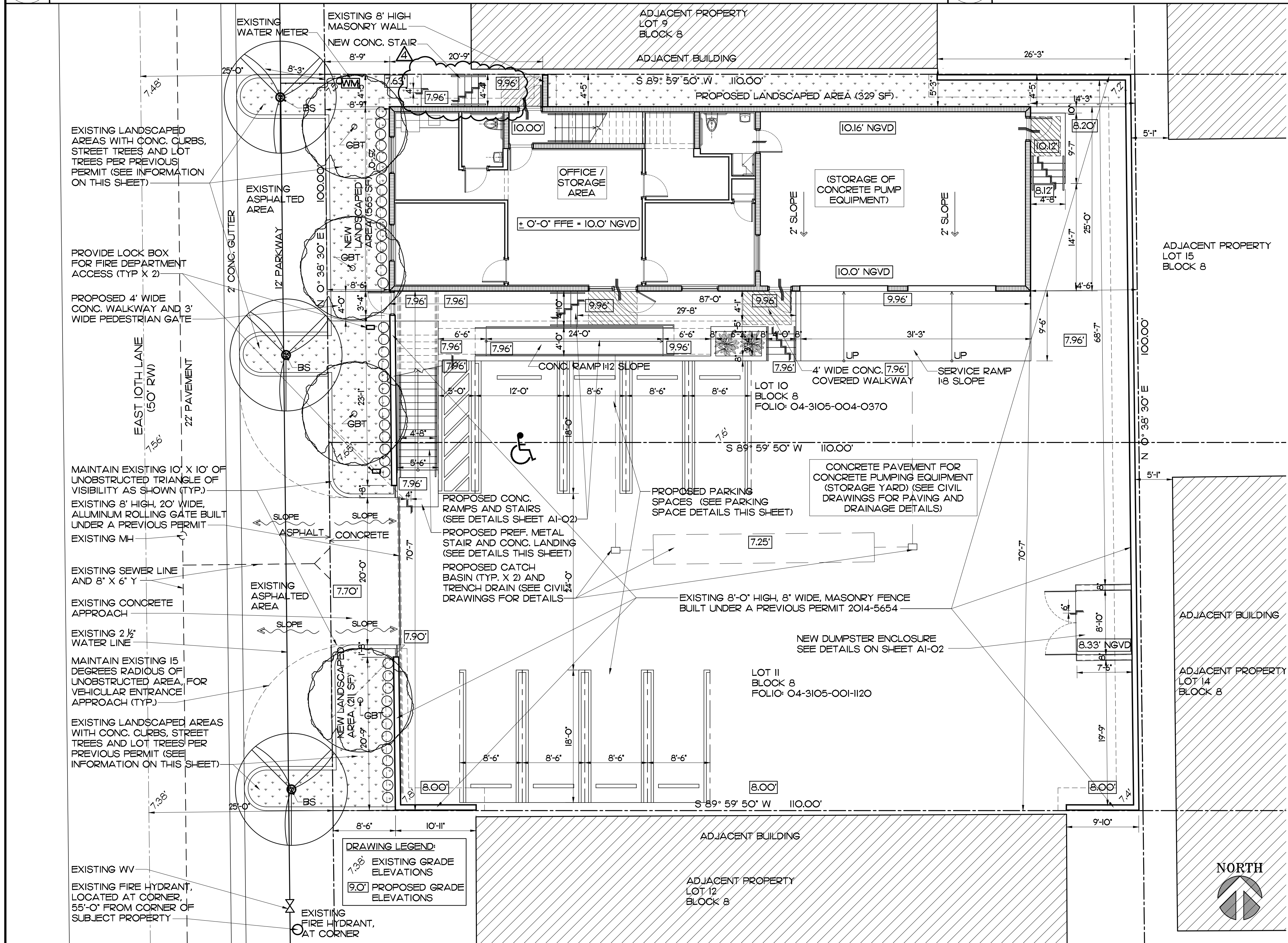


K-1 EXTERIOR EXIT METAL STAIR DETAILS  
AI-O1 SCALE 1/4" = 1'-0"

K-9 ACCESSIBLE AND STANDARD PARKING AND SIGN DETAIL  
AI-O1 SCALE N.T.S.



**SCOPE OF WORK:**  
THIS PERMIT IS TO BUILD A 2-STORY BUILDING WITH A PARKING AREA, AS SHOWN.

**PREVIOUS PERMIT NO. 2014-5654:**  
THE PERIMETER MASONRY FENCE, HAND OPERATED METAL ROLLING VEHICULAR GATE, METAL PEDESTRIAN SWING GATE, KNOX BOX FOR EMERGENCY ENTRANCE AT EACH GATE (TYP. X2), VEHICULAR CONCRETE APPROACH, LANDSCAPE AREAS WITH CONCRETE CURBS WITH LOT AND STREET TREES AND SHRUBS, ARE BEING BUILT UNDER A PREVIOUS PERMIT NO. 2014-5654.

**ZONING INFORMATION:** (CITY OF HIALEAH ZONING CODE)

<b>FOLIO NUMBER:</b>	04-3105-004-0370 AND 04-3105-001-1120
<b>LEGAL DESCRIPTION:</b>	BLOCK 8, LOTS 10 AND 11, OF INGLISIDE PARK, B/P 10/31
<b>ZONING DISTRICT:</b>	M1 (INDUSTRIAL)
<b>FLOOD ZONE:</b>	AH
<b>BASE FLOOD ELEVATION:</b>	9'-0"
<b>PROPOSED USE:</b>	OFFICE / STORAGE (CURRENTLY VACANT LAND)
<b>LOT AREA:</b>	11,000 SF (0.25 ACRES)

M/H	REQUIRED / ALLOWED	PROVIDED
MIN. LOT WIDTH	75 FT	100 FT
MIN. LOT DEPTH	100 FT	110 FT
MIN. SF OF BUILDING	1,000 SF	3,435 SF
MAX. BLDG. HEIGHT ALLOWED	6 STORIES 95 FT	2 STORIES 25 FT
<b>MIN. SETBACKS REQUIRED:</b>		
FRONT	0 FT	8'-8"
REAR	2'-7" TO 5'-1"	14'-6"
INTERIOR SIDE (LEFT / NORTH)	2'-7" TO 5'-1"	4'-5"
INTERIOR SIDE (RIGHT / SOUTH)	2'-7" TO 5'-1"	70'-7"
BETWEEN BUILDINGS OR FENCES	2'-7" TO 5'-1"	5'-1"

**BUILDING AREAS:**

	OFFICE	STORAGE	TOTAL
<b>GROUND FLOOR:</b>	1,259 SF	917 SF	2,176 FT
<b>2ND FLOOR:</b>	-	1,259 SF	1,259 SF
<b>TOTAL:</b>	1,259 SF	2,176 SF	3,435 SF

**OCCUPANCY CLASSIFICATION:** BUSINESS (GROUP B) / STORAGE (GROUP S - ORDINARY HAZARD PER NFPA-101-2010) (GROUP S-2 - LOW HAZARD PER FBC 2010)

**OCCUPANT LOAD:** OFFICE - 1,259 SF / 100 = 13 PERSONS  
 BUSINESS - 100 SF GROSS PER PERSON (TABLE 7312 - NFPA 101 (TABLE 100.4) - FBC 2010)  
 STORAGE (GROUND FLOOR) - 917 SF / 300 = 3 PERSONS  
 STORAGE (2ND FLOOR) - 1,259 SF / 300 = 4 PERSONS  
 STORAGE - 300 SF GROSS PER PERSON (TABLE 100.4) - FBC 2010  
 STORAGE - NOT LIMITED (TABLE 7312 - NFPA 101)  
**TOTAL - 20 PERSONS**

**BUILDING TYPE:** II-B (NOT PROTECTED REINFORCED CONCRETE FLOOR AND ROOF STRUCTURES AND REINFORCED CONCRETE MASONRY WALLS)  
**FIRE SPRINKLERS:** NO  
**FIRE ALARM:** NO

**PARKING CALCULATION:**  
 OFFICE - 1,259 SF / 200 = 6.3 PS  
 INDUSTRIAL (GROUND FLOOR) - 917 SF / 1,000 = 0.9 PS  
 STORAGE (2ND FLOOR) - 1,259 SF / 2,000 = 0.6 PS  
**TOTAL - 8 PARKING SPACES**

**ACCESSIBLE PARKING CALCULATION:** FBC-A 2010 TABLE 208.2  
 FROM 1 TO 25 STANDARD PARKING SPACES - 1 ACC. SPACE REQUIRED  
**1 ACC. SPACE PROVIDED**

**LANDSCAPE REQUIREMENTS**  
 (MIAMI-DADE COUNTY LANDSCAPE MANUAL AND CITY OF HIALEAH CODE OF ORDINANCES)

	REQUIRED OR ALLOWED	PROVIDED
<b>LOT TREES (2 PALMS + 1 TREE)</b>	15 X 0.25 ACRE - 4 MIN.	4 TREES
<b>STREET TREES</b> (35' SPACED + 25' WHEN POWER LINES PRESENT) (PALMS SPACED + 25')	100 FT / 35' = 3 TREES OR PALMS	3 TREES
<b>LAWN AREA (PERVIOUS) (10% OF LOT AREA)</b>	11,000 SF X 10% = 1,100 SF MIN.	1,105 SF
<b>SHRUBS</b>	REQ. TREE X 10' - 4 X 10' - 40 MIN.	40 SHRUBS

**NOTE:** SEE LANDSCAPE NOTES AND DETAILS THIS SHEET

**NEW TREES-LEGEND**

CODE	COMMON NAME	BOTANICAL NAME	OVERALL SIZE AND SPACING (MIN)	DBH (MIN)	QUANTITY
STREET TREES					
GBT	GREEN BUTTWOOD TREE	CONOCARPUS ERRECTUS	12'-0" HIGH (+ 35')	2"	3
LOT TREES					
BS	GUAMBO LIMBO	BURSERIA SIMARUBA	12'-0" HIGH	2"	4
SHRUBS					
CLR	PITCH APPLE	CLUSIA ROSEA	18" HIGH (+ 20')	-	40

**LANDSCAPE LEGEND**  
 ○ 18" HIGH SHRUBS  
 ○ NEW TREES

A-1 SITE PLAN  
AI-O1 SCALE 1/8" = 1'-0"

A-12 ZONING AND BUILDING INFORMATION AND LANDSCAPE REQUIREMENTS  
AI-O1 SCALE N.T.S.

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**NEW 2-STORY BUILDING for an Existing Industrial Property**  
 4733 E. 10th Lane  
 Hialeah, FL 33013

**SITE PLAN, DETAILS AND ZONING AND BUILDING INFORMATION**

NO.	REVISIONS/SUBMISSIONS	DATE
8		
7		
6		
5	ELEC. INSPECTOR COMMENTS	09-29-16
3	CITY OF HIALEAH COMMENTS	09-01-15
2	CITY OF HIALEAH COMMENTS	06-17-15
1	BLDG. DPT. COMMENTS	05-06-15

NO. REVISIONS/SUBMISSIONS

DRAWN BY: L. CAPOTE  
 PROJECT NO: 14572-2  
 ARCHITECT OR ENGINEER OF RECORD: JORGE S. AZZE 09685  
 DRAWING NO. AI-01

ISSUE DATE: 10-15-14  
 SCALE: AS SHOWN

SHEET OF



**IRRIGATION LEGEND**

SYMBOL	BRAND	MODEL BODY	RISER	NOZZLE	RADIUS PATTERN	DESIGN PRESSURE	FLOW G.P.M.	PRECIPIT. RATE
●	TORO	MPR570	6" POP-UP	15" H	15" H	30 P.S.I.	0.50-1.65	1.75

**EQUIPMENT NOTES:**

**1. EQUIPMENT MOUNTING**

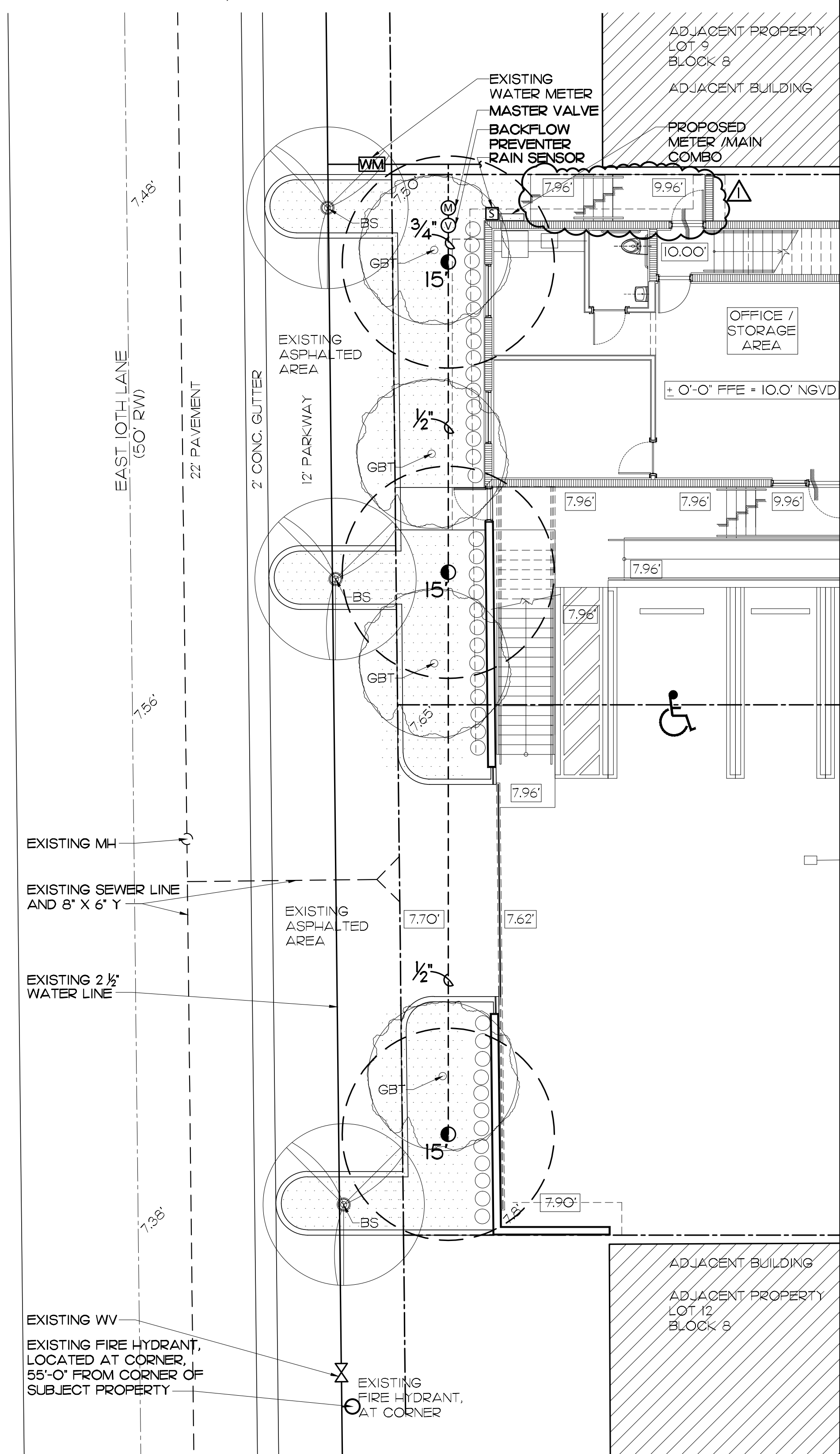
The equipment, shown in plan and typical electrical schematic diagram shall be mounted on the building wall or on a Unistrut frame set into a 16" x 10" deep concrete footing x 6" longer than both ends of the Unistrut structure's length.

**2. WORK PERFORMANCE:**

All electrical work to be performed by a licensed and insured electrical contractor, in strict compliance with all sections of Article 680 of the National Electrical Code, Latest Edition.

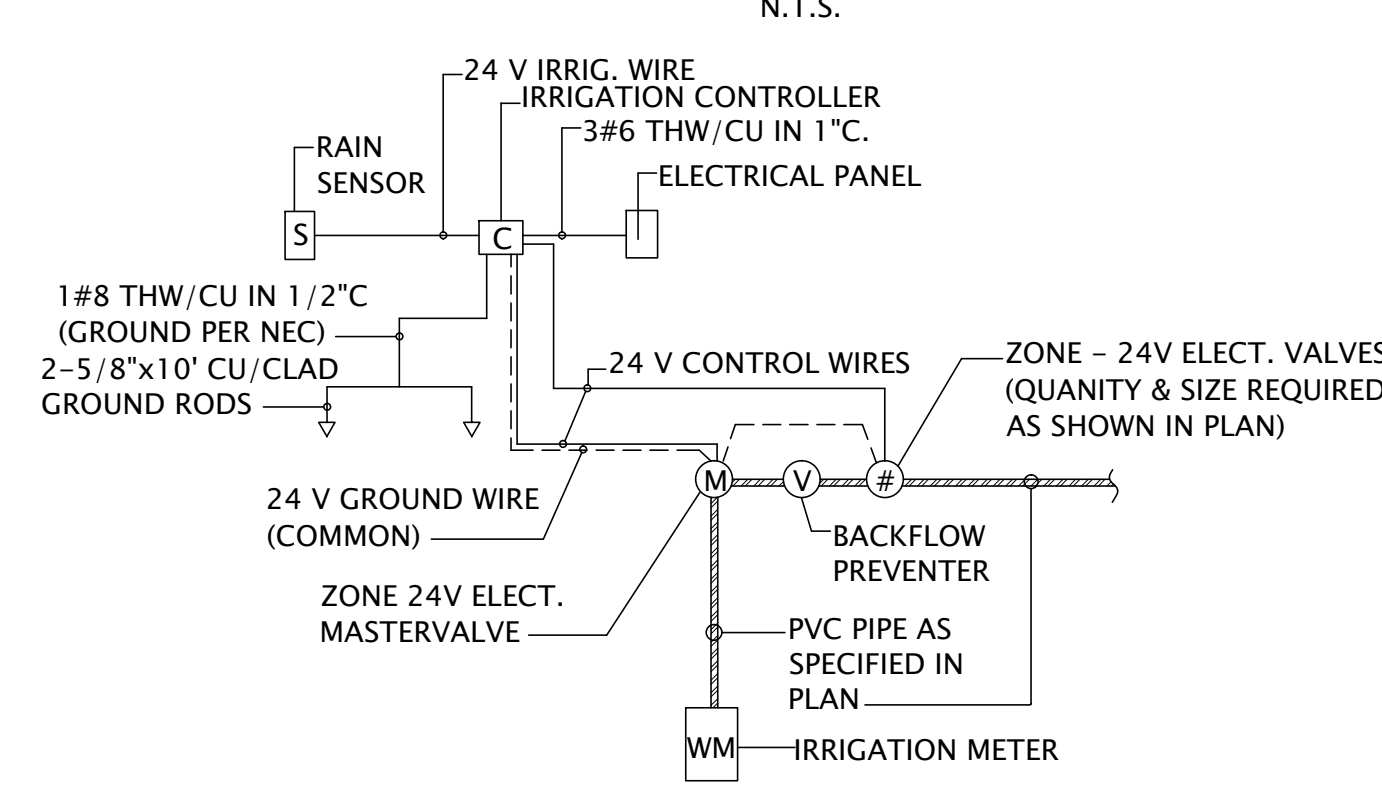
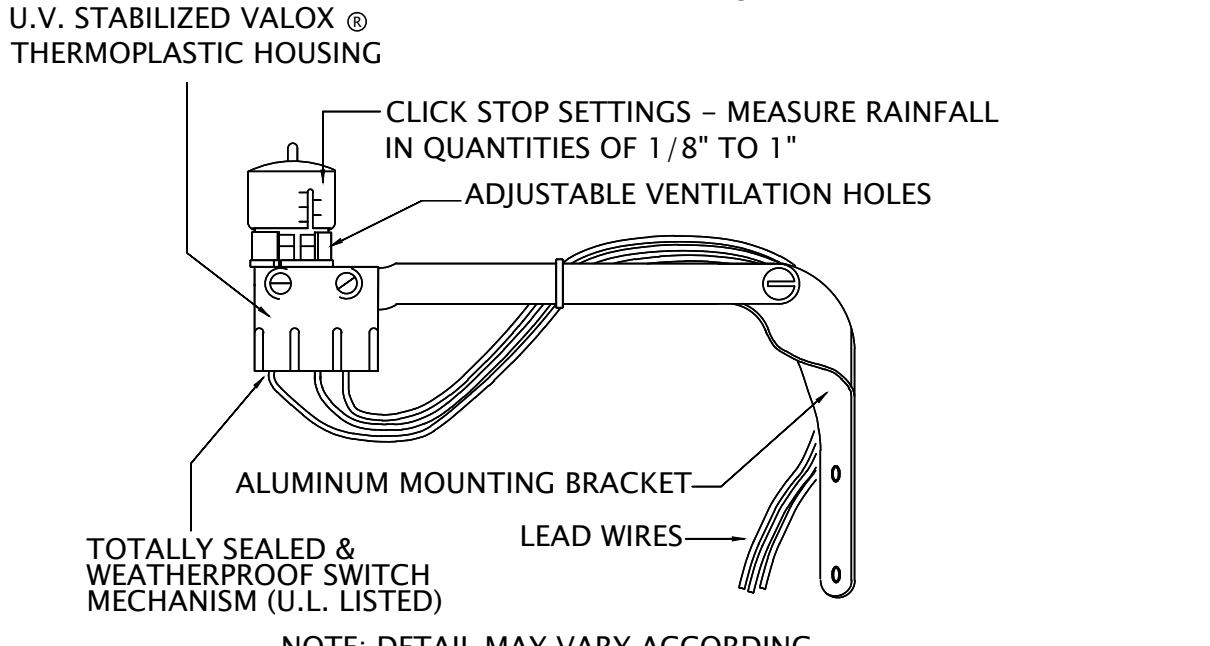
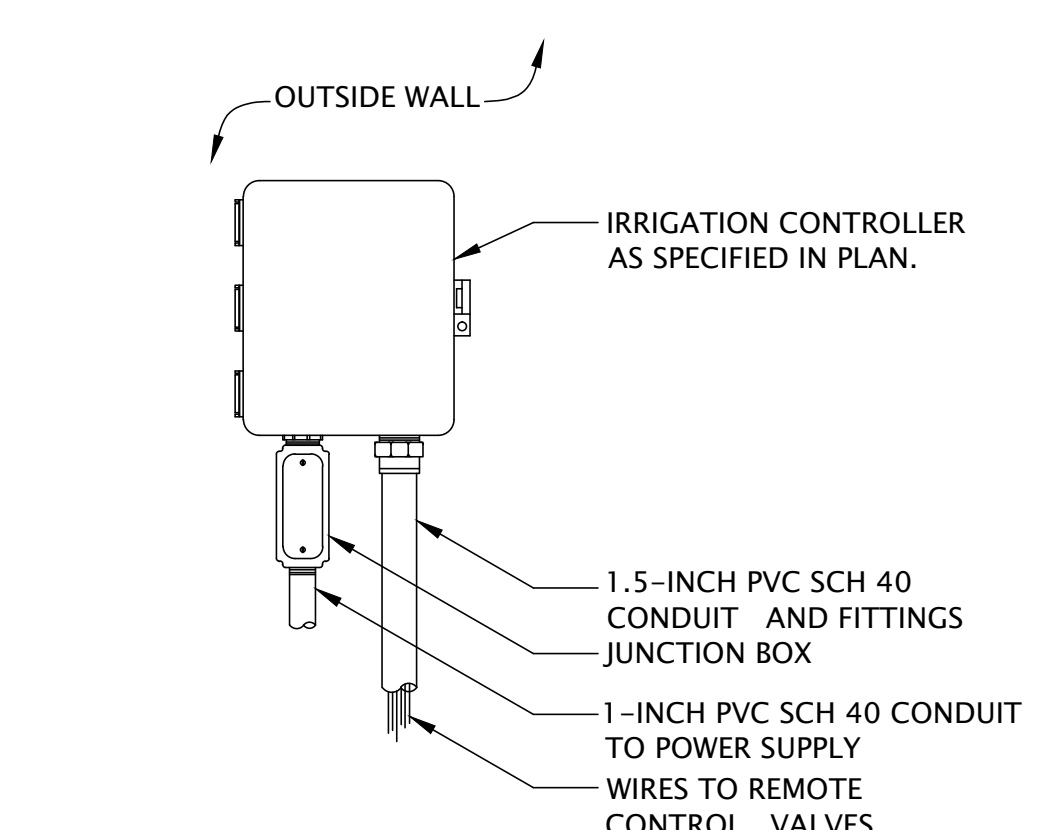
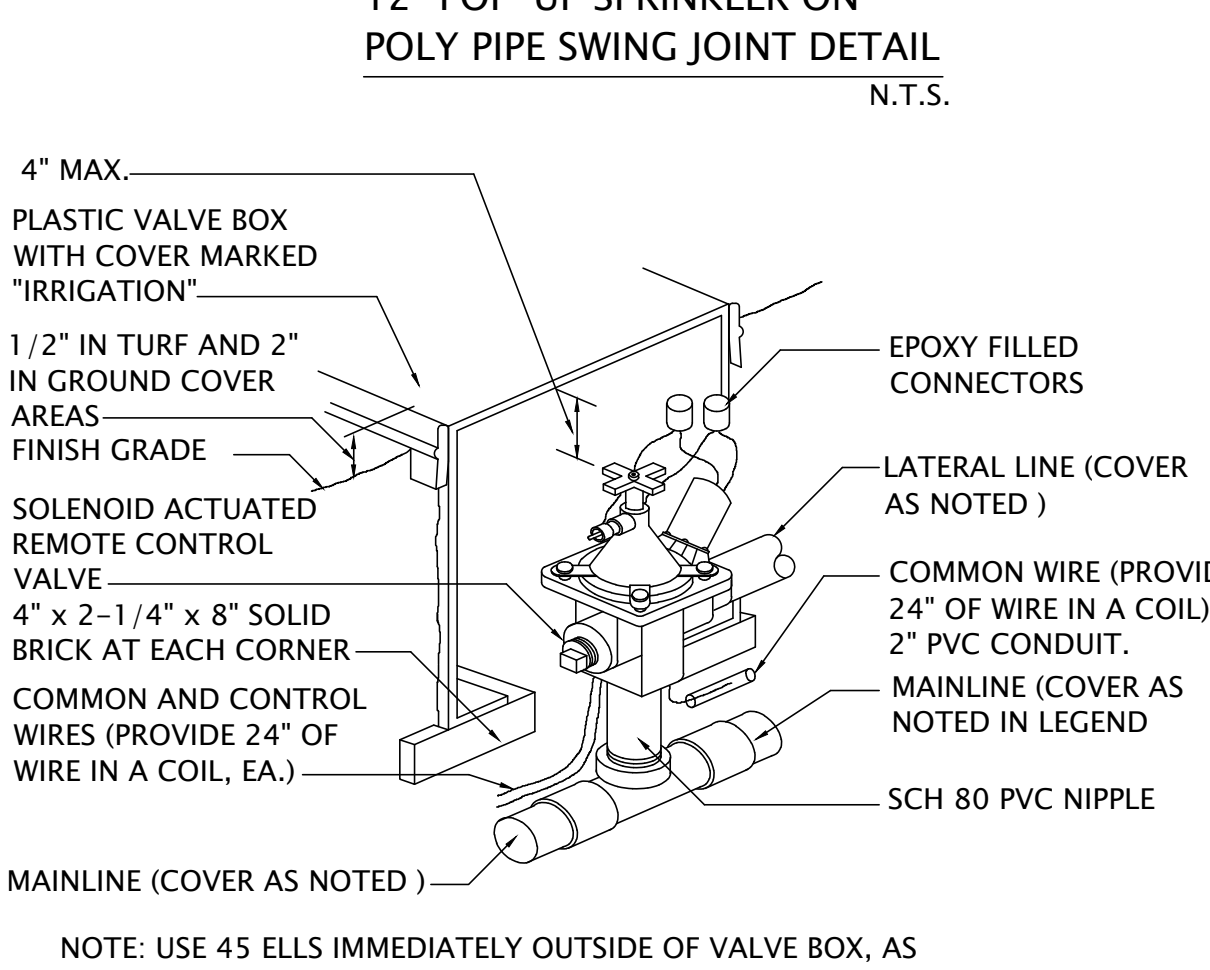
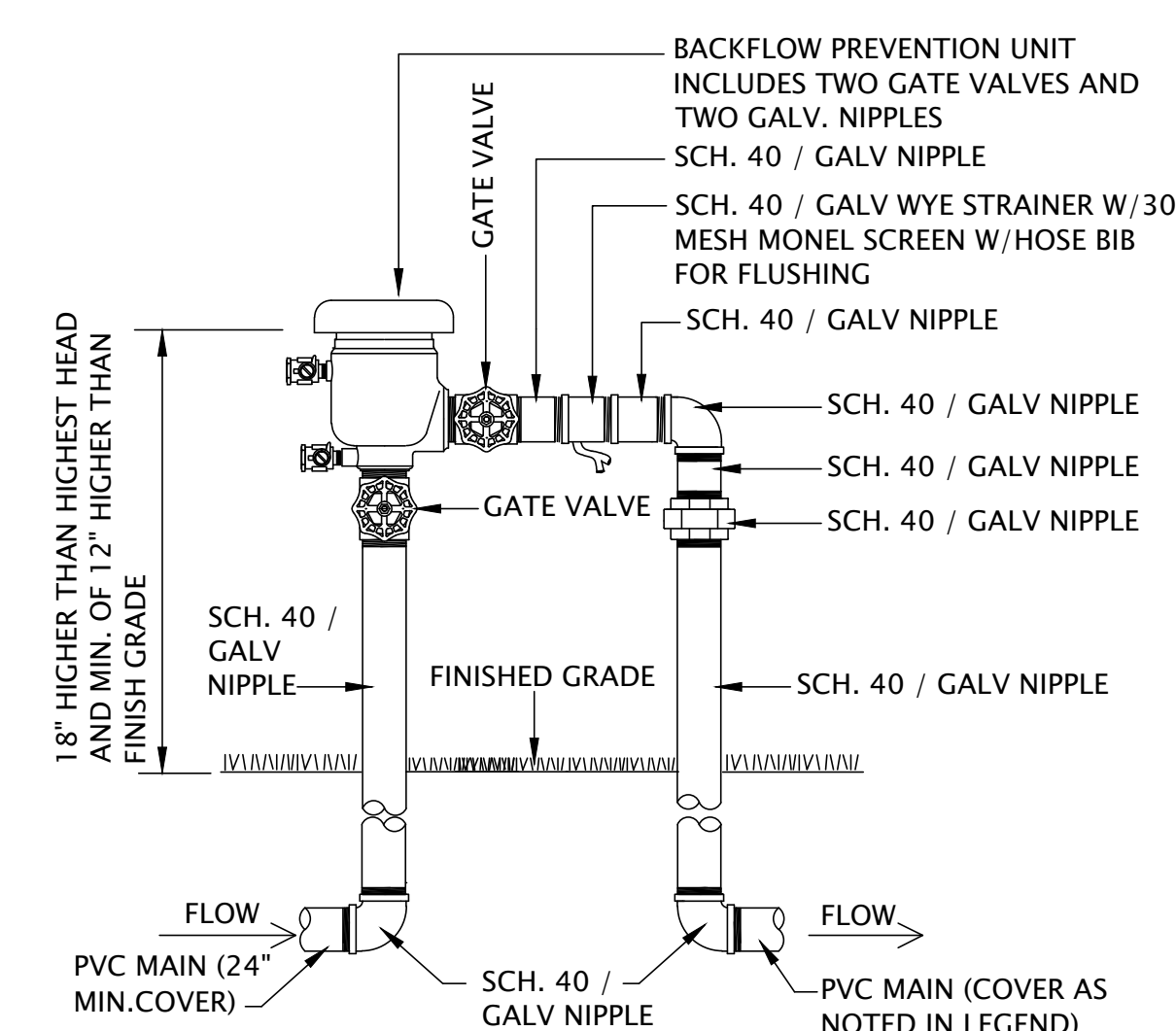
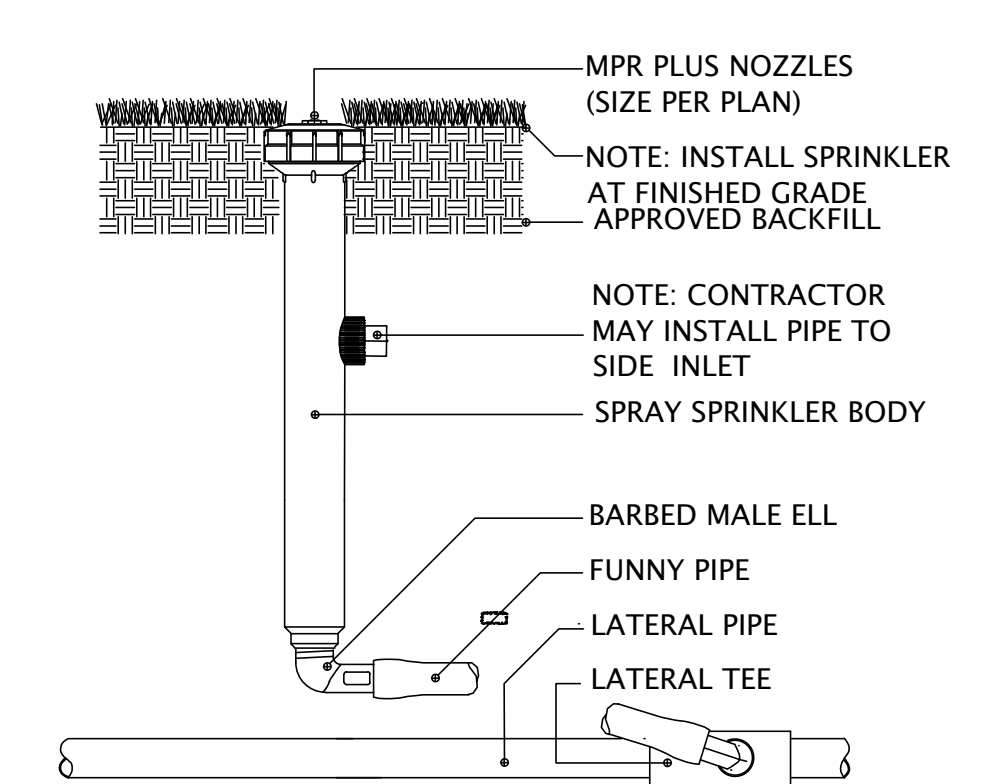
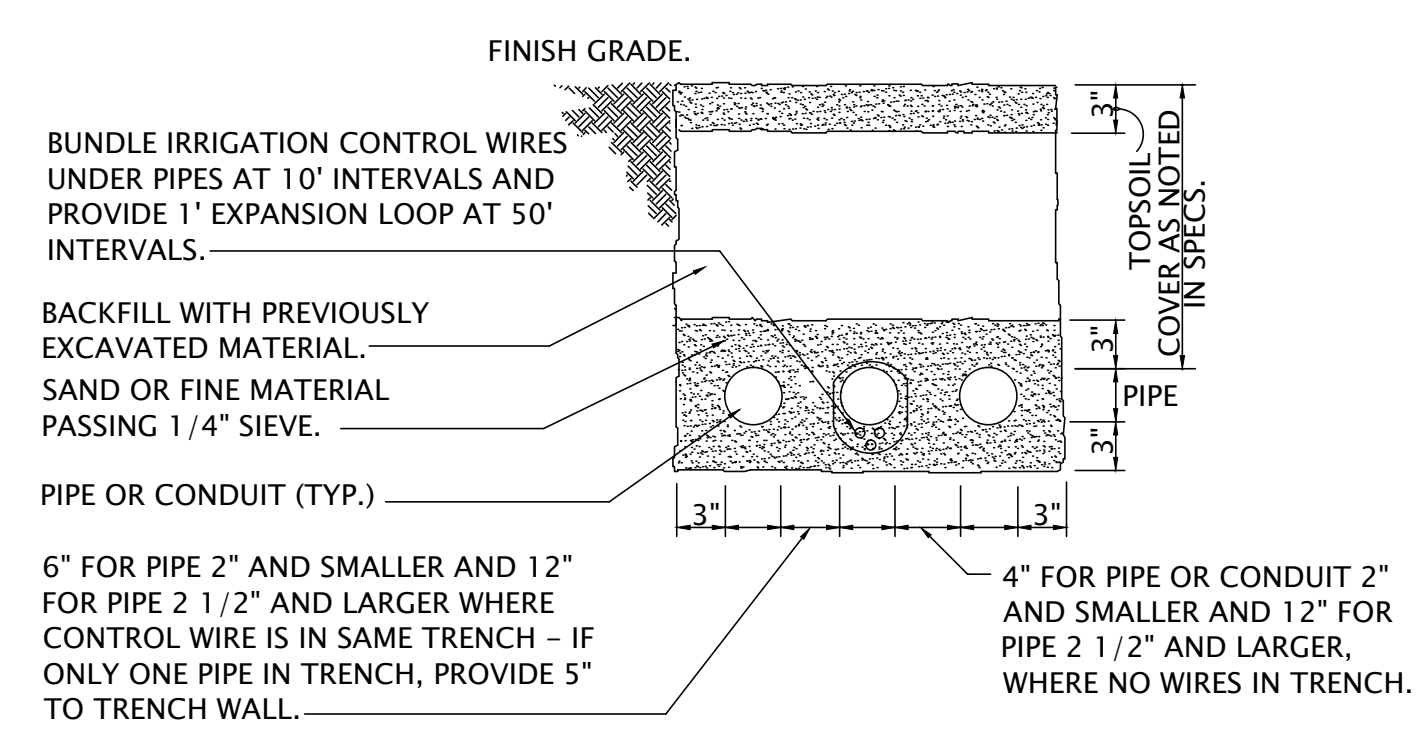
**IRRIGATION NOTES AND SPECIFICATIONS**

01. ALL WORK TO BE INSTALLED ACCORDING TO LOCAL AND COUNTY CODES BY A LICENSED AND INSURED IRRIGATION CONTRACTOR. CONTRACTOR SHALL INCLUDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO COMPLETE THE WORK DETAILED AND INTENDED IN THIS PLAN.
02. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS PRIOR TO ENTERING INTO CONTRACT WITH THE OWNER OR GENERAL CONTRACTOR.
03. ALL MATERIALS, QUANTITIES, SIZES, AND ALL OTHER INFORMATION CONTAINED IN THIS PLAN SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ENTERING INTO CONTRACT WITH THE OWNER OR GENERAL CONTRACTOR. THIS PLAN IS DIAGRAMMATICAL AND THEREFORE SITE CONDITION, SCALE OF THE PLAN AND CHANGES DURING CONSTRUCTION, MAY AFFECT THE LOCATION OF THE SYSTEM COMPONENTS. THE CONTRACTOR SHALL MODIFY AND/OR ADJUST THE SYSTEM AS REQUIRED SO AS TO COMPLY WITH FULL COVERAGE AND DESIGN INTENT. PERFORMANCE SPECIFICATIONS VARY BETWEEN DIFFERENT MANUFACTURERS AND EVEN WITHIN SAME MANUFACTURER FROM YEAR TO YEAR, THEREFORE IRRIGATION CONTRACTOR SHALL VERIFY PRIOR TO ENTERING INTO CONTRACT WITH OWNER OR CONTRACTOR, THAT ALL EQUIPMENT, SIZES, AND DIMENSIONS INCLUDING PUMP, MAINLINES, VALVES AND LATERAL PIPING WILL PROVIDE THE FULL COVERAGE REQUIRED. SHOULD THE CONTRACTOR FIND A DISCREPANCY, ERROR OR OMISSION HE SHALL CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY.
04. PIPING IN ISLANDS OR NARROW BEDS SHALL RUN TO ONE SIDE OF THE ISLAND OR BED TO ALLOW FOR PLANTING. THIS INCLUDES MAINLINES AND ELECTRICAL WIRES. PIPING AND WIRING SHOULD BE INSTALLED AFTER ALL THE LARGE PLANT MATERIAL HAS BEEN INSTALLED.
05. THE LANDSCAPE ARCHITECT HAS THE RIGHT AS OWNER'S AUTHORIZED REPRESENTATIVE TO AT ANY STAGE OF THE WORKS, INSPECT, ACCEPT OR REJECT ANY AND ALL WORK AND MATERIALS WHICH, IN HIS OPINION, DO NOT MEET THE REQUIREMENTS OF THE DESIGN INTENT.
06. ALL BELOW GROUND PIPE SHALL BE POLY(VINYL CHLORIDE) (PVC) PIPE CONFORMING TO ASTM SPECIFICATION D 1785, SCHEDULE 40, OR IT MAY BE PVC PIPE CONFORMING TO ASTM D 2241, CLASS 200. MAINLINE SHALL ALWAYS BE SCHEDULE 40, AS WELL AS ANY ABOVE GROUND PIPES.
07. ALL PVC FITTINGS SHALL BE SCHEDULE 40, TYPE I, NSF APPROVED CONFORMING TO THE ASTM D 2466 REQUIREMENTS, EXCEPT AS NOTED IN THE DRAWINGS.
08. ALL SPRINKLER HEADS SHALL MEET THE PERFORMANCE CALLED FOR IN THIS PLAN, AND SHALL ALL BE FROM ONE SINGLE MANUFACTURER. ALTHOUGH ALL SHRUB HEADS ARE SPECIFIED WITH A RADIUS, CONTRACTOR SHALL ACCORDING TO SITE CONDITIONS AND SPACE REQUIREMENTS, USE THE SPACE REQUIRED HEAD OR IN SOME CASES A DIFFERENT PATTERN. SPACING SHALL ALSO BE ADJUSTED SO AS NOT TO OVERTHROW WATER INTO IMPERVIOUS AREAS.
09. ALL VALVES SHALL BE INSTALLED INSIDE A PLASTIC VALVE BOX OF A SIZE PROPER TO THE VALVE(S) SIZE. VALVE BOXES SHALL BE INSTALLED OVER 3" OF GRAVEL FOR DRAINAGE AND THE TOP LEVEL WITH FINISHED GRADE.
10. ALL WIRE TO/FROM CONTROLLER TO THE ELECTRIC VALVES SHALL BE #14, DIRECT BURIAL UNDERGROUND FEED TYPE. ALL CONNECTIONS SHALL BE WATERPROOF DIRECT BURIAL CONNECTORS AND SPLICES. ALL WIRE SHALL BE PLACED BELOW THE PVC PIPE FOR PROTECTION OF THE WIRE, AND SHALL BE PLACED LOOSELY TO ALLOW FOR CONTRACTION.
11. THURST BLOCKS SHALL BE PLACED AT ALL CHANGES IN DIRECTION OF THE MAIN LINE.
12. TRENCHING BACKFILL SHALL BE FREE OF ROCKS, STONES, OR ANY OTHER DEBRIS WHICH MAY DAMAGE THE PIPES AND WIRES.
13. ALL SPRAY HEADS TO BE ON POP-UP RISERS, 6" IN SOD AREAS & 12" IN AREAS OF GROUND COVERS. THEY SHALL BE INSTALLED SO THAT THE SHRUB HEAD OPERATES ABOVE THE GROUND COVER ADULT'S HEIGHT. CONTRACTOR SHALL CONSULT WITH LANDSCAPE ARCHITECT ON SPECIFIC HEIGHT OF PLANT BEDS PRIOR TO INSTALLATION.
14. CONTRACTOR SHALL COORDINATE WITH GENERAL CONTRACTOR, THE INSTALLATION OF SLEEVES UNDER ALL PAVED AREAS PRIOR TO THEIR INSTALLATION.
15. BACKFLOW PREVENTER IF REQUIRED SHALL BE PLACED 18" MIN. ABOVE THE HIGHEST SPRINKLER HEAD.
16. CONTRACTOR SHALL, PRIOR TO INSTALLING THE IRRIGATION HEADS, FLUSH ALL LINES WITH THE MAXIMUM WATER PRESSURE AVAILABLE, TO REMOVE DIRT AND GRIT. LINES SHALL BE PRESSURE TESTED AT 150% OF THEIR OPERATING PRESSURE FOR LEAKS, AND ALL LEAKS SHALL BE REPAIRED. THIS SHALL BE DONE PRIOR TO BACKFILLING.
17. CONTRACTOR IS RESPONSIBLE FOR KEEPING THE WORK PREMISES CLEAN OF DEBRIS, AND FOR REMOVING ALL DEBRIS CAUSED BY HIS WORK FROM THE SITE.
18. IF AN IRRIGATION SUBMETER IS BEING USED, CONTRACTOR SHALL ADJUST LAYOUT ACCORDING TO PROVIDED SUBMETER'S G.P.M. FLOW.
19. IRRIGATION IN RIGHT OF WAY IS NOT SHOWN. OWNER MAY REQUEST AN EXTRA ZONE(S) FROM IRRIGATION CONTRACTOR TO WATER THESE AREA.



A-1 IRRIGATION PLAN  
A1-04 SCALE: N.T.S.

A-6 IRRIGATION PLAN - TYPICAL DETAILS AND NOTES  
A1-04 SCALE: AS SHOWN



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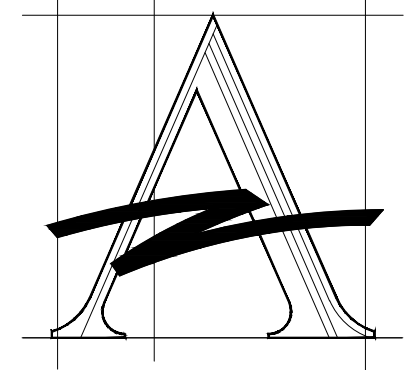
**NEW 2-STORY BUILDING**  
for an Existing Industrial Property  
4733 E. 10th Lane  
Hialeah, FL 33013  
Plate No. 04-3105-004-0970 and 04-3105-001-1120

8	7	6	5	4	3	2	1

ELEC. INSPECTOR COMMENTS: 09-29-16  
NO REVISIONS/SUBMISSIONS

**SITE PLAN DETAILS**  
IRRIGATION PLAN,  
NOTES AND DETAILS

DRAWING TITLE: IRRIGATION PLAN, NOTES AND DETAILS  
DRAWING NO.: AI-04  
DRAWN BY: L. CAPOTE  
PROJECT NO.: 14572-2  
ARCHITECT OR ENGINEER OF RECORD: JORGE S. AZZE 09688  
ISSUE DATE: 09-01-15  
SCALE: AS SHOWN  
SHEET: OF



**AZZE ARCHITECTURE INC.**  
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 E-mail: jazz@belleouth.net

**NEW 2-STORY BUILDING**  
 for an Existing  
 Industrial Property

4733 E. 10th Lane  
 Hialeah, FL 33013

Plate No. 04-3105-004-0370 and 04-3105-003-1120

NO.	REVISIONS/SUBMISSIONS	DATE
8		
7		
6		
5	ELEC. INSPECTOR COMMENTS	09-29-16
3	CITY OF HIALEAH COMMENTS	10-01-15
2	CITY OF HIALEAH COMMENTS	09-01-15
1	CITY OF HIALEAH COMMENTS	06-17-15

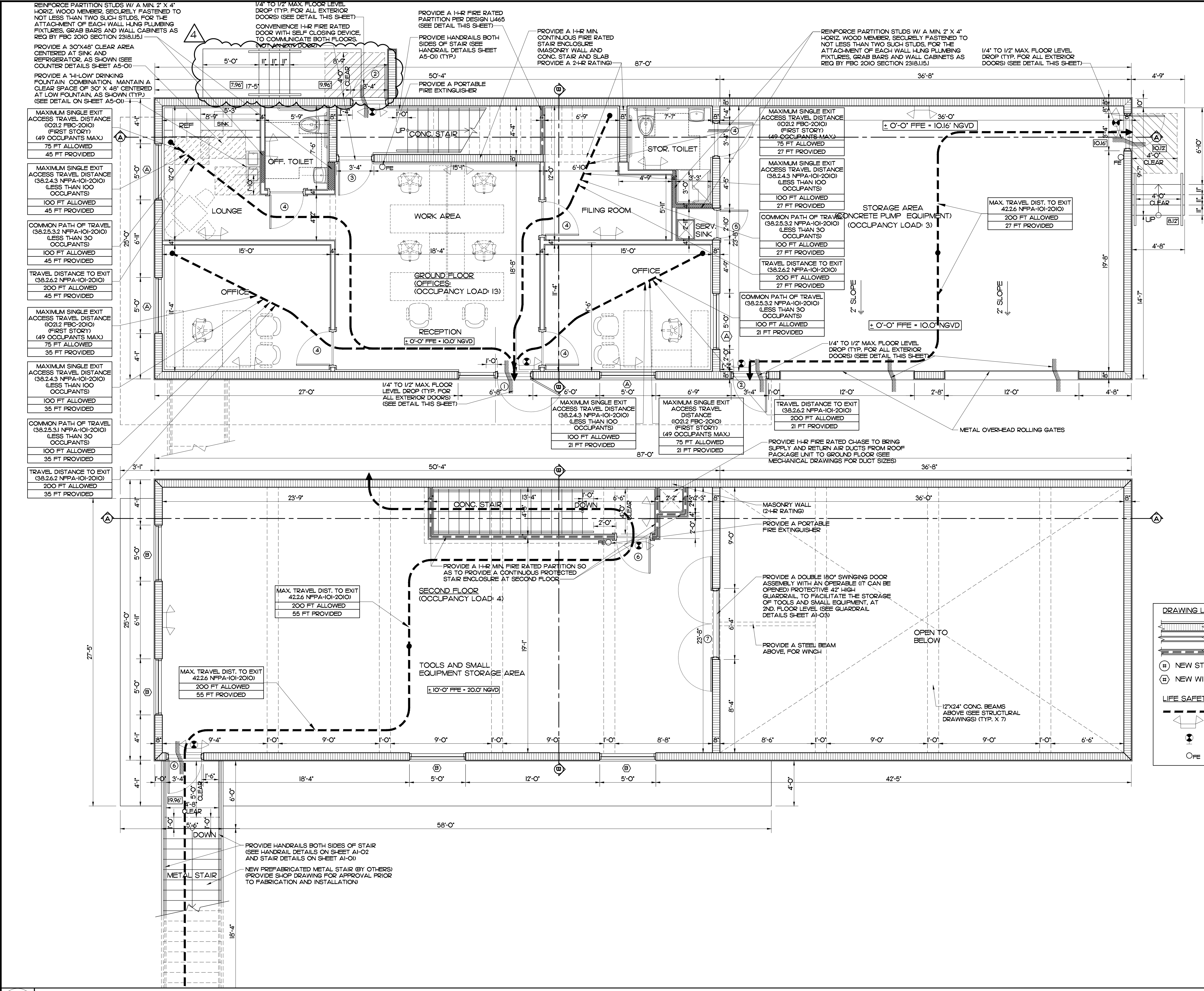
**FLOOR PLAN**

DRAWN BY:	L. CAPOTE	ISSUE DATE:	10-15-14
PROJECT NO.:	14572-2	SCALE:	AS SHOWN
ARCHITECT OR ENGINEER OF RECORD:			

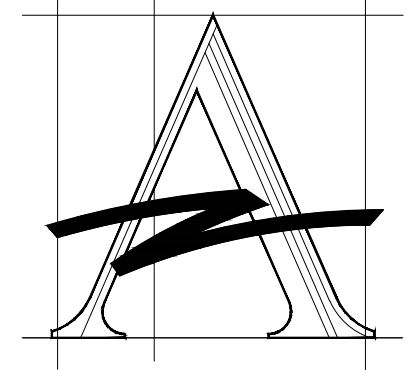
JORGE S. AZZE  
 09688

DRAWING NO. **A2-01**

SHEET OF



**A-1 FLOOR PLAN**  
 A2-01 SCALE 1/4"=1'-0"



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**NEW 2-STORY BUILDING**  
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 Industrial Property

4733 E. 10th Lane  
 Hialeah, FL 33013

Plate No. 04-3105-004-0970 and 04-3105-003-1120

NO.	REVISIONS/SUBMISSIONS	DATE
8		
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3	▲ ELEC. INSPECTOR COMMENTS	09-29-16
2	CITY OF HIALEAH COMMENTS	09-01-15
1	CITY OF HIALEAH COMMENTS	06-17-15

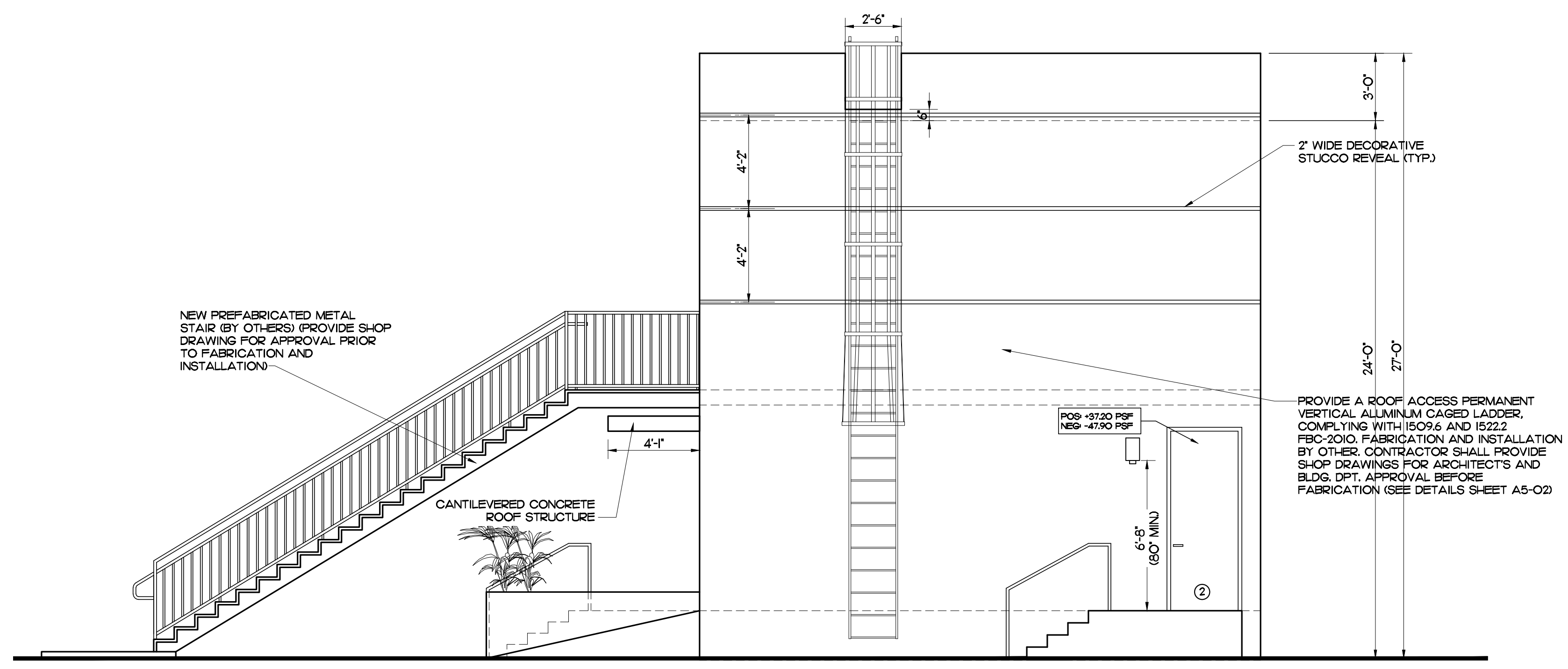
**ELEVATIONS**

DRAWN BY: <b>L. CAPOTE</b>	ISSUE DATE: <b>10-15-14</b>
PROJECT NO. <b>14572-2</b>	SCALE: <b>AS SHOWN</b>
ARCHITECT OR ENGINEER OF RECORD:	

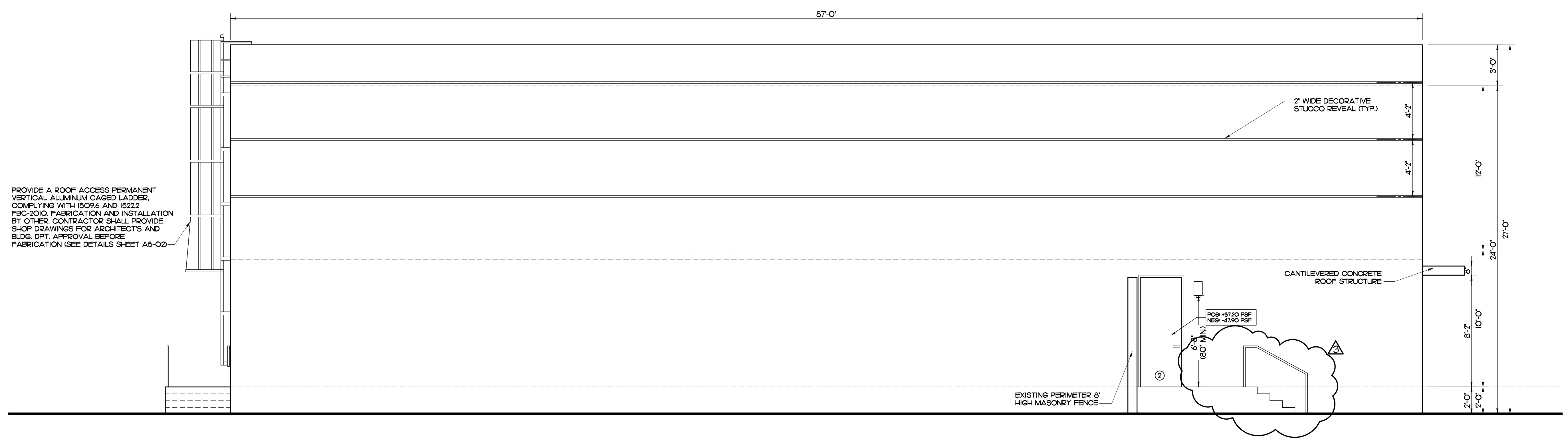
**JORGE S. AZZE**  
 09688

DRAWING NO.  
**A3-02**

SHEET OF



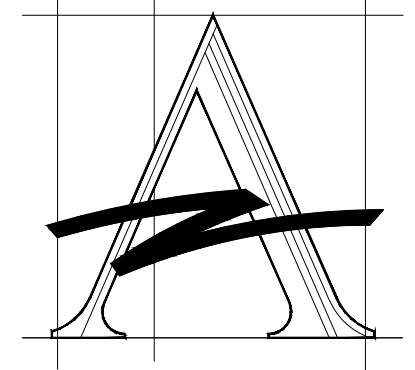
**EAST ELEVATION**



**NORTH ELEVATION**

**A-1 ELEVATIONS**  
 A3-01 SCALE 1/4"=1'-0"





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**NEW 2-STORY BUILDING**  
 for an Existing  
 Industrial Property

4733 E. 10th Lane  
 Hialeah, FL 33013

Plate No. 04-3105-004-0970 and 04-3105-003-1120

NO REVISIONS/SUBMISSIONS

8	DATE
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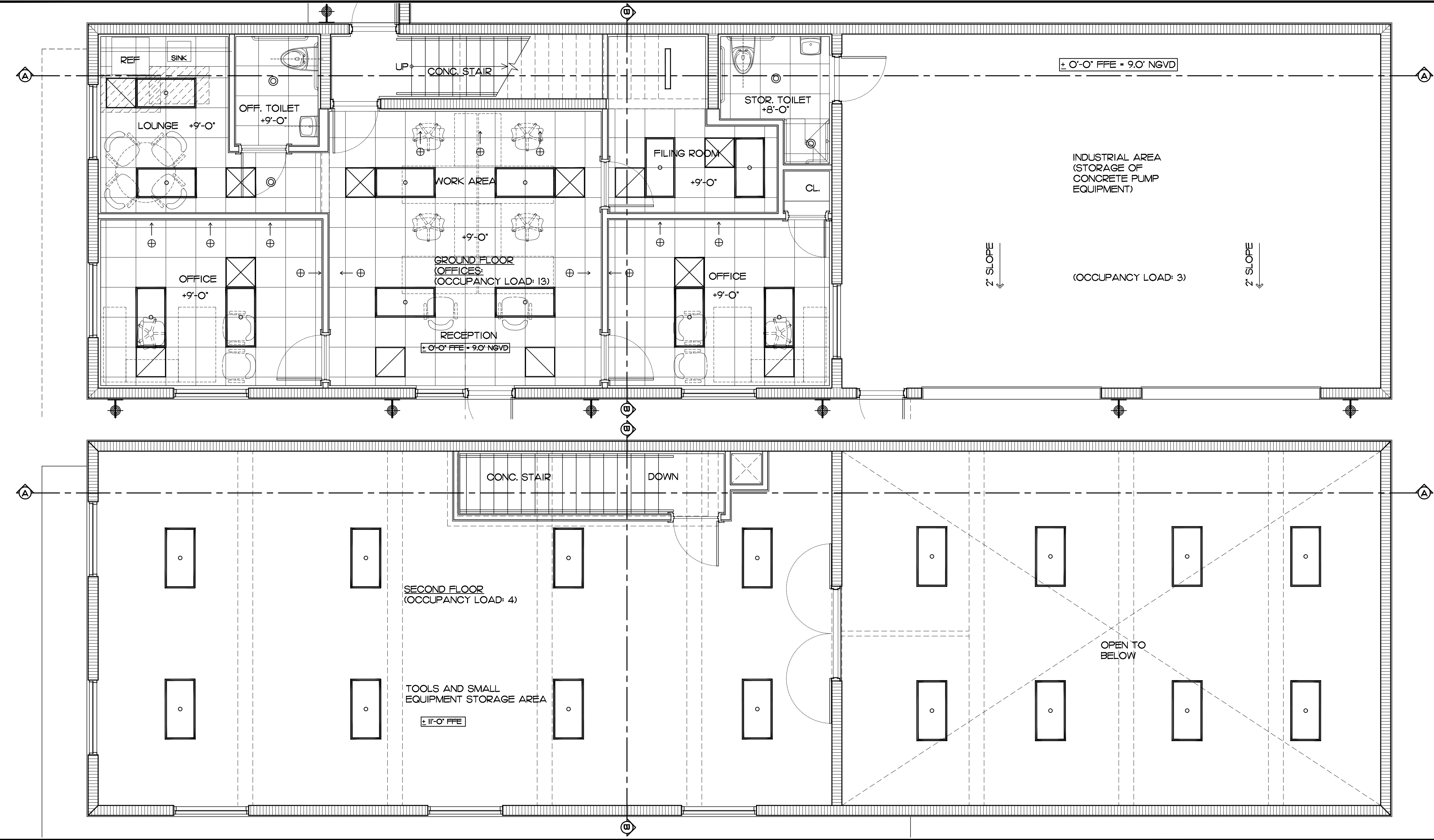
**ROOF PLAN**

DRAWN BY: L. CAPOTE  
 PROJECT NO: 14572-2  
 ARCHITECT OR ENGINEER OF RECORD: JORGE S. AZZE  
 O9688

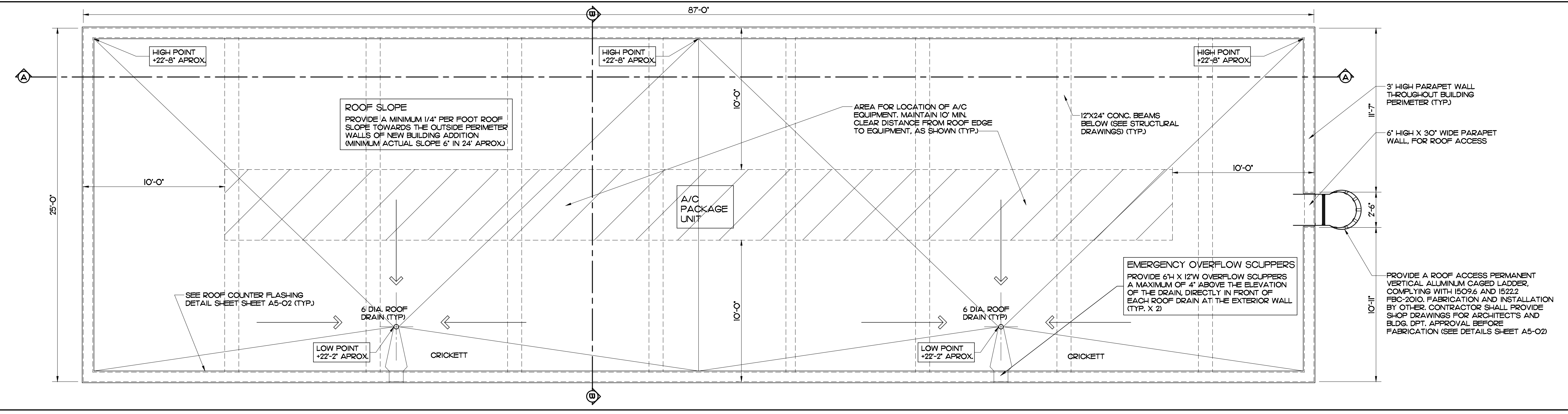
ISSUE DATE: 10-15-14  
 SCALE: AS SHOWN

DRAWING NO. **A2-O2**

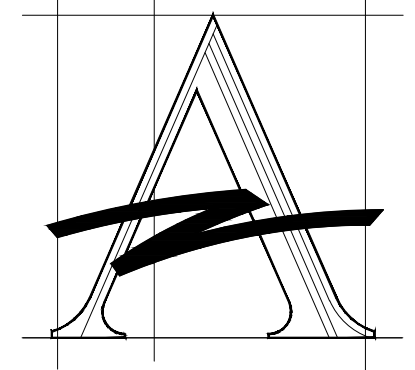
SHEET OF



E-1 REFLECTED CEILING  
 A2-O2 SCALE 1/4"=1'-0"



A-1 ROOF PLAN  
 A2-O2 SCALE 1/4"=1'-0"



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**NEW 2-STORY BUILDING**  
 for an Existing  
 Industrial Property

4793 E. 10th Lane  
 Hialeah, FL 33013

Plate No. 04-3105-004-0970 and 04-3105-003-1120

8	NO. REVISIONS/ SUBMISSIONS	DATE
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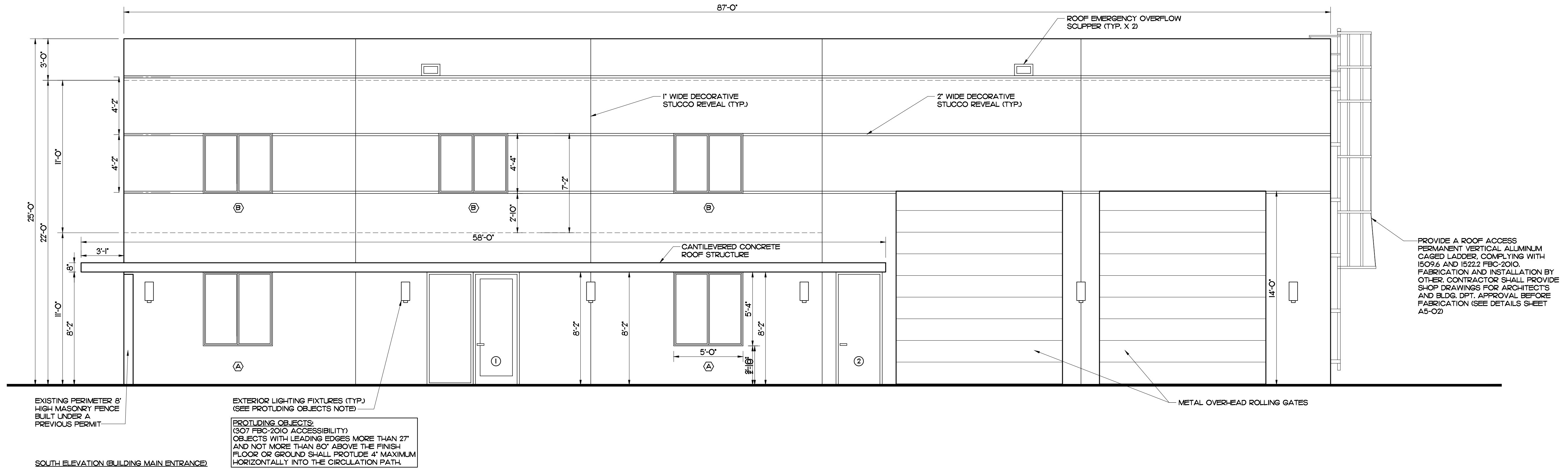
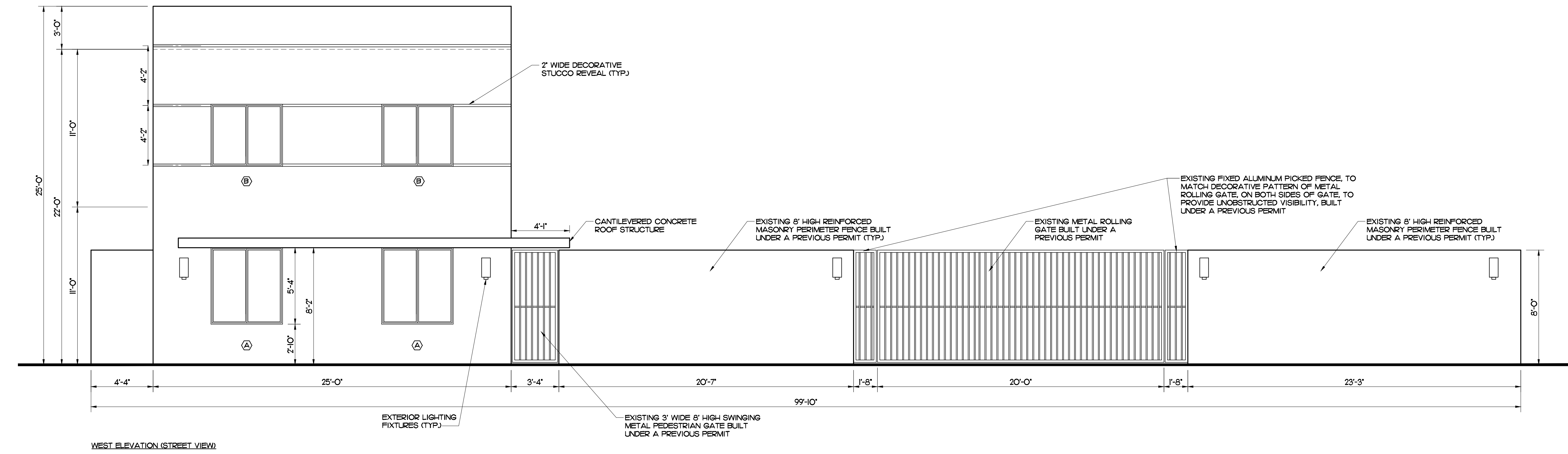
ELEVATIONS

DRAWN BY: L. CAPOTE  
 PROJECT NO: 14572-2  
 ARCHITECT OR ENGINEER OF RECORD:

ISSUE DATE: 10-15-14  
 SCALE: AS SHOWN

JORGE S. AZZE  
 09688  
 DRAWING NO.

A3-02  
 SHEET OF



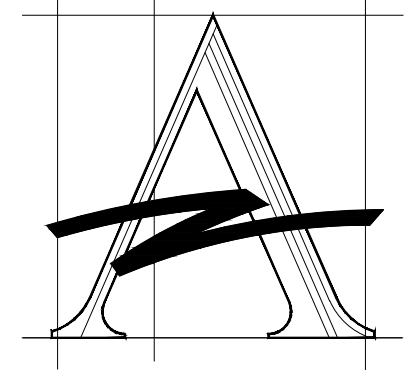
EXISTING PERIMETER 6' HIGH MASONRY FENCE BUILT UNDER A PREVIOUS PERMIT

EXTERIOR LIGHTING FIXTURES (TYP.) (SEE PROTRUDING OBJECTS NOTE)

PROTRUDING OBJECTS: (307 FBC-2010 ACCESSIBILITY) OBJECTS WITH LEADING EDGES MORE THAN 27" AND NOT MORE THAN 80" ABOVE THE FINISH FLOOR OR GROUND SHALL PROTRUDE 4" MAXIMUM HORIZONTALLY INTO THE CIRCULATION PATH.

A-1 ELEVATIONS  
 A3-01 SCALE 1/4"=1'-0"





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**NEW 2-STORY BUILDING**  
 for an Existing  
 Industrial Property

4733 E. 10th Lane  
 Hialeah, FL 33013

Permit No. 04-3105-004-0970 and 04-3105-003-1120

NO.	REVISIONS/SUBMISSIONS	DATE
8		
7		
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2		
1		

**SECTIONS**

DRAWN BY: L. CAPOTE	ISSUE DATE: 10-15-14
PROJECT NO. 14572-2	SCALE: AS SHOWN
ARCHITECT OR ENGINEER OF RECORD:	

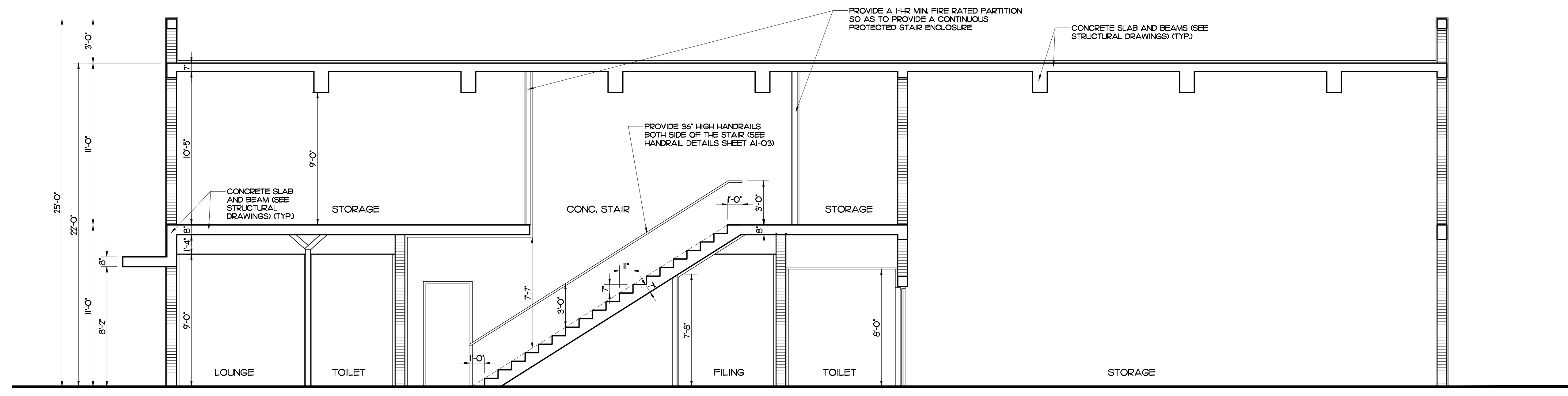
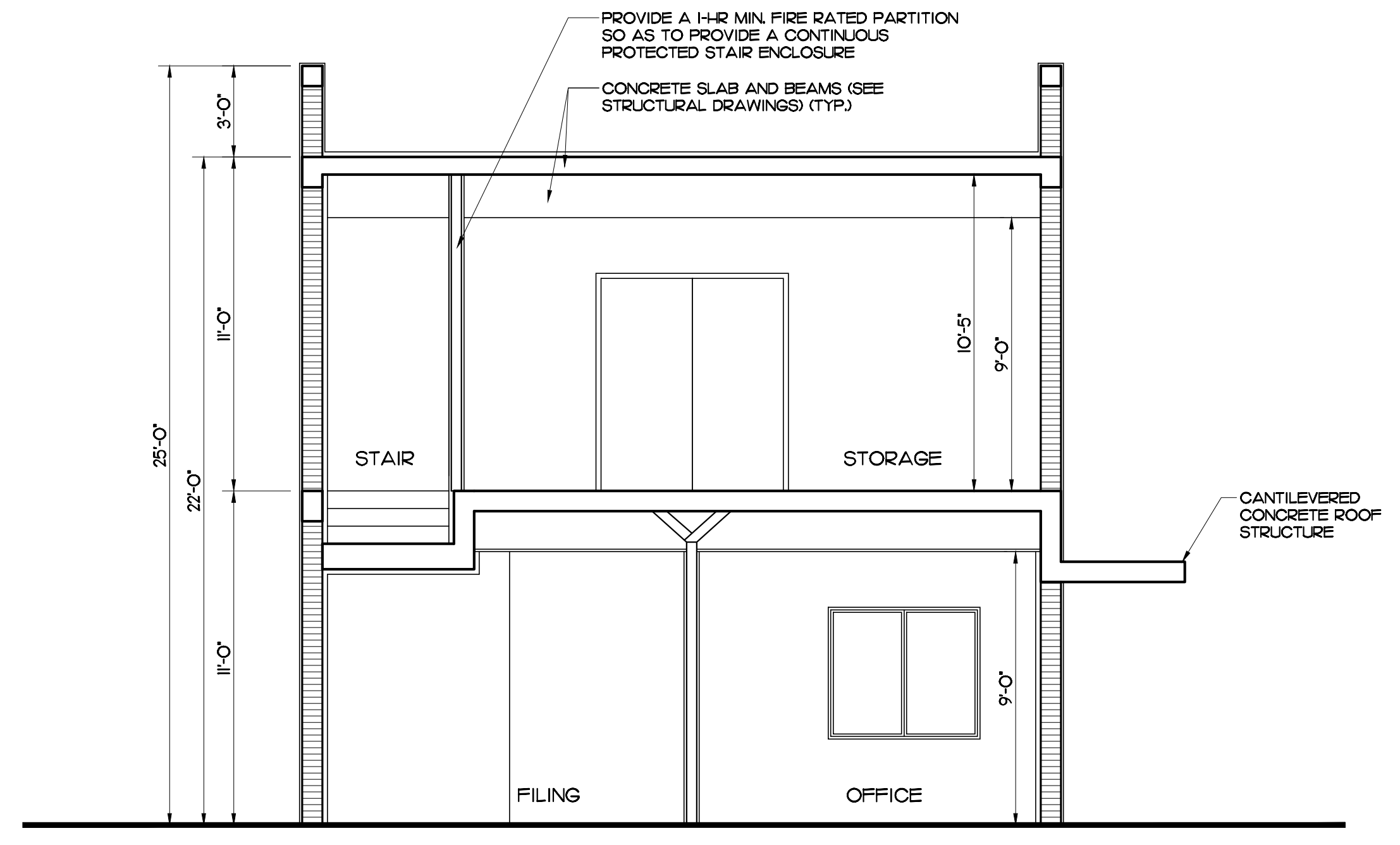
JORGE S. AZZE  
 09688

DRAWING NO.

**A4-01**

SHEET

OF



A-1 SECTIONS  
 A4-01 SCALE 1/4"=1'-0"





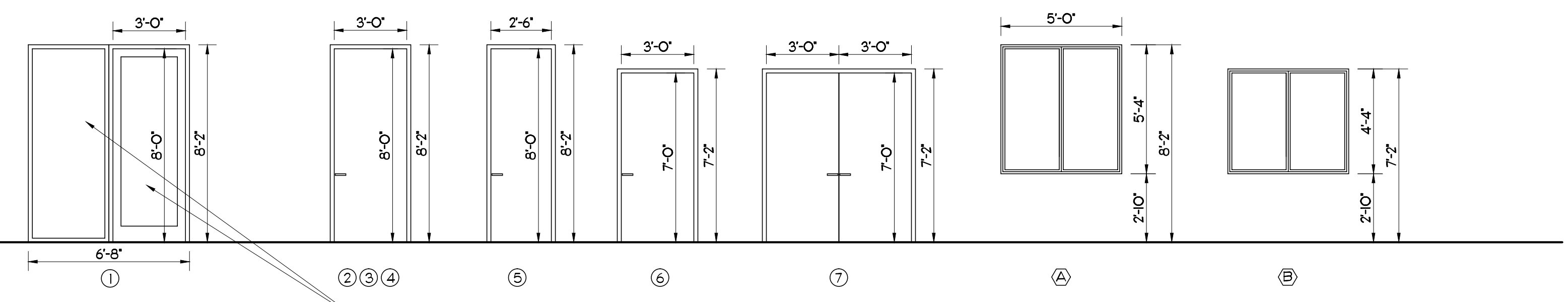
DOOR SCHEDULE				THK.	MATL.	RATING	FRAME	REMARKS										
DOOR NUMBER	DOOR ACTION	DOOR SIZE		H-5/16 I-3/4"	H-3/8"	H.C. WOOD ALLUM/GLASS SOLID WOOD	I-1/2 HR I HR 3/4 HR 20 MIN. NONE	H.M. ALUMINUM WOOD	H.M. WOOD	AUTO. CLOSER	PANIC DEVICE	SOUND DEADEN	WEATHERSTRIP	KEYED DEAD BOLT	PUSH/PULL	KIT-LOCK	PRIVACY LOCK	REMARKS
		TYPE	PAIR															
1	SWING			3'-0"	8'-0"													EXTERIOR, MAIN ENTRANCE, WITH SIDELITE
2	SWING			3'-0"	8'-0"													EXTERIOR, SECONDARY ENTRANCE/ EXIT
3	SWING			3'-0"	8'-0"													INTERIOR, GROUND FLOOR STAIR ENCLOSURE
4	SWING			3'-0"	8'-0"													INTERIOR, OFFICES, TOILETS
5	SWING			2'-6"	8'-0"													INTERIOR, CLOSET
6	SWING			3'-0"	8'-0"													INTERIOR, 2ND FLOOR STAIR ENCLOSURE
7	SWING			3'-0"	8'-0"													INTERIOR, 2ND FLOOR STORAGE (SERVICE DOOR)

**ABBREVIATIONS:**  
H.M. - HOLLOW METAL  
H.C. - HOLLOW CORE  
K.I.T.L. - KEY IN THE LOOKSET

FIXED GLASS SCHEDULE										
MARK	QUANTITY	MULTIPLE	STANDARD WINDOW DESCRIPTION	WINDOW SIZES			WINDOW FABRICATION			
				WIDTH	HEIGHT	SILL HEIGHT A.F.F.	FRAME	GLASS THKNS	GLASS TINT	REMARKS
(A)			FIXED GLASS	5'-4"	5'-0"	2'-10"	ALLUM.	3/16"		EXTERIOR, CAT. II SAFETY GLASS
(B)			FIXED GLASS	4'-4"	5'-0"	2'-10"	ALLUM.	3/16"		EXTERIOR, CAT. II SAFETY GLASS

	FINISH SCHEDULE												
	FLOOR			WALLS			CARPENTRY			CEILING			REMARKS AND NOTES
	BASE MATER.	FINISH MATER.	FINISH	BASE MATER.	BASE FINISH	FINISH	BASE	SILL	CROWN	HEIGHT	MATER.	FINISH	
<b>EXTERIOR AREAS</b>													
EXTERIOR COVERED CORRIDOR	CONC.	EXPOSED	BROOM	CMU	STUCCO	PAINT	-	-	-	8'-2"	STUCCO	PAINT	
<b>INTERIOR AREAS</b>													
RECEPTION / WORK AREA	CONC.	CER. TILE	-	CMU / GYP. WBD	GYP. WBD	PAINT	VINYL	-	-	9'-0"	AC. CLG	-	
OFFICES	CONC.	CER. TILE	-	CMU / GYP. WBD	GYP. WBD	PAINT	VINYL	-	-	9'-0"	AC. CLG	-	
LOUNGE	CONC.	CER. TILE	-	CMU / GYP. WBD	WRGWB	PAINT	VINYL	-	-	9'-0"	AC. CLG	-	
FILING ROOM	CONC.	CER. TILE	-	CMU / GYP. WBD	GYP. WBD	PAINT	VINYL	-	-	9'-0"	GWB / AC. CLG	PAINT / -	SEE SECTIONS FOR DETAILS
CLOSET	CONC.	CER. TILE	-	CMU / GYP. WBD	GYP. WBD	PAINT	VINYL	-	-	9'-0"	AC. CLG	-	
OFFICE TOILET	CONC.	CER. TILE	-	CMU / GYP. WBD	WRGWB	PAINT	VINYL	-	-	9'-0"	AC. CLG	-	
STORAGE TOILET	CONC.	CER. TILE	-	CMU / GYP. WBD	WRGWB	PAINT	VINYL	-	-	9'-0"	AC. CLG	-	
GROUND FLOOR STORAGE	CONC.	EXPOSED	BROOM	CMU	-	-	-	-	-	2'-5"	-	-	
STAIR	CONC.	EXPOSED	BROOM	CMU / GYP. WBD	GYP. WBD	PAINT	-	-	-	VARIES	-	-	
2ND FLOOR STORAGE	CONC.	EXPOSED	BROOM	CMU / GYP. WBD	-	-	-	-	-	10'-5"	-	-	

**ABBREVIATIONS:**  
CER. TILE - CERAMIC TILE  
CMU - CONCRETE MASONRY UNIT  
V.C.T. - VINYL COMPOSITE TILE  
AC. CLG - SUSPENDED ACOUSTICAL CEILING  
LAM. WBD - LAMINATED WOOD  
GYP. WBD - GYPSUM WALLBOARD  
WRGWB - WATER RESISTANT GYPSUM WALLBOARD



**DOOR AND FIXED GLASS ELEVATIONS** - IMPACT RESISTANT CAT II SAFETY GLASS (TYP)

**DOOR NOTES:**  
**EXTERIOR DOORS:** ALL EXTERIOR DOORS SHALL HAVE AUTO-CLOSER  
**DOOR HANDLES:** ALL DOOR HANDLES SHALL BE LEVER TYPE  
**DOOR WIDTH:** NO DOOR OPENING IN THE MEANS OF EGRESS SHALL BE LESS THAN 32 IN. NOR WIDER THAN 48 IN. WHERE A PAIR OF DOORS IS PROVIDED, AT LEAST ONE OF THE DOORS SHALL PROVIDE A MINIMUM 32 IN. CLEAR WIDTH OPENING.  
**DOOR OPENING FORCE:** THE FORCE REQUIRED TO FULLY OPEN ANY DOOR MANUALLY IN A MEANS OF EGRESS SHALL NOT EXCEED 15 LBF. TO RELEASE THE LATCH, 30 LBF. TO SET THE DOOR IN MOTION, AND 15 LBF. TO OPEN THE DOOR TO THE MIN. REQUIRED WIDTH. FORCE SHALL BE APPLIED TO THE LATCH STILE.  
**DOOR FINISH:** UNLESS OTHERWISE INSTRUCTED BY THE OWNER, ALL WOOD DOORS AND FRAMES SHALL BE PAINT-GRADE QUALITY FINISH.  
**2010 FBC 1008.1.9.5 REQUIREMENT:** ONLY ONE (1) LOCKING OR LATCHING DEVICE SHALL BE PERMITTED ON AN EXIT DOOR.  
**TOILET DOORS:** PROVIDE PRIVACY LOCK AT TOILET LOCATION.

ALL EXTERIOR DOORS AND WINDOWS SHALL BE IMPACT RESISTANT AND SHALL HAVE CAT. II SAFETY GLASS

F.B.C. 2411.3.1.3 DOORS AND OPERATIVE WINDOWS IN INTERIOR WALLS. GLAZING IN SLIDING AND SWING DOORS SHALL BE SAFETY - GLAZING COMPLYING WITH 16 CFR 1201, SAFETY STANDARD FOR ARCHITECTURAL GLAZING MATERIALS, CONSUMER PRODUCT SAFETY COMMISSION, AND AS DESCRIBED IN 2411.3.1.3 THROUGH 2411.3.1.5.

**WALLS NOTES:**  
PROVIDE WATER RESISTANT GYPSUM WALLBOARD IN ALL THE PARTITIONS WHERE SINKS ARE LOCATED.

**CEILING NOTES:**  
'LAY-IN' ALL CEILINGS: 24" X 24" X 5/8" ACOUSTICAL PANELS

**TOILET NOTES:**  
**WALL FINISH:** WALLS WITHIN 2 FEET OF URINALS AND WATER CLOSETS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE (TILES OR EPOXY PAINT), TO A HEIGHT OF 4 FT ABOVE THE FLOOR. ACCESSORIES SUCH AS GRAB BARS, TOWEL BARS, PAPER DISPENSERS AND SOAP DISHES, PROVIDED ON OR WITHIN WALLS, SHALL BE INSTALLED AND SEALED TO PROTECT STRUCTURAL ELEMENTS FROM MOISTURE. (210.2 FBC 2010)

**INTERIOR FINISHES:**  
SHALL COMPLY WITH FBC SECTION 803 FBC-2010 (BUSINESS AND STORAGE OCCUPANCIES- NON SPRINKLERED)

OCCUPANCY	NONSPRINKLERED		
	EXIT ENCLOSURES AND PASSAGEWAYS	CORRIDORS	ROOMS AND ENCLOSED SPACES
BUSINESS (B)	A	B	C
STORAGE (S-2)	B	B	C

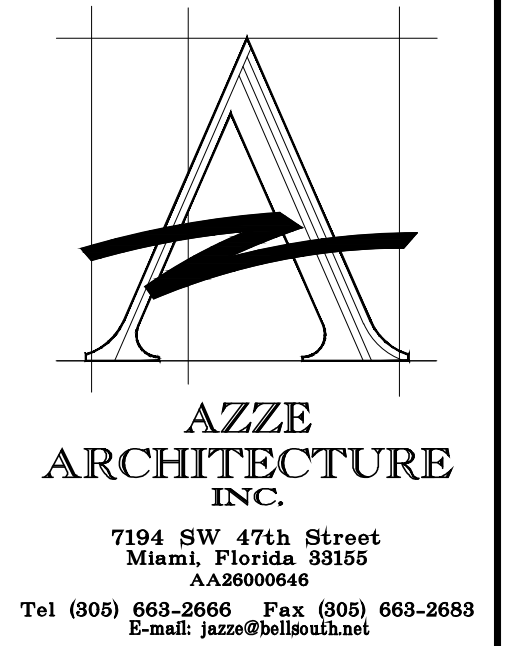
CLASS A: FLAME SPREAD INDEX 0-25, SMOKE-DEVELOPED INDEX 0-450

CLASS B: FLAME SPREAD INDEX 26-75, SMOKE-DEVELOPED INDEX 0-450

CLASS C: FLAME SPREAD INDEX 76-200, SMOKE-DEVELOPED INDEX 0-450

**CONTRACTOR TO VERIFY MASONRY OPENINGS**

- THE CONTRACTOR SHALL COORDINATE AND VERIFY THE EXACT DIMENSION OF THE MASONRY OPENINGS WITH THE SELECTED WINDOW AND DOOR ASSEMBLIES, IN ANY AND ALL CASES. THE CONTRACTOR SHALL NOT DEPEND ON THE INFORMATION GIVEN IN THESE PLANS AND SCHEDULES FOR THE PURPOSE OF COORDINATING THIS WORK FOR CONSTRUCTION. THE MEANS AND METHODS OF CONSTRUCTION ARE, AND SHALL REMAIN, THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL CONFIRM THE CURRENT BUILDING DEPARTMENT REQUIREMENTS AS TO THE ALLOWABLE SIZE AND SHAPE WOOD BUCKS AND THE REQUIRED ANCHORING FOR THE BUCKS FOR ALL DOORS AND WINDOWS. THIS INFORMATION SHALL BE COORDINATED BY THE CONTRACTOR WITH THE SELECTED MANUFACTURER'S INFORMATION TO PROVIDE THE MOST EXACT AND BEST FITTING OPENING.
- THE CONTRACTOR SHALL VERIFY THE INFORMATION PROVIDED IN THE DOOR AND WINDOW SCHEDULES. THE DIMENSIONS SHOWN ON THE FLOOR PLANS HAVE BEEN ROUNDED-OFF ONLY FOR THE PURPOSE OF ESTABLISHING THE GENERAL LOCATION OF OPENINGS ON THE ARCHITECTURAL AND STRUCTURAL DRAWINGS.
- THE CONTRACTOR SHALL SUBMIT MIAMI-DADE 'PRODUCT CONTROL NOTICE OF ACCEPTANCE (NOA)' FOR EACH OF THE TYPES OF WINDOWS AND EXTERIOR DOORS INDICATED ON DRAWINGS TO ARCHITECT AND BUILDING DEPARTMENT FOR APPROVAL AND PERMIT PRIOR TO INSTALLATION.
- THE MANUFACTURER SPECIFIED, IF ANY, (AND ANY MODEL NUMBERS, IF PROVIDED) ARE INTENDED ONLY AS A GENERAL GUIDELINE TO ESTABLISH A DESIGN STANDARD. IN THE EVENT OF A CHANGE IN THE SPECIFIED DOOR OR WINDOW MANUFACTURER(S) THE PLANS AND SCHEDULES SHOULD BE REVISED SO THAT THE (FINAL) PERMIT DRAWINGS REFLECTS THE ACTUAL AS-BUILT CONDITION.



**NEW 2-STORY BUILDING**  
for an Existing  
Industrial Property

4733 E. 10th Lane  
Hialeah, FL 33013

NO.	REVISIONS/SUBMISSIONS	DATE
8		
7		
6		
5		
4		
3		
2		
1		

**SCHEDULES**

DRAWN BY: L. CAPOTE  
PROJECT NO: 14572-2  
ARCHITECT OR ENGINEER OF RECORD: JORGE S. AZZE 09688

ISSUE DATE: 10-15-14  
SCALE: AS SHOWN

DRAWING NO: A6-01

SHEET OF

# New 2-Story Building for an Existing Industrial Property

Folio Numbers: 04-3105-004-0370 and 04-3105-001-1120

4733 East 10th Lane  
Hialeah, Florida 33013

Owner's Representative:

J&L investments  
Jorge Rodriguez  
8567 Coral Way 317 Miami, FL 33155  
Cell Phone: 786-255-8624 E-Mail: usconcrete@me.com

Deaco Air  
Diego Hernandez  
4730 E 10 Lane Hialeah, FL 33013  
Office: 305-688-8858 Cell Phone: 305-934-0696 Fax: 305-688-8860  
E-Mail: diego@deacoair.com www.deacoair.com

Civil Engineer:

Rick Herrera  
PE-45896

Develotec  
CA 26397  
6494 Coral Way  
Miami, Florida 33155  
Phone (305) 663-9650  
E-Mail:

Structural Engineer:

Jose Luis Guzman, PE  
PE-56138

4869 SW 75th Avenue  
Miami, Florida 33155  
Phone (786) 338-1082 Fax (305) 260-0364  
E-Mail:

Architect:

Jorge S. Azze  
RA-9688

Azze Architecture, Inc.  
AA 26000646  
7194 SW 47th Street  
Miami, Florida 33155  
Phone (305) 663-2666 Off. Fax (305) 663-2683  
E-Mail: jazze@bellsouth.net

MEP Engineer:

Leonardo Naveiras P.M. CA 25830  
Julio C. Vidal P.E. PE 52792

LNI

Leonardo Naveiras, Inc.  
Consulting Engineers  
1918 Harrison St. 207  
Hollywood, FL 33020  
Phone: 954-270-4822 Fax: 954-241-6850  
E-mail: hvacleo@aol.com

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Plan and Details

Architectural Drawings

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A1-02 Site Details  
A2-01 Floor Plan  
A2-02 Roof Plan and Reflected Ceiling Plan  
A3-01 Elevations  
A3-02 Elevations  
A4-01 Building Sections  
A5-01 Details  
A5-02 Details  
A6-01 Window, Door and Finish Schedules / Details

Structural Drawings

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S-2 Roof Plan, Beam Schedules and Details  
S-3 Sections and Details  
S-4 General Notes, Column and Footing Schedules,  
and Details

Plumbing/Mechanical/Electrical Drawings

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P-2 Plumbing Floor Plan  
P-2 Plumbing Risers, Notes, and Details  
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