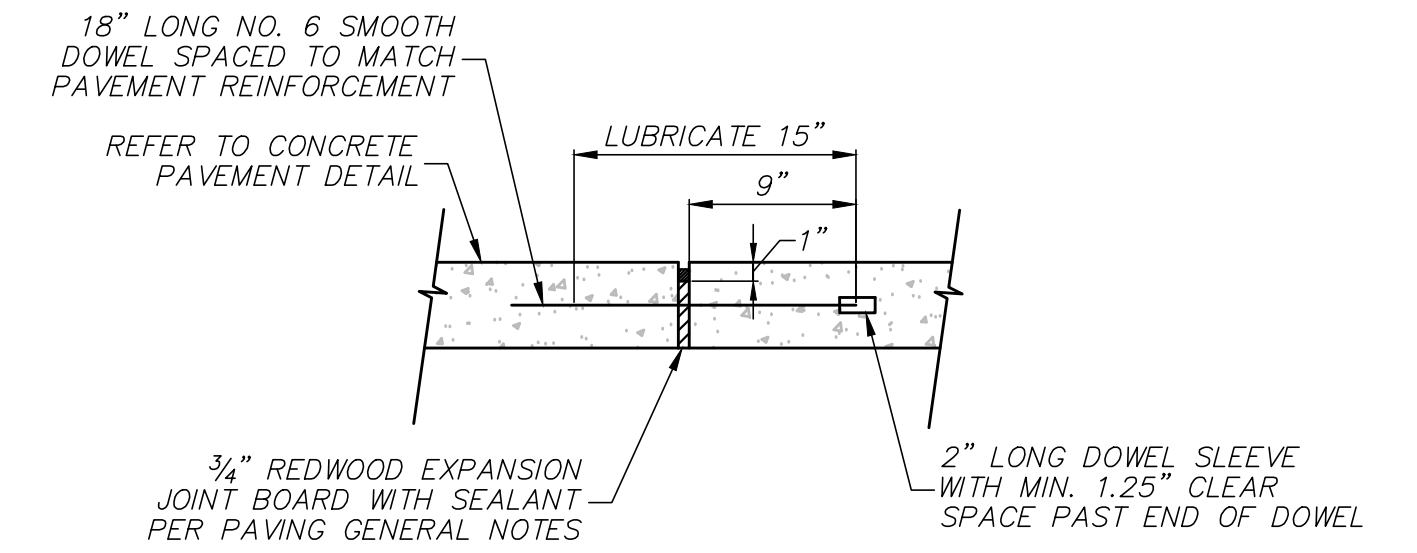
CONCRETE CURB & GUTTER



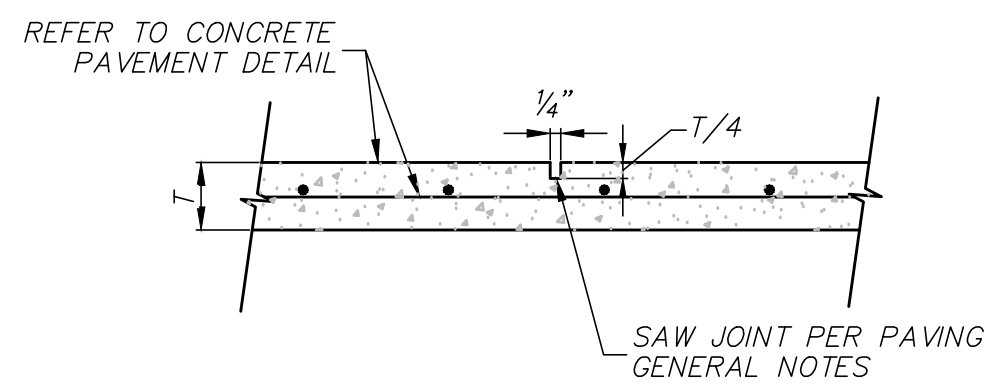
END CURB AT 90°



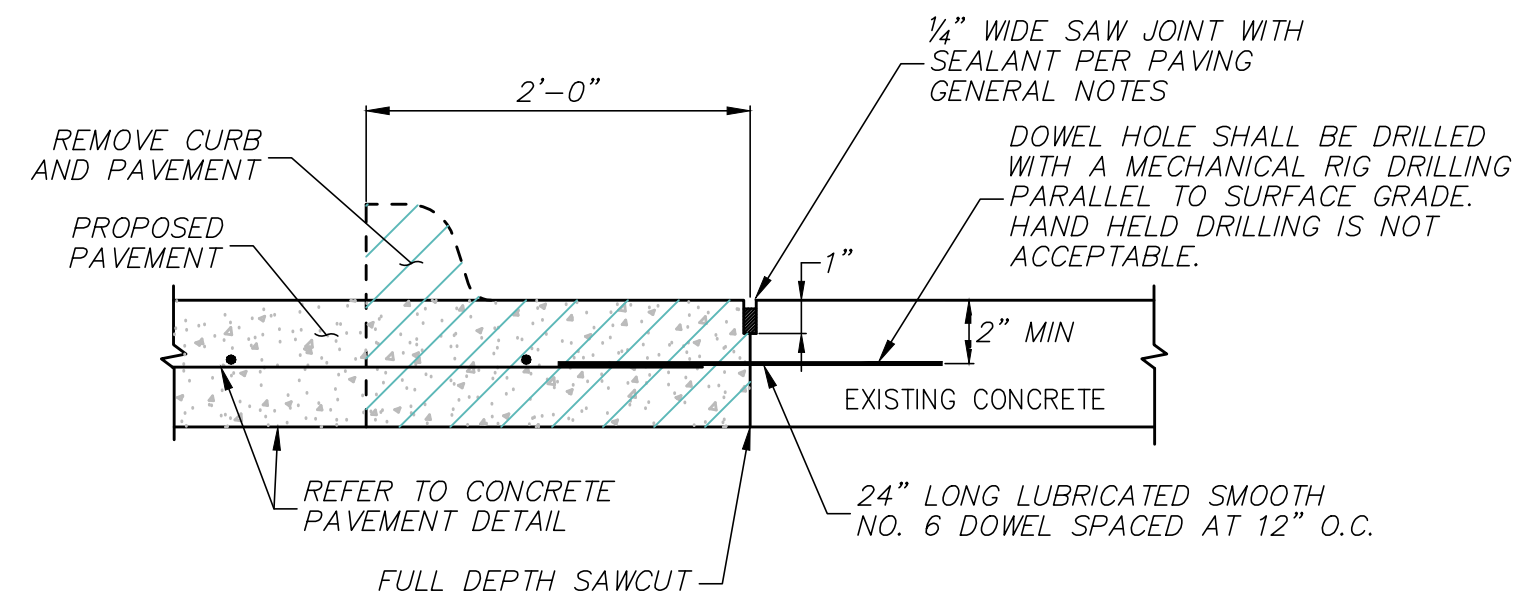
CONSTRUCTION JOINT



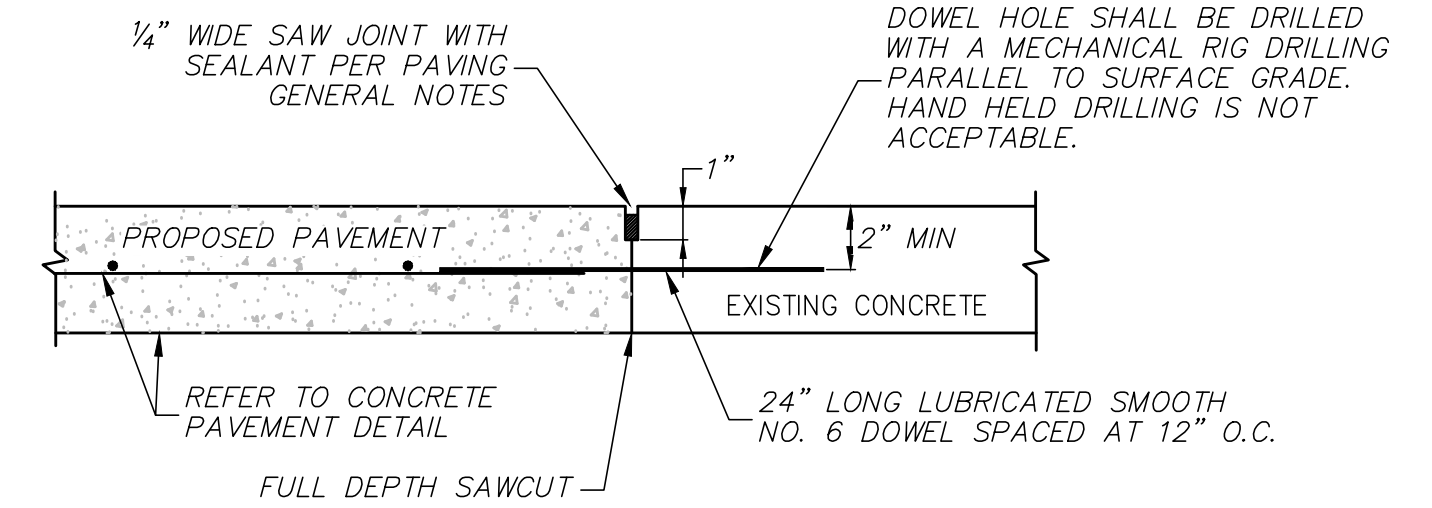
EXPANSION JOINT



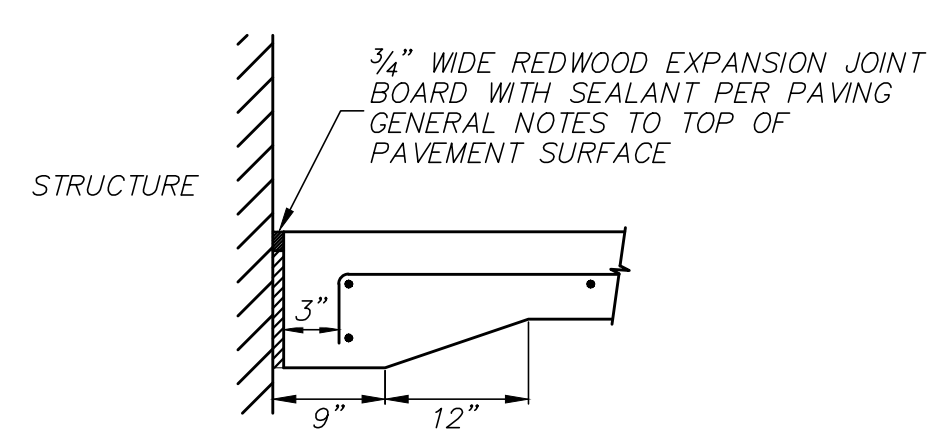
CONTROL JOINT



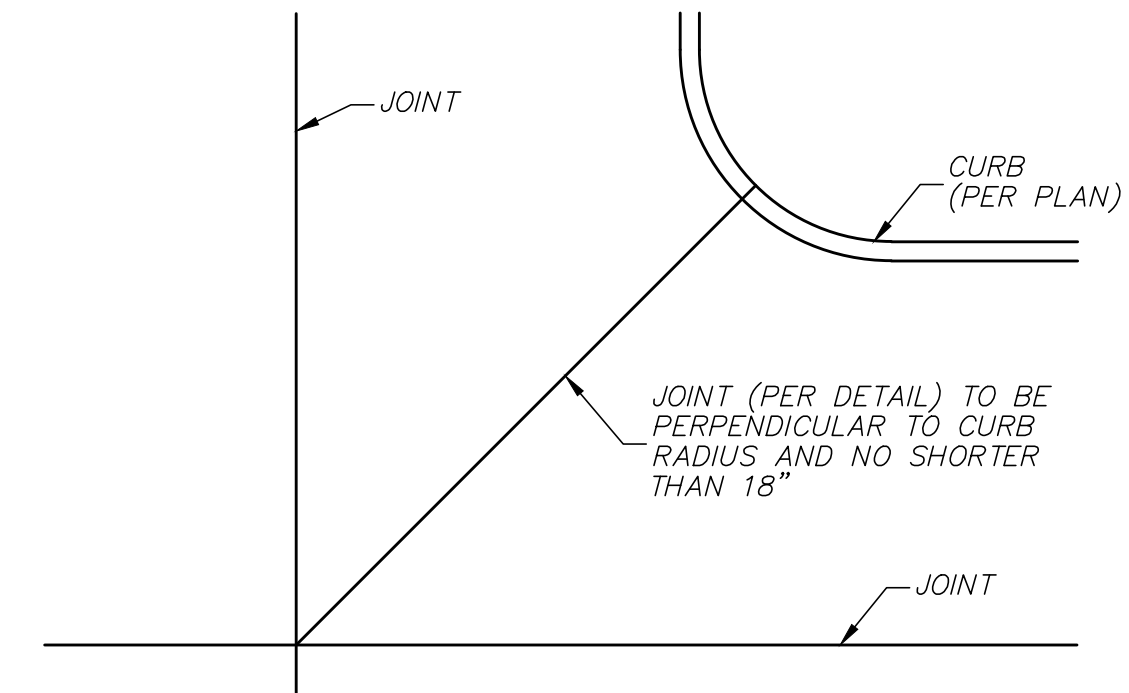
BUTT JOINT AT REMOVED CURB



BUTT JOINT



PAVEMENT ISOLATION JOINT

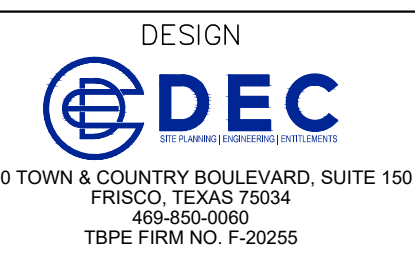


JOINT AT RADIAL CURB

PAVING DETAILS

HARMONY DENTAL
2712 MATLOCK ROAD
CITY OF ARLINGTON, TEXAS

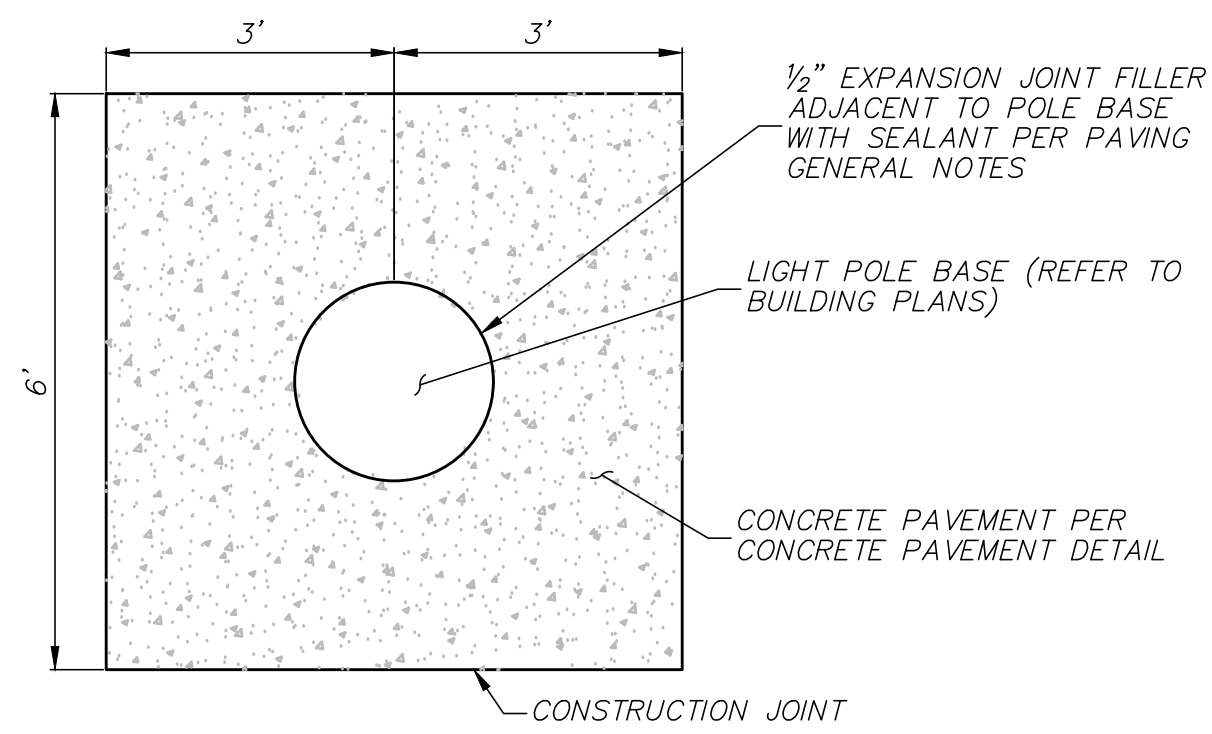
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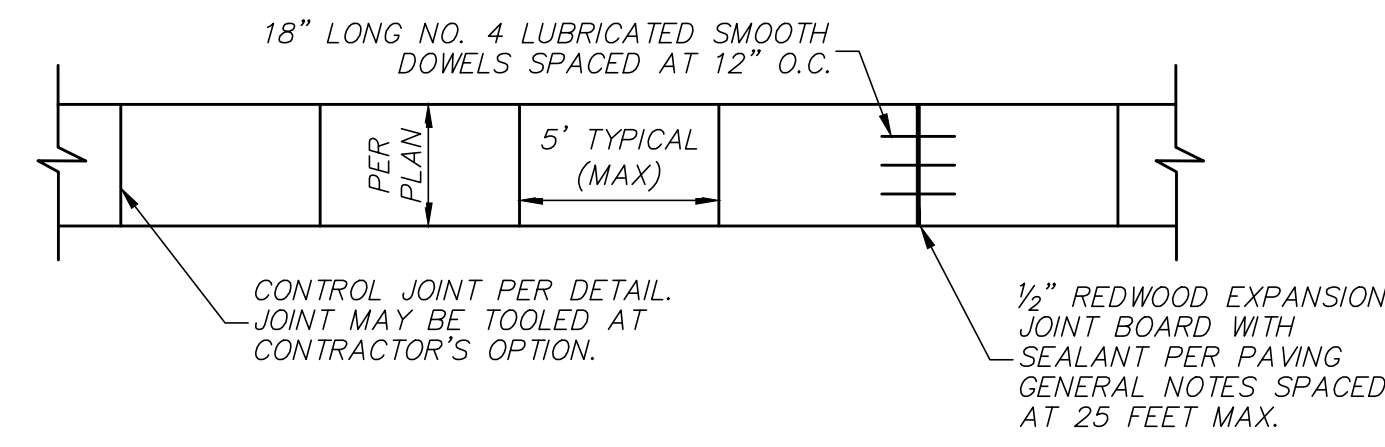
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CITY FILE NO.: -
SHEET NO.: C8.10

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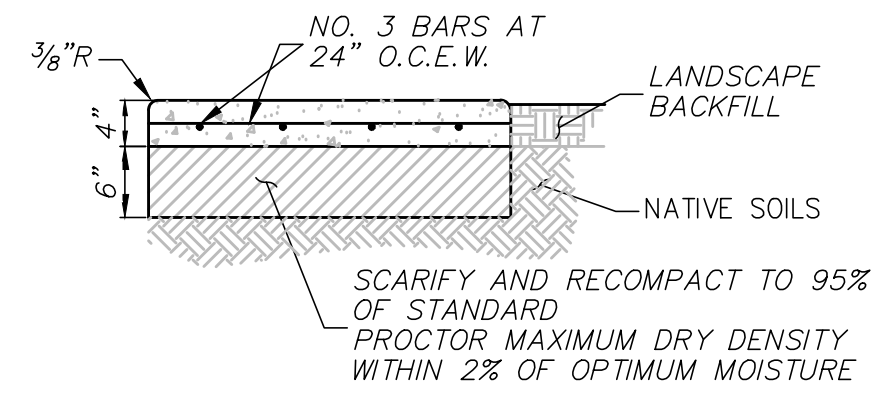
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DATE: 04/28/23



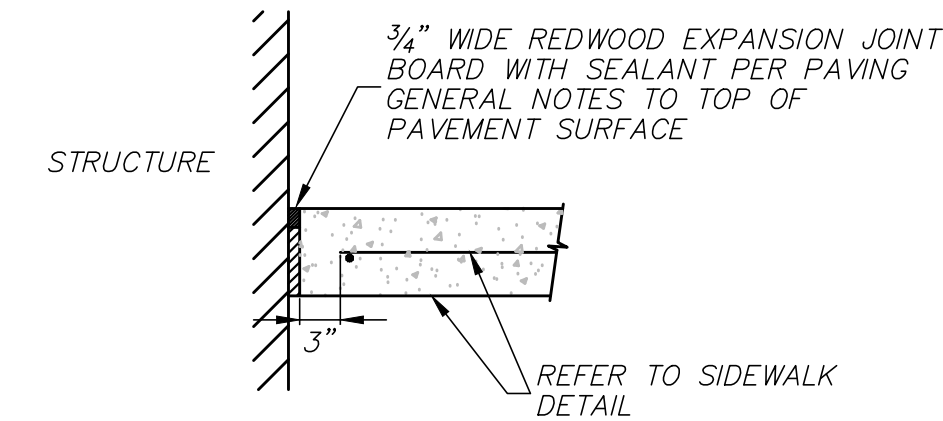
LIGHT POLE BLOCKOUT



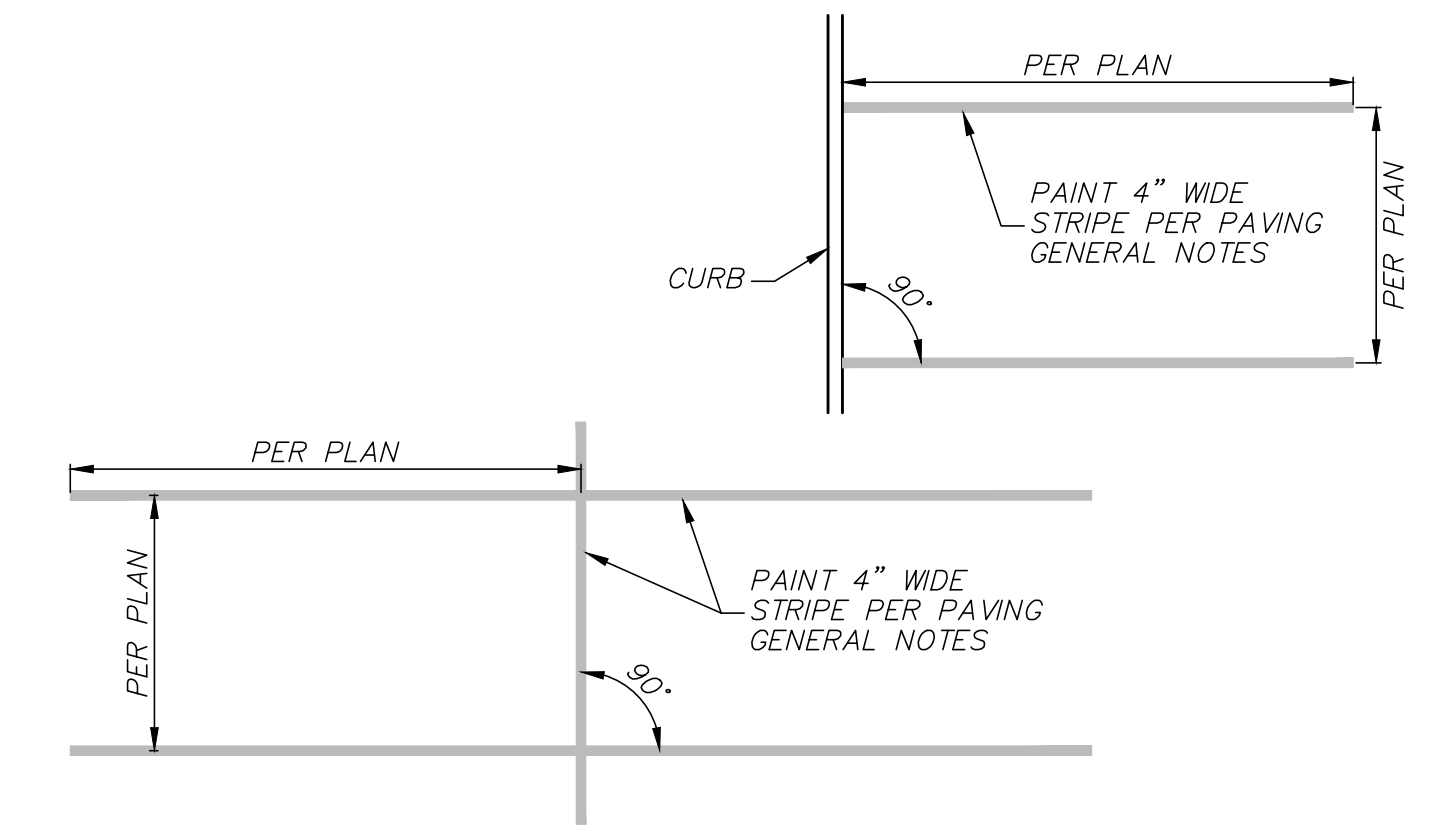
SIDWALK SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND MAXIMUM RUNNING SLOPE OF 5%.
 SIDWALK SHALL HAVE A LIGHT BROOM SURFACE.
 CONCRETE STRENGTH SHALL MATCH THE PAVING PLAN SPECIFICATION FOR LIGHT DUTY AUTOMOBILE AREAS.



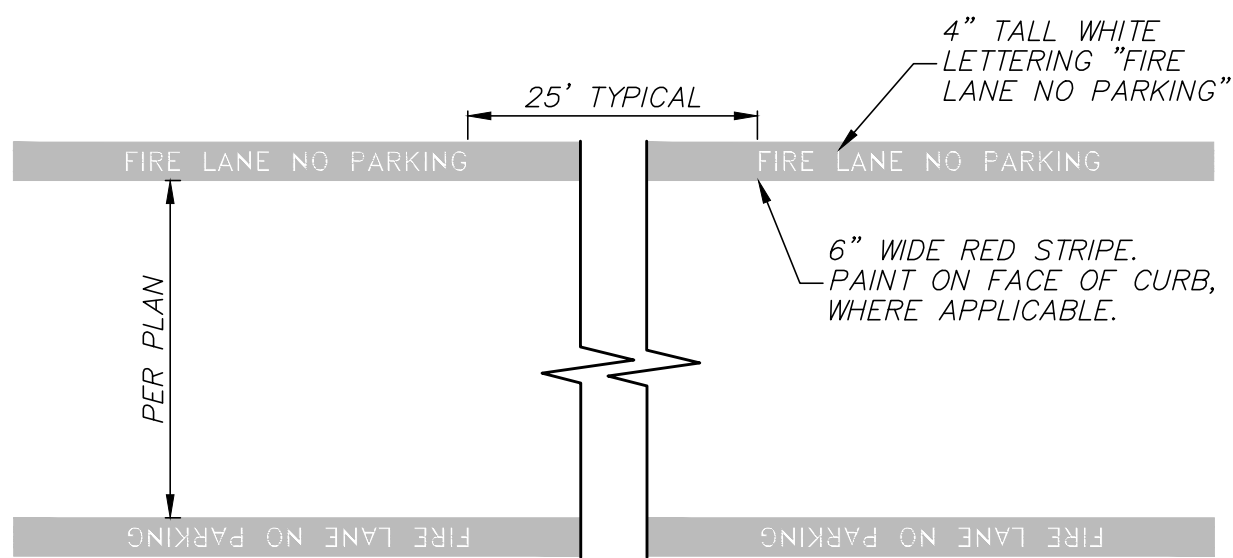
CONCRETE SIDEWALK



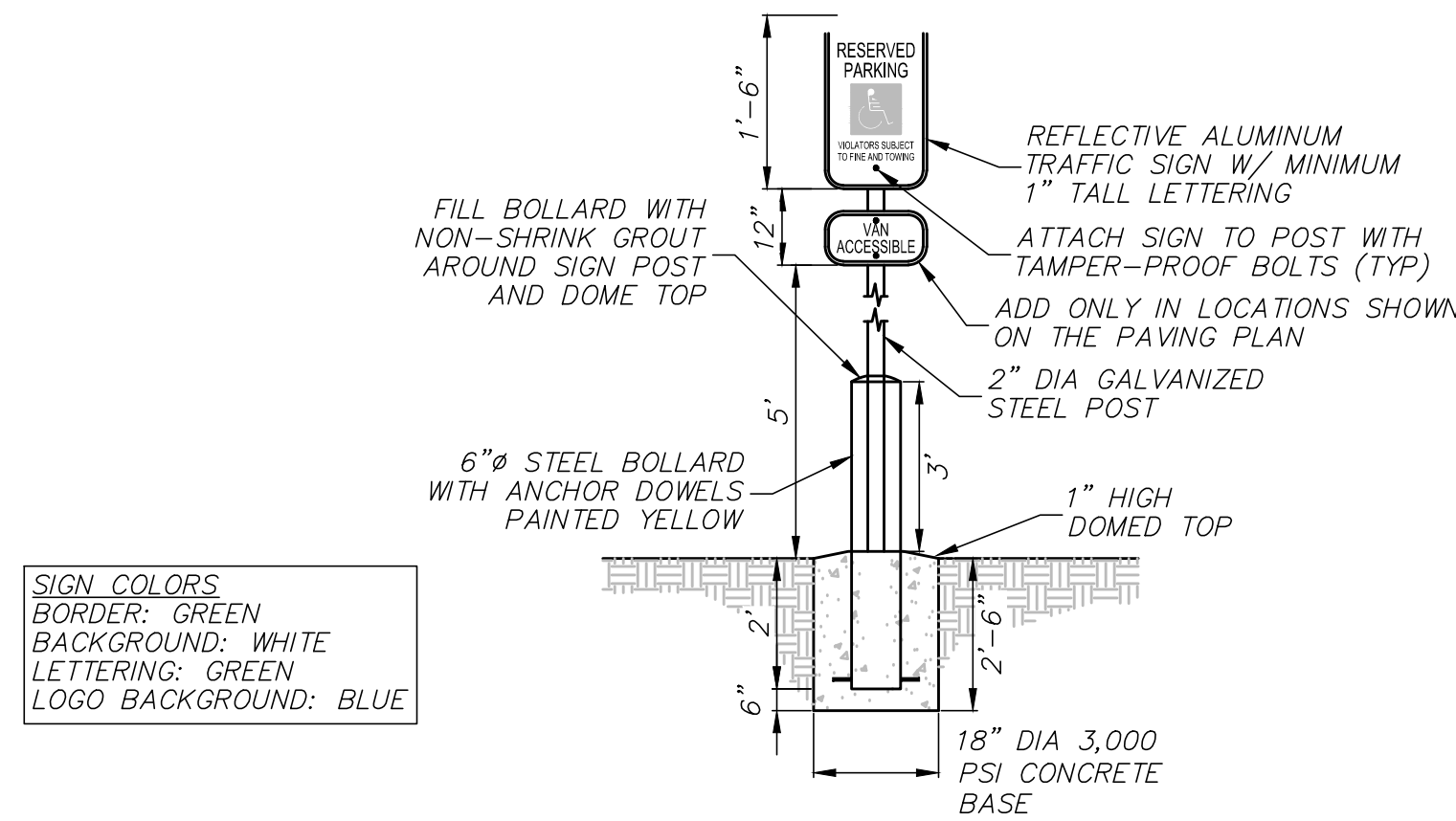
SIDEWALK ISOLATION JOINT



90° PARKING STRIPING

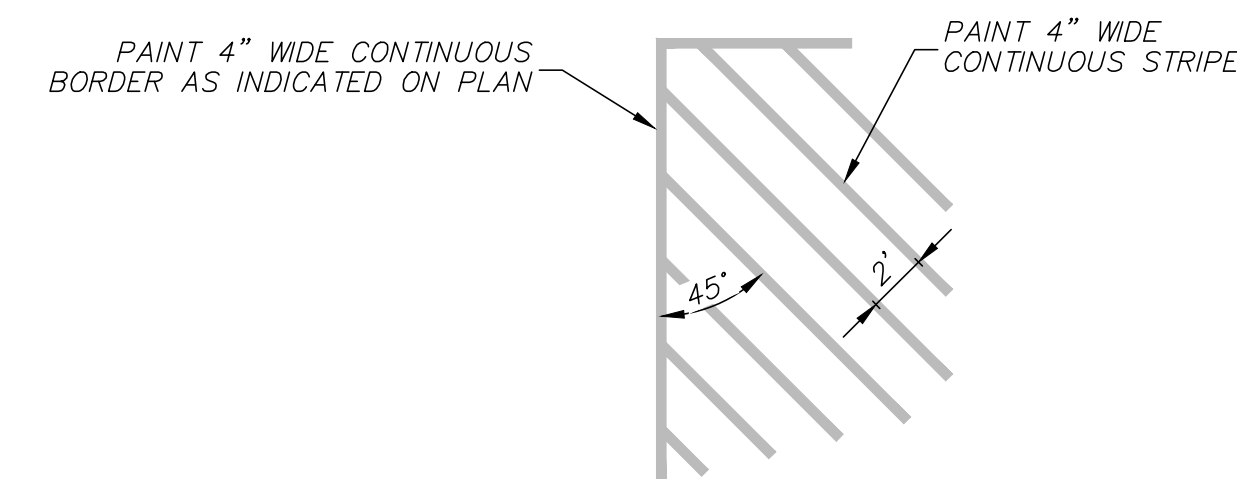


FIRE LANE STRIPING

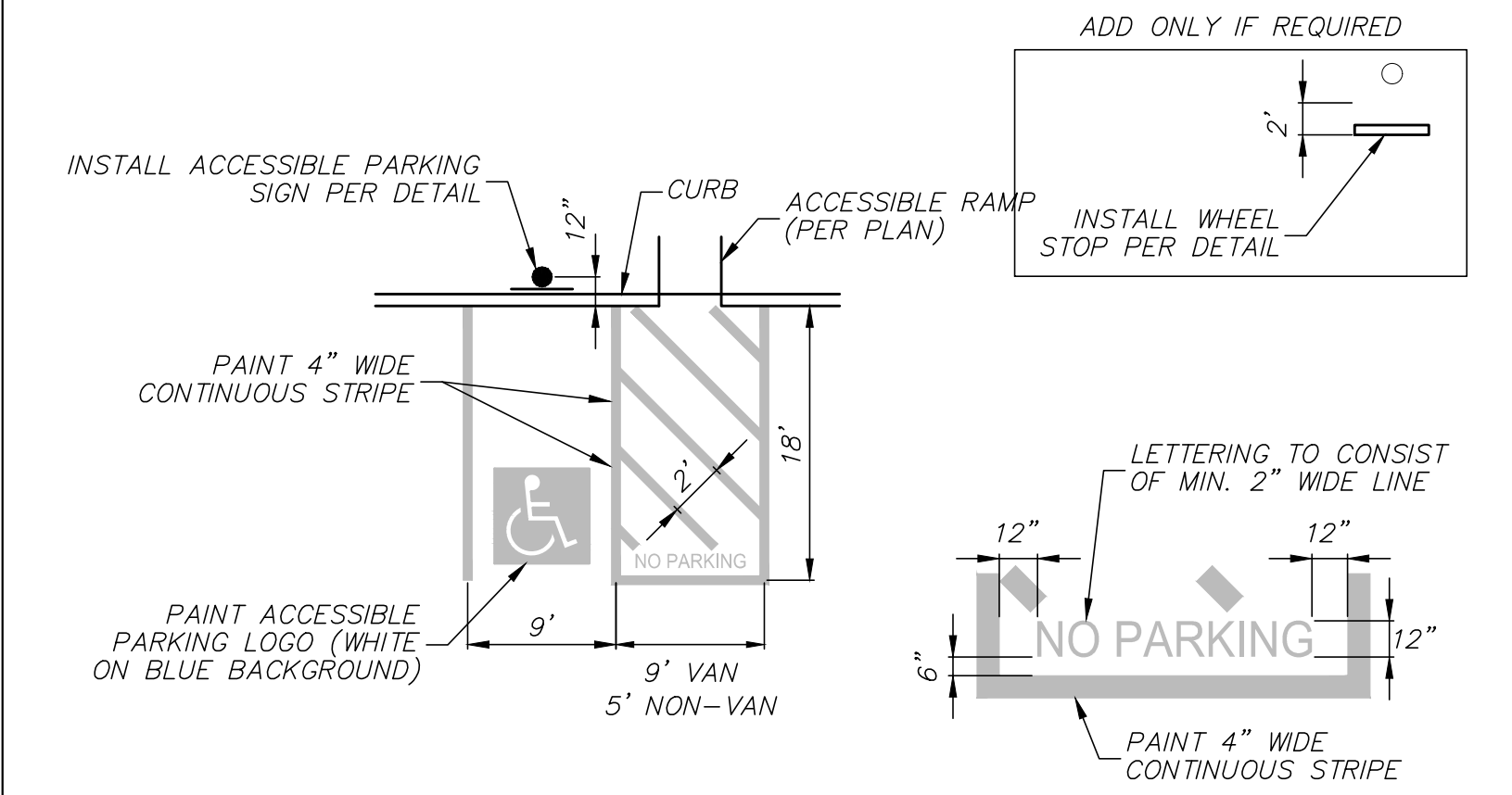


SIGN COLORS
 BORDER: GREEN
 BACKGROUND: WHITE
 LETTERING: GREEN
 LOGO BACKGROUND: BLUE

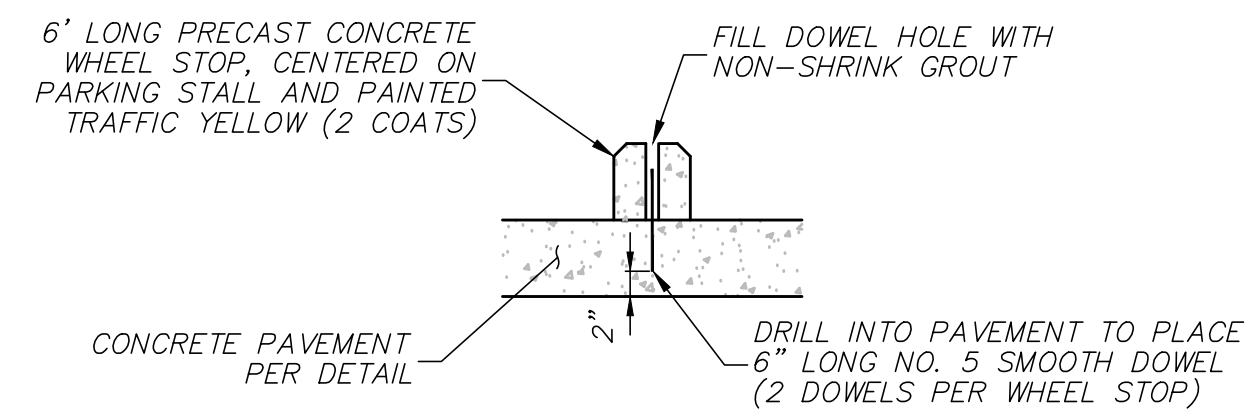
ACCESSIBLE PARKING SIGN



ANGLED STRIPING



ACCESSIBLE PARKING STALL



WHEEL STOP

PAVING DETAILS

HARMONY DENTAL
 2712 MATLOCK ROAD
 CITY OF ARLINGTON, TEXAS

PRELIMINARY FOR REVIEW ONLY



5300 TOWN & COUNTRY BOULEVARD, SUITE 150
 FRISCO, TEXAS 75034
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 TBPE FIRM NO. F-20255

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ISSUE DATE: 04/28/23
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P.E. No.: 107767
 DATE: 04/28/23

CITY FILE NO.: -
 SHEET NO.: C8.11

DETAILS ON THIS SHEET ARE NOT TO SCALE.

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