

55 RESERVOIR RD, VERNON, CT

Proposed: Flex Space, Self Storage, or Last Mile Warehouse
Also Multi-family or Retail Development



FOR SALE: \$2,900,000

- ⇒ Zone: PDZ - "Planned Development Zone - I-84, Exit 67 Area"
- ⇒ Acres: 40.55
- ⇒ Abuts Burger King
- ⇒ Public Water & Sewer
- ⇒ Visibility / Frontage on I-84
- ⇒ Traffic Count: 21,500 on Reservoir Rd.
- ⇒ Traffic Count: 74,000 on I-84
- ⇒ Existing road through entire parcel

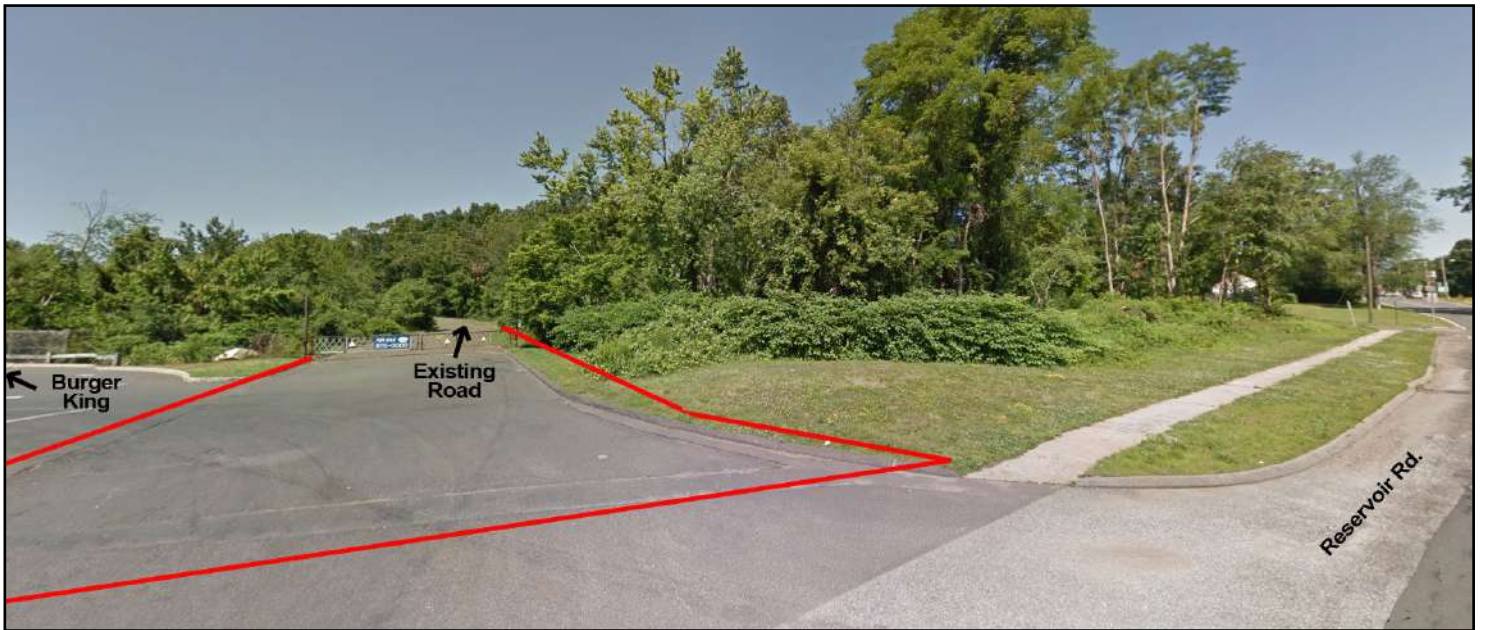
Demographics	1 MILE	3 MILES	5 MILES
Total Population	5,522	29,878	62,336
Total Households	2,541	12,759	25,606
Average Household Income	\$70,693	\$80,779	\$96,749

LYMAN

REAL ESTATE BROKERAGE & DEVELOPMENT
www.LymanRE.com

RON LYMAN

Main Office:
1160 Boston Post Rd.
Westbrook, CT 06498
Mailing Address:
73 Second Ave.
Westbrook, CT 06498
860-887-5000 x1 Office
860-884-4666 Cell
ronl@lymanre.com

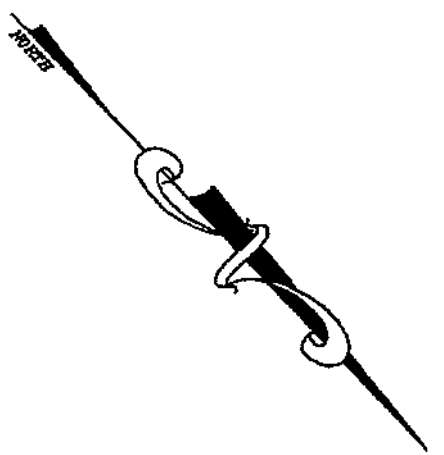


All information stated is from sources deemed reliable and is submitted subject to errors, omission, changes of other terms and conditions, prior sales, financing or withdrawal without notice. Buyer/Tenant agents will be eligible for a portion of commission only if they have an existing signed representation.

PDZ - Planned Development Zone – I-84, Exit 67 Area

Allowed uses by Special Permit:

- **Manufacturing, storing, printing, publishing, processing, fabricating and packaging**
- **Single-and two-family structures**
- **Multiple, single-family and multi-family dwellings**
- **Hotels, motels, conference and convention centers, indoor theaters, and museums**
- **Research and experimental laboratories, veterinary hospitals and animal care services (excluding kennels), and medical facilities**
- **Full-service restaurants**
- **Professional office buildings, general office buildings, and office parks**
- **Retail sales and services when the lots have frontage on a State highway**
- **Drive-up service window by approval of both a Site Plan and a Special Permit**
- **Recreation facilities, education facilities, religious facilities and cultural, non-profits**
- **Plumbing, heating, electrical, industrial, and general contracting establishments, which may include showrooms**

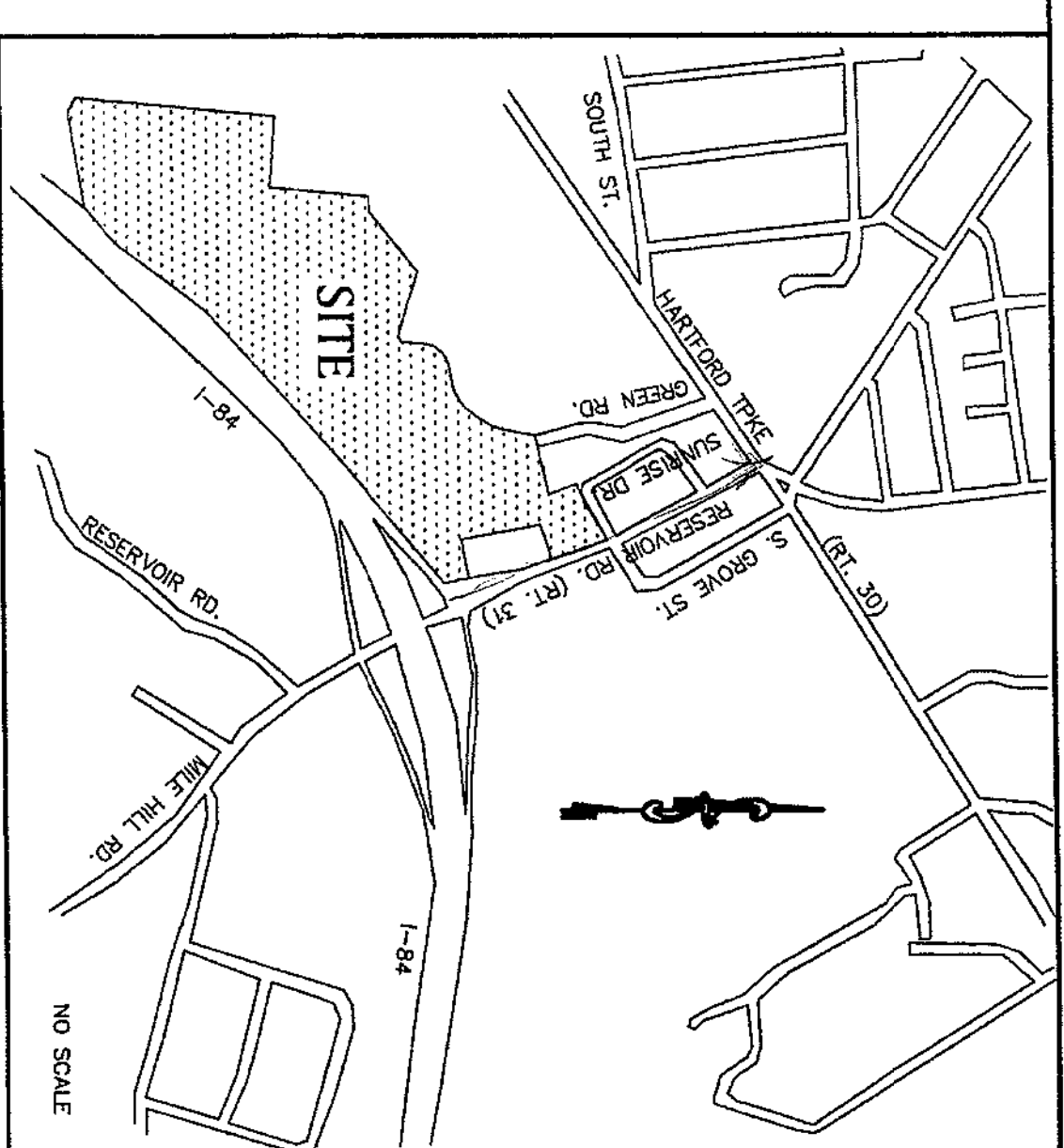


LEGEND

- BT BITUMINOUS
- CB CATCH BASIN
- CLF CHAIN LINK FENCE
- CONC CONCRETE
- CONC BOUND W/DISK CONCRETE BOUND WITH DISK
- CPG/MSK CORRUGATED PLASTIC PIPE
- CTR CORRUGATED TREE
- DBR/MSK DEBRIS/PLASTIC
- DRY/MSK DRY/PLASTIC
- FLR/MSK FLARED END INVERT
- FOU FOUND
- FRD ROAD
- GRD GRASS
- LPI LIGHT POLE
- MANHOLE MANHOLE
- MARPLE MARPLE
- METAL POLE METAL POLE
- OAK OAK
- PHONE BOOTH PHONE BOOTH
- PINE PINE
- POST & WIRE FENCE POST & WIRE FENCE
- REINFORCED CONCRETE PIPE REINFORCED CONCRETE PIPE
- SN SIGN
- SPOT GRADE
- TELEPHONE MANHOLE
- TEST PIT
- TOP CURB/BOTTOM CURB
- TNM
- UTILITY POLE
- UTILITY POLE W/LIGHT
- WETLAND FLAG
- ONE FOOT CONTOUR
- FIVE FOOT CONTOUR
- CHAIN LINK FENCE
- GUARD RAIL
- THEE LINE
- WETLAND LINE
- WATERCOURSE

SURVEY NOTES

- 1) THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 10-300B-1 THROUGH 20-300B-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
- 2) THE TYPE OF SURVEY PERFORMED AND THE MAPPED FEATURES DEPICTED HEREON ARE IN ACCORDANCE WITH THE REQUIREMENTS OF A BOUNDARY AND TOPOGRAPHIC SURVEY.
- 3) THE BOUNDARY DETERMINATION / OPINION IS BASED UPON A DEPENDENT SURVEY OF THE MAPS REFERENCED IN NOTE 6.
- 4) THIS SURVEY CONFORMS TO A CLASS A-2 HORIZONTAL ACCURACY AND CLASS T-2 TOPOGRAPHIC ACCURACY.
- 5) BEARINGS AS DEPICTED ARE BASED UPON THE MAP REFERENCED IN NOTE 6. COORDINATES DEPICTED ARE BASED UPON STATE OF CONNECTICUT GEODETIC SURVEY DATUM (NAVD 1988) BM USED: BRASS DISK 1094, FOUND UNDER CONCRETE WALK AT SPILLWAY/PUMPHOUSE AT END OF SNAPE'S LAKE., CONN. WATER DEPT. FACILITY. ELEVATION = 512.59 TBM; SEE PLAN.
- 6) REFERENCES: 1) RECORDED TOWN OF VERNON, CONNECTICUT VOL. 991 / PAGE 242 PLAN NO. 3961 PLAN NO. 3956 PLAN NO. 3954 PLAN NO. 2491 1991 ROUTE 84, BLOCK 68, LOT 61. 2) PLAN ENTITLED "GENERAL LOCATION SURVEY WETLANDS REDESIGNATION", DATED 5-24-2000 BY GARDNER & PETERSON ASSOCIATES.
- 7) TOPOGRAPHIC SURVEY PERFORMED BY THE BSC GROUP BETWEEN JULY 2, 2002 AND SEPTEMBER 6, 2002.
- 8) TOPOGRAPHIC MAPPING SHOWN IS PARTIALLY BASED ON AERIAL PHOTOGRAMMETRY PROVIDED BY EASTERN TOPOGRAPHICS OF WOLFBORO, NEW HAMPSHIRE.
- 9) WETLAND E SHOWN PER ORIGINAL MAPPING FROM GARDNER PETERSON ASSOCIATES.



LOCUS MAP



SOIL SCIENTISTS' CERTIFICATION

I HEREBY CERTIFY THAT THE SOIL MAPPING AND CLASSIFICATION CONDUCTED FOR THIS SITE COMPLETES WITH THE NATIONAL COOPERATIVE SOIL SURVEY AND USDA SOIL CONSERVATION SERVICE STANDARDS. THE WETLAND/WATERCOURSE BOUNDARIES DEPICTED ON THIS PLAN ARE SUBSTANTIALLY CORRECT AND IN COMPLIANCE WITH THE CONNECTICUT INLAND AND WETLANDS ACT (SECTION 22A-36 TO 22A-43) OF THE CONNECTICUT GENERAL STATUTES.

PHIL LONDON
SOIL SCIENTIST
SOCIETY OF SOIL SCIENTISTS OF SOUTHERN NEW ENGLAND

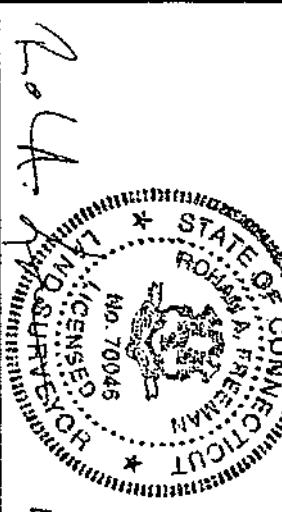
REVISIONS

NO.	DATE	DESCRIPTION

OWNER OF 75 RESERVOIR ROAD,
115 E. LAMONT REALTY
VERNON, CONNECTICUT 06066
OWNER OF 65 RESERVOIR ROAD,
WINDY REAL ESTATE LLC
874 SILAS DEANE HIGHWAY
WETHERSFIELD, CONNECTICUT 06109

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

ROHANI A. FREEMAN, P.E., L.S. DATE
CONNECTICUT LAND SURVEYOR LIC. # 70046



SITE PLAN
FOR
VERNON RETAIL DEVELOPMENT

AT
65 & 75 RESERVOIR RD
TOWN OF VERNON
TOLLAND COUNTY, CT
06066

JANUARY 21, 2004

EXISTING CONDITIONS PLAN

APPLICANTS:
W/S DEVELOPMENT ASSOCIATES
1330 BOYLSTON STREET
CHESTNUT HILL, MASSACHUSETTS
02467
(617) 232-8900 Ph



200 Glastonbury Boulevard
Glastonbury, Connecticut
06033
860 652 8227 Ph
860 652 8229 Fax

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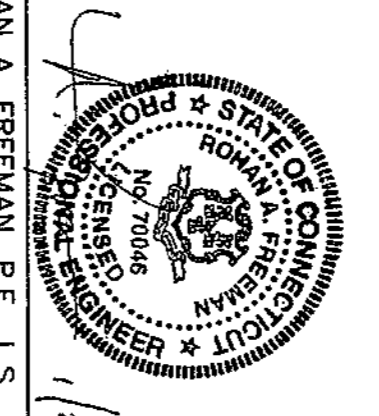
SCALE: 1" = 100' HORIZ.



PROJ. MGR.: R. FREEMAN
FIELD: A. Phillips, Z. Valentin
CALC./DESIGN: S. Cohen
DRAWN: S. Cohen
CHECK: R. Freeman, D. Stanley
CAD FILE: redesign\toplan10-30-02.dwg
DWG. NO.: **05.00**
JOB NO.: B.3013.00

NO.	DATE	DESCRIPTION

OWNER OF 75 RESERVOIR ROAD:
LEE & LAMONT REALTY
40 WEST STREET, SUITE 10
VERNON, CONNECTICUT 06066
OWNER OF 65 RESERVOIR ROAD:
MADR REAL ESTATE, LLC
874 SILAS DEANE HIGHWAY
WETHERSFIELD, CONNECTICUT 06109



ROHAN A. FREEMAN, P.E., L.S. DATE
CONNECTICUT PROFESSIONAL ENGINEER, LIC. # 7006

SITE PLAN
FOR
VERNON RETAIL DEVELOPMENT
AT
65 & 75 RESERVOIR RD
TOWN OF VERNON
TOLLAND COUNTY, CT
06066

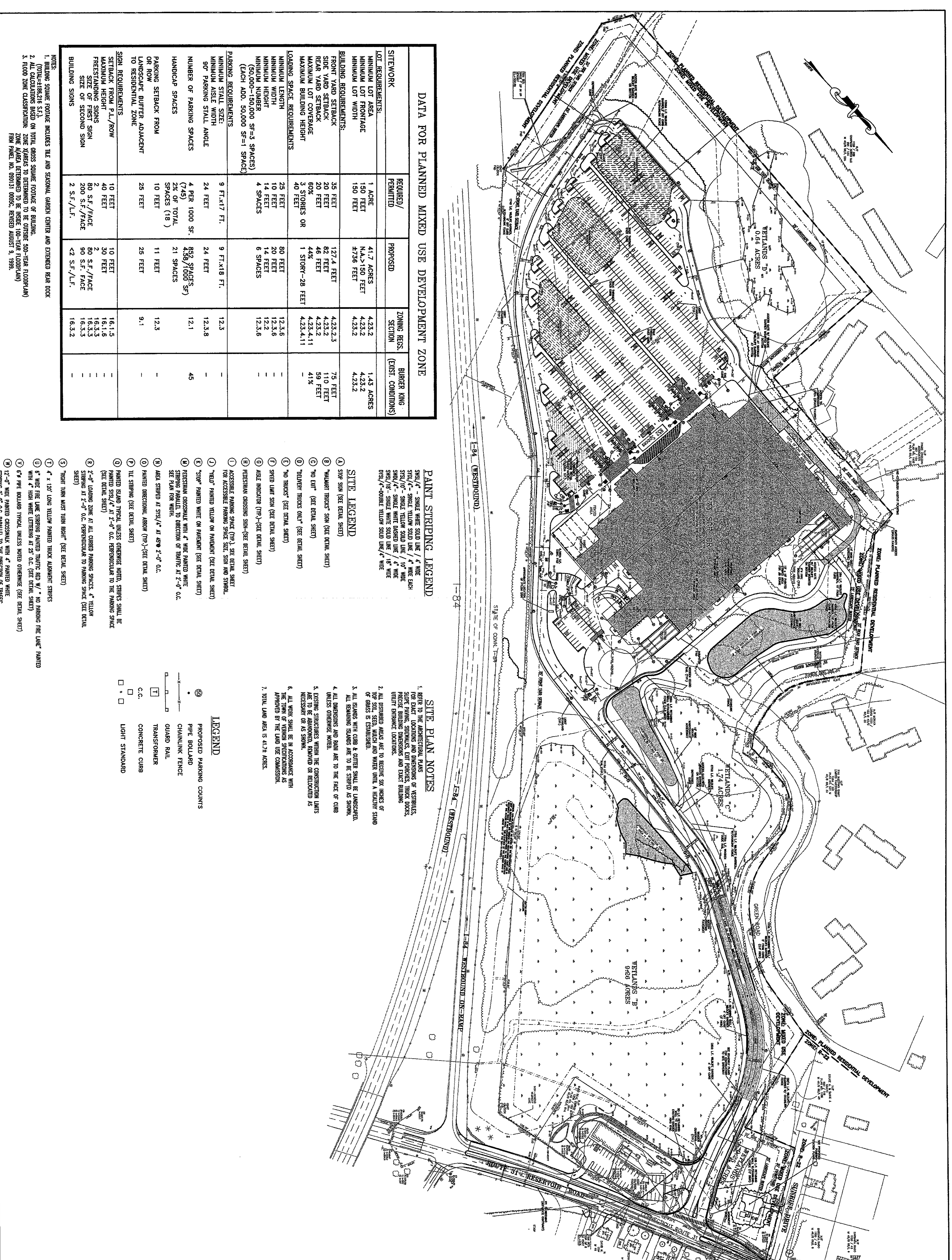
JANUARY 21, 2004

OVERALL SITE LAYOUT

APPLICANT:
W/S DEVELOPMENT ASSOCIATES
1330 BOYLSTON STREET
CHESTNUT HILL, MASSACHUSETTS
02467
(617) 232-8900 Ph

BSC GROUP
200 Clantonbury Boulevard
Glastonbury, Connecticut
06033
860 652 8227 Ph
860 652 8229 Fax

© 2000 The BSC Group, Inc.
SCALE: 1" = 100' HORIZ
0 25 50 100 200 FEET
DRAWN: DFU
CHECK: RF
CAD FILE: BSC_10303_CONCEPT.dwg
DWG. NO.: 10.00
JOB NO.: B.3013.00



SITE PLAN NOTES

- REFER TO THE ARCHITECTURAL PLANS FOR THE SPECIFICATIONS OF MATERIALS, CONSTRUCTION METHODS, FINISHES, TRUCK DOORS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL DISTURBED AREAS ARE TO RECEIVE SIX INCHES OF TOP SOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- ALL ISLANDS WITH CURB & GUTTER SHALL BE LANDSCAPED. ALL REMAINING ISLANDS ARE TO BE STRIPPED AS SHOWN.
- ALL DIMENSIONS AND PAVER ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- EXISTING STRUCTURES WITHIN THE CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY OR AS SHOWN.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE TOWN OF VERNON SPECIFICATIONS AS APPROVED BY THE LAND USE COMMISSION.
- TOTAL LAND AREA IS 41.74 ACRES.

LEGEND

- PROPOSED PARKING COUNTS
- PIPE BOLLARD
- CHAINLINK FENCE
- GUARD RAIL
- TRANSFORMER
- CONCRETE CURB
- C.C.
- LIGHT STANDAROD

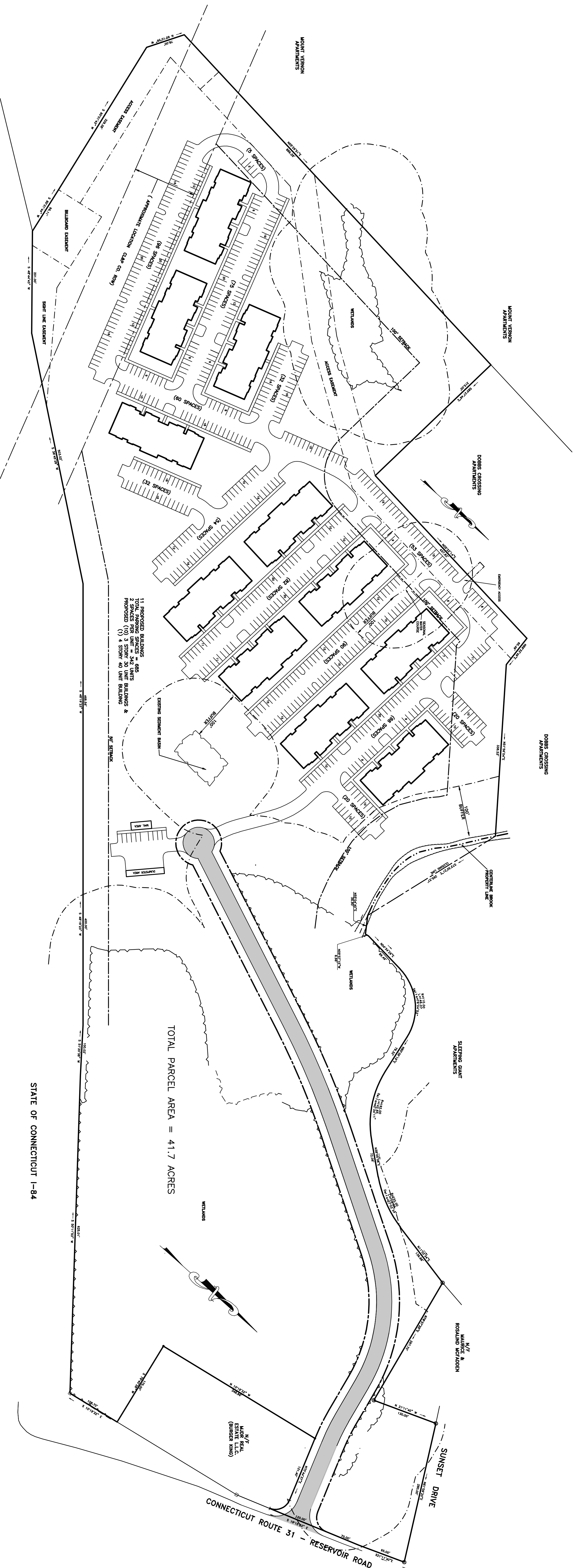
PAINT STRIPING LEGEND

- ① SINGLE WHITE SOLID LINE / 4" WIDE
- ② SINGLE YELLOW SOLID LINE / 4" WIDE
- ③ SINGLE WHITE SOLID LINE / 10" WIDE
- ④ SINGLE YELLOW SOLID LINE / 10" WIDE
- ⑤ SINGLE WHITE DASHED LINE / 4" WIDE
- ⑥ SINGLE YELLOW DASHED LINE / 4" WIDE
- ⑦ SINGLE WHITE SOLID LINE / 18" WIDE
- ⑧ SINGLE YELLOW SOLID LINE / 18" WIDE
- ⑨ STOP SIGN (SEE DETAIL SHEET)
- ⑩ YIELD SIGN (SEE DETAIL SHEET)
- ⑪ NO LEFT TURN SIGN (SEE DETAIL SHEET)
- ⑫ NO RIGHT TURN SIGN (SEE DETAIL SHEET)
- ⑬ NO TRUCKS SIGN (SEE DETAIL SHEET)
- ⑭ SPEED LIMIT SIGN (SEE DETAIL SHEET)
- ⑮ SPEED LIMIT SIGN (SEE DETAIL SHEET)
- ⑯ ASSESSOR SIGN (SEE DETAIL SHEET)
- ⑰ ACCESSIBLE PARKING SPACE (SEE DETAIL SHEET)
- ⑱ ACCESSIBLE PARKING SPACE SIGN (SEE DETAIL SHEET)
- ⑲ "HEAD" PAINTED YELLOW ON PAVEMENT (SEE DETAIL SHEET)
- ⑳ "TAPER" PAINTED WHITE ON PAVEMENT (SEE DETAIL SHEET)
- ㉑ RECTANGULAR CROSSWALK WITH 4" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. SET FIVE FEET FROM CURB.
- ㉒ AREA STRIPPED AT 2'-0" O.C. AT 6" W 2'-0" O.C.
- ㉓ PAINTED DIRECTIONAL ARROW (TP)- (SEE DETAIL SHEET)
- ㉔ TIE STRIPING (SEE DETAIL SHEET)
- ㉕ PAINTED ROUND TRIANGLE UNLESS OTHERWISE NOTED. STRIPES SHALL BE PAINTED STRIPING AT 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE (SEE DETAIL SHEET)
- ㉖ 2'-0" LANDING ZONE AT ALL CURBED PARKING SPACES. 4" YELLOW STRIPING AT 2'-0" O.C. PERPENDICULAR TO PARKING SPACE (SEE DETAIL SHEET)
- ㉗ "RIGHT TURN MUST TURN RIGHT" (SEE DETAIL SHEET)
- ㉘ 4" x 12" LONG YELLOW PAINTED TRUCK ALIGNMENT STRIPES
- ㉙ 6" WIDE FIVE LINE STRIPING PAINTED TRUCK RED W/ 4" NO PARKING THE "LANE" PAINTED WITH 4" HIGH WHITE LETTERING AT 25' O.C. (SEE DETAIL SHEET)
- ㉚ 6" WIDE FIVE LINE STRIPING UNLESS NOTED OTHERWISE (SEE DETAIL SHEET)
- ㉛ 12'-0" WIDE PAINTED CROSSWALK WITH 4" PAINTED WHITE STRIPING AT 2'-0" O.C. PARALLEL TO THE DIRECTION OF TRAFFIC.

DATA FOR PLANNED MIXED USE DEVELOPMENT ZONE

SITEWORK	REQUIRED/ PERMITTED	PROPOSED	ZONING RES. SECTION	BURGER KING (EXIST. CONDITIONS)
LOT REQUIREMENTS:				
MINIMUM LOT AREA	1 ACRE	41.7 ACRES	4.23.2	1.43 ACRES
MINIMUM LOT FRONTAGE	150 FEET	N.A.-150 FEET	4.23.2	4.23.2
MINIMUM LOT WIDTH	150 FEET	4736 FEET	4.23.2	4.23.2
BUILDING REQUIREMENTS:				
FRONT YARD SETBACK	35 FEET	127.4 FEET	4.23.2.3	75 FEET
SIDE YARD SETBACK	20 FEET	82 FEET	4.23.2	110 FEET
REAR YARD SETBACK	20 FEET	46 FEET	4.23.2	59 FEET
MAXIMUM LOT COVERAGE	60%	44%	4.23.4.11	41%
MAXIMUM BUILDING HEIGHT	40 FEET	1 STORY-28 FEET	4.23.4.11	-
LOADING SPACE REQUIREMENTS:				
MINIMUM LENGTH	25 FEET	80 FEET	12.3.6	-
MINIMUM WIDTH	10 FEET	20 FEET	12.3.6	-
MINIMUM HEIGHT	14 FEET	14 FEET	12.2	-
MINIMUM NUMBER	4 SPACES	6 SPACES	12.3.6	-
(EACH ADD. 50,000 SF=3 SPACES)				
(EACH ADD. 50,000 SF=1 SPACE)				
PARKING REQUIREMENTS:				
MINIMUM STALL SIZE:	9 FT. x 17 FT.	9 FT. x 18 FT.	12.3	-
MINIMUM AISLE WIDTH	24 FEET	24 FEET	12.3.8	-
90° PARKING STALL ANGLE	24 FEET	24 FEET	12.3.8	-
NUMBER OF PARKING SPACES	4 PER 1000 SF. (745)	852 SPACES (4.58/1000 SF)	12.1	45
HANDICAP SPACES	2% OF TOTAL SPACES (18)	21 SPACES	-	-
PARKING SETBACK FROM OR ROW BUFFER ADJACENT TO RESIDENTIAL ZONE	10 FEET	11 FEET	12.3	-
LANDSCAPE BUFFER ADJACENT TO RESIDENTIAL ZONE	25 FEET	25 FEET	9.1	-
SIGN REQUIREMENTS:				
SETBACK FROM P.L./ROW	10 FEET	10 FEET	16.1.5	-
MAXIMUM HEIGHT	40 FEET	30 FEET	16.1.6	-
FREESTANDING SIGNS	2	2	16.3.3	-
SIZE OF FIRST SIGN	200 S.F./FACE	80 S.F./FACE	16.3.3	-
SIZE OF SECOND SIGN	2 S.F./L.F.	90 S.F./FACE	16.3.3	-
BUILDING SIGNS	2 S.F./L.F.	<2 S.F./L.F.	16.3.2	-

NOTES:
1. BUILDING SQUARE FOOTAGE INCLUDES THE AND SEASONAL GARDEN CENTRE AND EXTENDED REAR DOCK
2. ALL SETBACKS BASED ON TOTAL GROSS SQUARE FOOTAGE OF BUILDING.
3. FLOOD ZONE CLASSIFICATION: ZONE XAREA DETERMINED TO BE INSIDE 500-YEAR FLOODPLAIN (FIRM PANEL NO. 090131 0005C, REVISED AUGUST 9, 1999.)



STATE OF CONNECTICUT I-84

STATE OF CONNECTICUT I-84

1.1 2-STOREY BUILDINGS
TOTAL PARKING SPACES = 485
2. SPACES FOR UNITS: 20 UNIT BUILDINGS &
3. SPACES FOR UNITS: 20 UNIT BUILDINGS &
(1) 4 STORY 40 UNIT BUILDING

TOTAL PARCEL AREA = 41.7 ACRES

MAP REFERENCE:

1. RESERVOIR PARK SITE GRADING WITH GRAVEL REMOVAL MILE HILL ROAD - ROUTE 31 VERNON, CONN. DATE: FEB. 1990 SCALE: 1"=40' SHEETS 1 THROUGH 9 REVISED 6-13-91, 9-10-93, 10-8-93, & 10-18-93 BY A. R. LOMBARDO ASSOCIATES, INC. ...
2. PLAN PREPARED TO SHOW EASEMENTS OVER LAND OF BETTY G. REIN CONN. ROUTE #31 VERNON, CONNECTICUT DATE: FEB. 1994 SCALE: 1"=100' ... BY AR LOMBARDO ASSOCIATES, INC. ...
3. "GENERAL LOCATION SURVEY WETLANDS REDESIGNATION CONNECTICUT" BY: GARDNER & PETERSON ASSOC., SCALE: 1"=100' DATED: 5-24-2000

NOTES:

1. THIS SURVEY AND MAP HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300-1 THROUGH 20-300-20. MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. THIS IS A COMPILATION SURVEY BASED ON A MAP REFERENCED HEREON AND CONFORMS TO CLASS "D". THIS PLAN WAS PREPARED FROM RECORD RESEARCH, OTHER MAPS, LIMITED FIELD MEASUREMENTS AND OTHER SOURCES. IT IS NOT TO BE CONSTRUED AS A PROPERTY/BOUNDARY SURVEY AND IS SUBJECT TO SUCH FACTS AS SAID SURVEYS MAY DISCLOSE.
2. HORIZONTAL DATUM BASED ON C.G.S.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

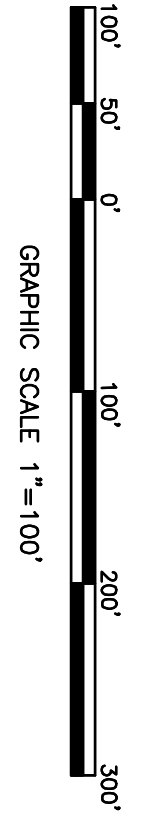
Kenneth R. Peterson
KENNETH R. PETERSON

LS 10839
REGISTRATION NO.

COMPIATION PLAN #1

CONCEPTUAL LAYOUT
PREPARED FOR
LBE & LAMONT REALTY
#65 RESERVOIR ROAD
VERNON, CONNECTICUT
GARDNER & PETERSON ASSOCIATES, LLC
178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT
PROFESSIONAL ENGINEERS
LAND SURVEYORS

REVISIONS		BY	SCALE	DATE	SHEET NO.	MAP NO.
		B.D.C.	1"=100'	4-12-2016	1 OF 2	9550-LEE3

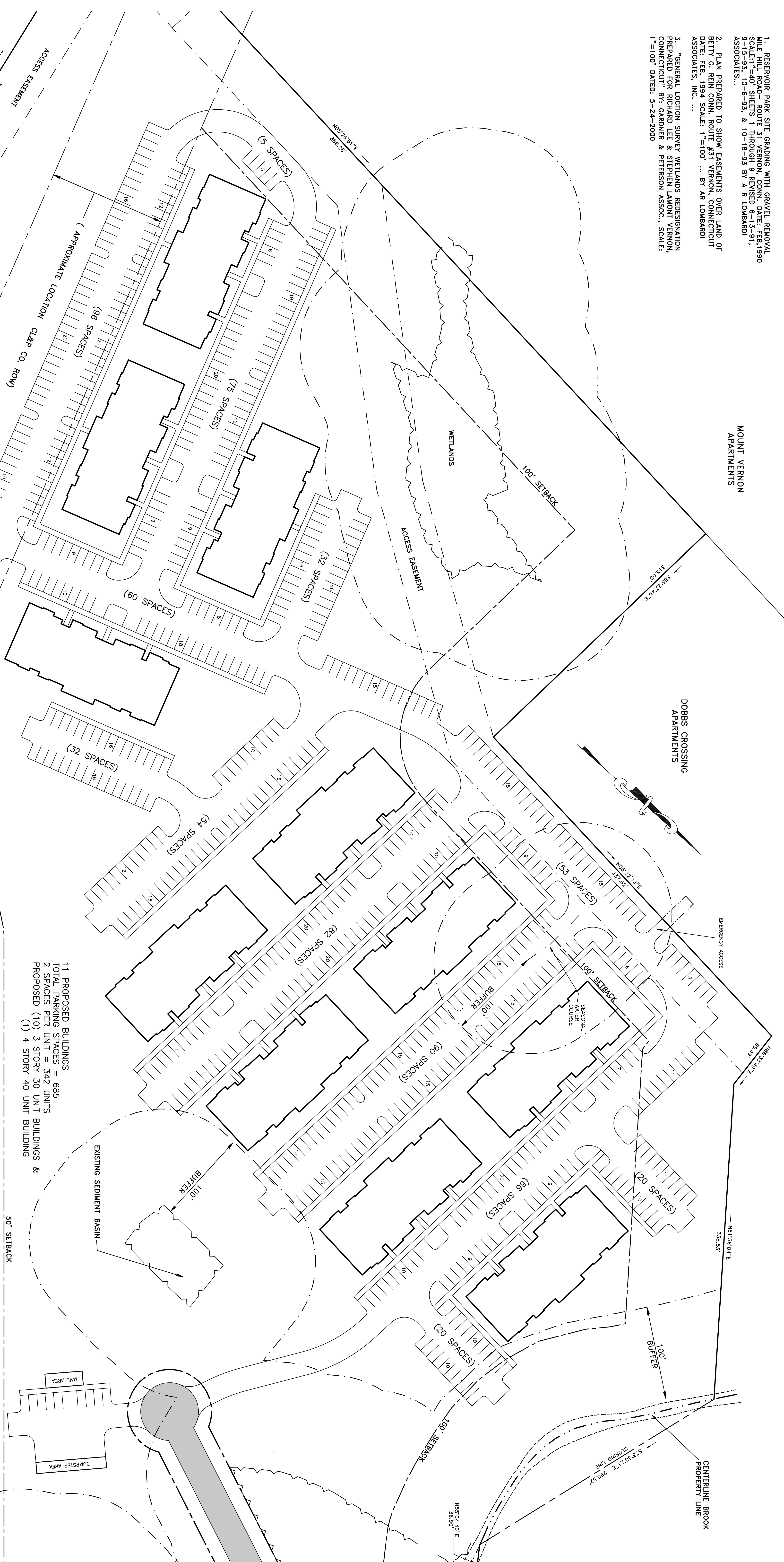


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 3. "GENERAL LOCATION SURVEY WETLANDS REDESIGNATION, CONNECTICUT" BY: GARDNER & PETERSON ASSOC., SCALE: 1"=100' DATED: 5-24-2000

MOUNT VERNON APARTMENTS

DOBBS CROSSING APARTMENTS

CENTRAINE BROOK PROPERTY LINE



- 11 PROPOSED BUILDINGS
 TOTAL PARKING SPACES = 685
 2 SPACES PER UNIT = 342 UNITS
 PROPOSED (10) 3 STORY 30 UNIT BUILDINGS &
 (1) 4 STORY 40 UNIT BUILDING

NOTES:

1. THIS SURVEY AND MAP HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THROUGH 20-300D-20. MINIMUM STANDARDS FOR SURVEYS AND MAPS REVISIONS OF THIS SURVEY AND MAPS AS ADOPTED BY THE CONNECTICUT SURVEYING BOARD SHALL APPLY TO THIS SURVEY AND MAPS.
2. THIS PLAN WAS PREPARED FROM RECORD RESEARCH. OTHER MAPS, BEING REFERENCED HEREON AND CONFORMS TO CLASS "D" CONSTRUED AS A PROPERTY/BOUNDARY SURVEY AND IS SUBJECT TO SUCH FACTS AS SAID SURVEYS MAY DISCLOSE.
3. HORIZONTAL DATUM BASED ON C.G.S.

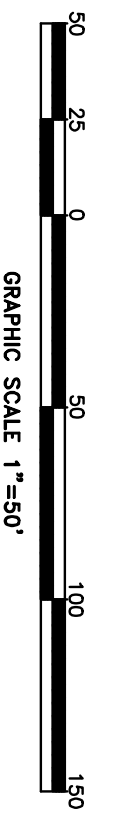
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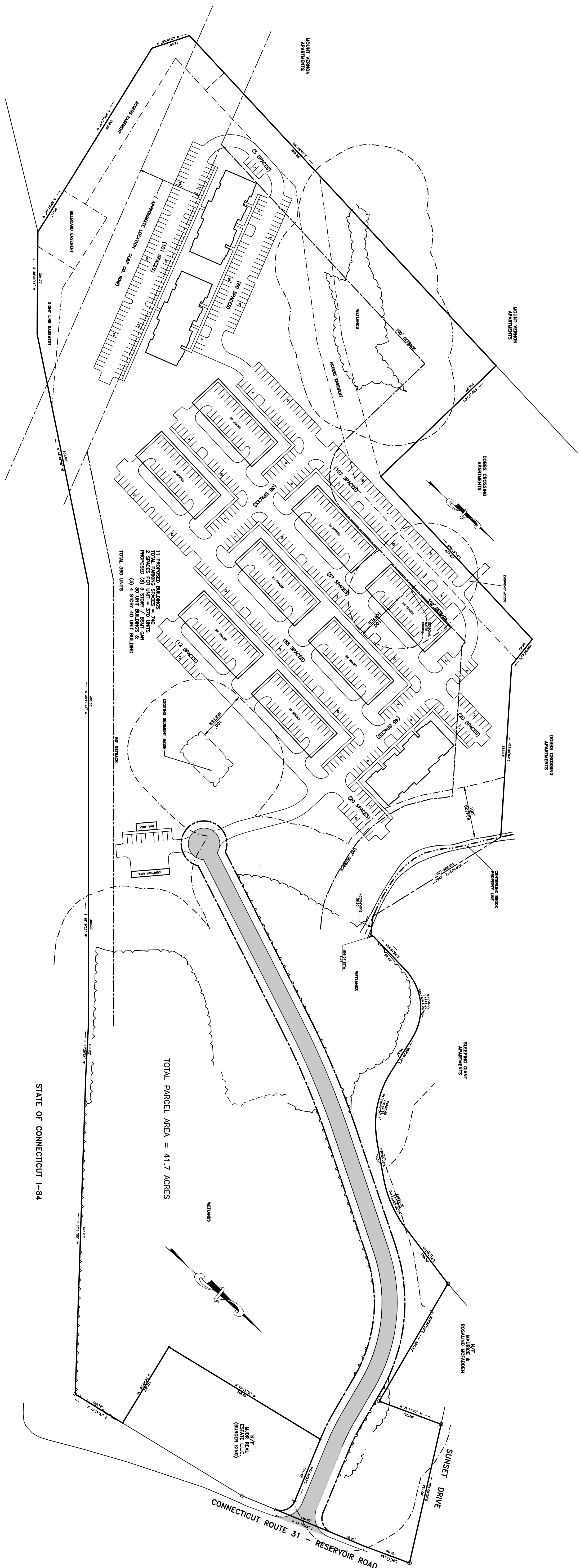
Kenneth R. Peterson
 KENNETH R. PETERSON
 REGISTRATION NO. LS 10839

COMPIATION PLAN
CONCEPTUAL LAYOUT #1
 PREPARED FOR
LBE & LAMONT REALTY
#65 RESERVOIR ROAD
VERNON, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC
 178 HARTFORD TURNPIKE
 TOLLAND, CONNECTICUT
 PROFESSIONAL ENGINEERS
 LAND SURVEYORS

REVISIONS	BY	SCALE	DATE	SHEET NO.	MAP NO.
	B.D.C.	1"=50'	4-12-2016	2 OF 2	9550-LEE3





STATE OF CONNECTICUT I-84

STATE OF CONNECTICUT I-84

TOTAL PARCEL AREA = 41.7 ACRES

11 PROPOSED BUILDINGS
 TOTAL FINISHED FLOOR AREA = 714,000 SQ. FT.
 PROPOSED (6) 3 STORY BUILDINGS AND
 (5) 20 STORY HIGH RISE BUILDINGS
 TOTAL 300 UNITS

- MAP REFERENCE:
1. RESERVOIR PARK SITE GRADING WITH GRAVEL REMOVAL, MILE HILL ROAD - ROUTE 31 VERNON, CONN. DATE: FEB. 1990 SCALE: 1"=40' SHEETS 1 THROUGH 9 REVISED 6-13-91, 9-15-93, 10-6-93, & 10-18-93 BY A R LOMBARDO ASSOCIATES, INC. ...
 2. PLAN PREPARED TO SHOW EASEMENTS OVER LAND OF ETTI REIT COMPANY, #31, VERNON, CONNECTICUT DATE: FEB. 1994 SCALE: 1"=100' ... BY AR LOMBARDO ASSOCIATES, INC. ...
 3. "GENERAL LOCATION SURVEY WETLANDS REDSIGNATION PREPARED FOR RICHARD LEE & STEPHEN LAMONT VERNON, CONNECTICUT" BY: GARDNER & PETERSON ASSOC., SCALE: 1"=100' DATED: 5-24-2000

- NOTES:
1. THIS SURVEY AND MAP HAVE BEEN PREPARED PURSUANT TO THE REQUIREMENTS OF THE CONSTRUCTION ACT AND THE STANDARDS THROUGH 20-3000-200 MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. THIS IS A COMPILATION SURVEY BASED ON A MAP REFERENCED HEREON AND CONFORMS TO CLASS "D" BASED ON A MAP REFERENCED HEREON AND CONFORMS TO CLASS "D" THIS PLAN WAS PREPARED FROM RECORD RESEARCH, OTHER MAPS, LIMITED FIELD MEASUREMENTS AND OTHER SOURCES. IT IS NOT TO BE CONSTRUED AS A PROPERTY/BOUNDARY SURVEY AND IS SUBJECT TO SUCH FACTS AS SAID SURVEYS MAY DISCLOSE.
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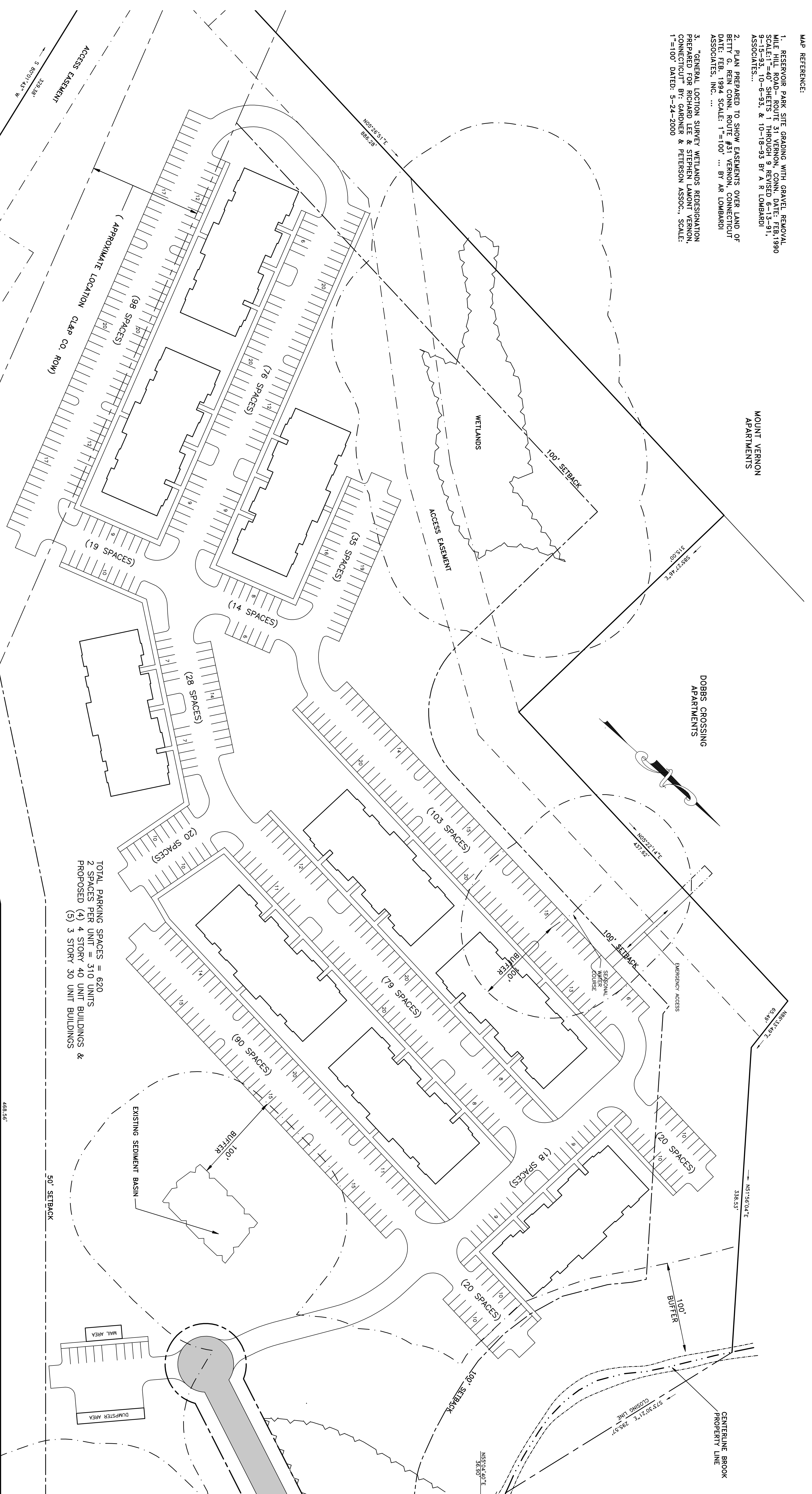
REVISIONS		BY		B.D.C.	
GARDNER & PETERSON ASSOCIATES, LLC		SCALE		1"=100'	
CONCEPTUAL LAYOUT #2		DATE		4-12-2016	
PREPARED FOR		SHEET NO.		1 OF 2	
LBE & LAMONT REALTY		LAND SURVEYORS		MAP NO.	
#65 RESERVOIR ROAD		PROFESSIONAL ENGINEERS		9550-LEES	
VERNON, CONNECTICUT		178 HARTFORD TURNPIKE			
		TOLLAND, CONNECTICUT			

- MAP REFERENCE:
1. RESERVOIR PARK SITE GRADING WITH GRAVEL REMOVAL MILE HILL ROAD - ROUTE 31 VERNON, CONN. DATE: FEB. 1990 SCALE: 1"=40' SHEETS 1 THROUGH 9 REVISED 6-13-91, 9-15-93, 10-6-93, & 10-18-93 BY A R LOMBARDI ASSOCIATES, INC. ...
 2. PLAN PREPARED TO SHOW EASEMENTS OVER LAND OF BETTY G. REIN CONN. ROUTE #31 VERNON, CONNECTICUT DATE: FEB. 1994 SCALE: 1"=100' ... BY AR LOMBARDI ASSOCIATES, INC. ...
 3. "GENERAL LOCATION SURVEY WETLANDS REDESIGNATION PREPARED FOR BILLARD JER & STEPHEN LAMONT VERNON, CONNECTICUT" BY GARDNER & PETERSON ASSOC., SCALE: 1"=100' DATED: 5-24-2000

MOUNT VERNON APARTMENTS

DOBBS CROSSING APARTMENTS

CENTRELINE BROOK PROPERTY LINE



TOTAL PARKING SPACES = 620
 2 SPACES PER UNIT = 310 UNITS
 PROPOSED (4) 4 STORY 40 UNIT BUILDINGS &
 (5) 3 STORY 30 UNIT BUILDINGS

NOTES:

1. THIS SURVEY AND MAP HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300a-1 THROUGH 20-300a-20, MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. THIS IS A COMPILATION SURVEY BASED ON A MAP REFERENCED HEREON AND CONFORMS TO CLASS "D" OF THE REGULATIONS OF THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS. THIS PLAN WAS PREPARED FROM RECORD RESEARCH, OTHER MAPS, LIMITED FIELD MEASUREMENTS AND OTHER SOURCES. IT IS NOT TO BE CONSIDERED AS A FINAL SURVEY AND SURVEYS MAY DISCLOSE SUCH FACTS AS SAID SURVEYS MAY DISCLOSE.
2. HORIZONTAL DATUM BASED ON C.G.S.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

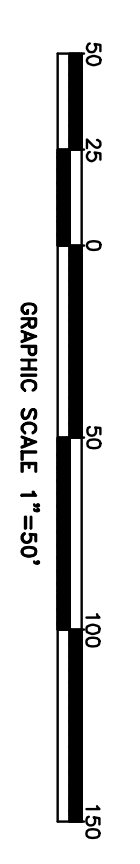
Kenneth R. Peterson
 KENNETH R. PETERSON
 LS 10839
 REGISTRATION NO.

COMPILATION PLAN
 CONCEPTUAL LAYOUT
 PREPARED FOR
LBE & LAMONT REALTY
 #65 RESERVOIR ROAD
 VERNON, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC

178 HARTFORD TURNPIKE
 TOLLAND, CONNECTICUT
 PROFESSIONAL ENGINEERS
 LAND SURVEYORS

REVISIONS	BY	SCALE	DATE	SHEET NO.	MAP NO.
	B.D.C.	1"=50'	4-12-2016	2 OF 2	9550-LEE1



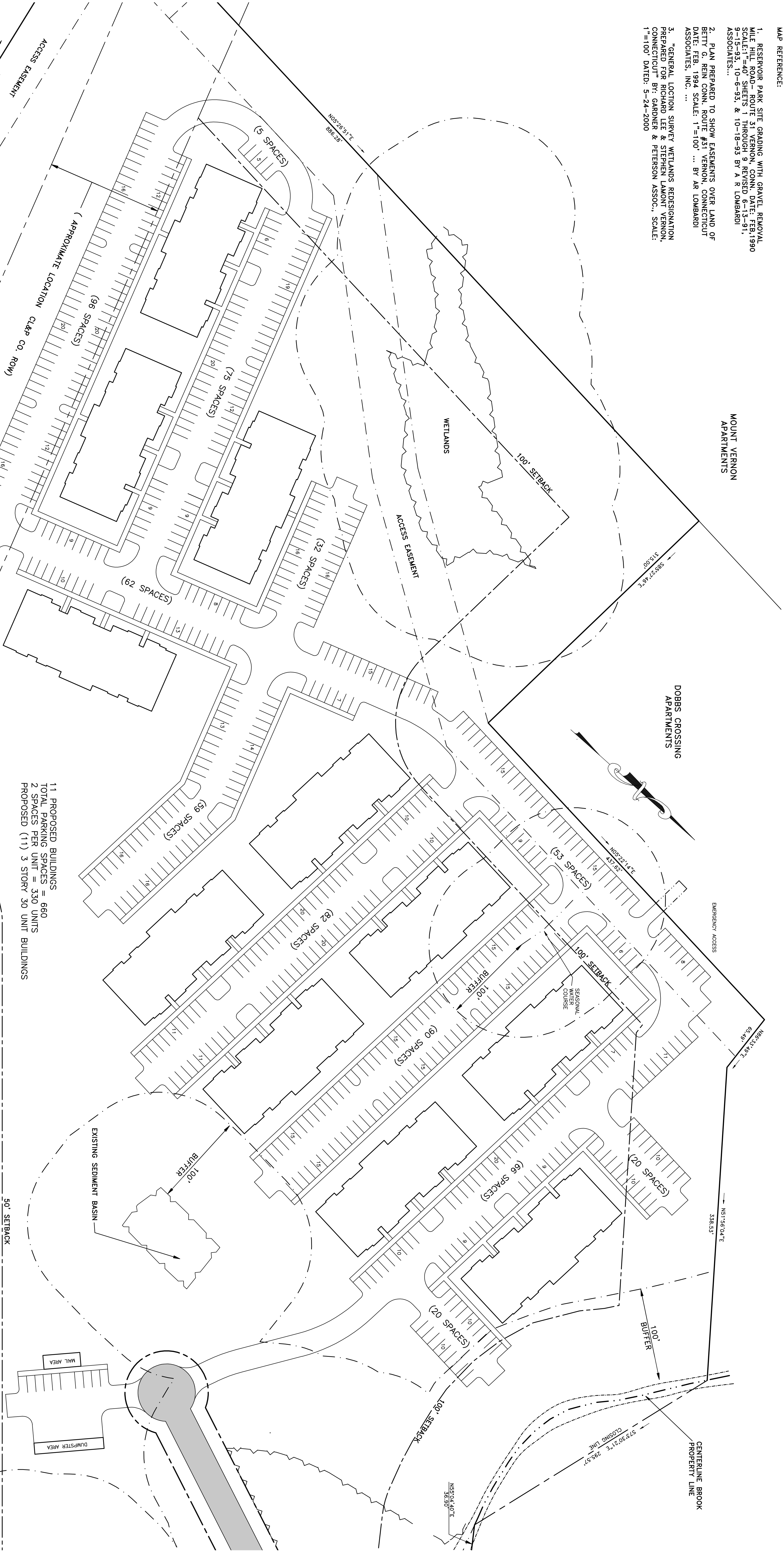
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MOUNT VERNON APARTMENTS

DOBBS CROSSING APARTMENTS

EMERGENCY ACCESS

CENTRELINE BROOK PROPERTY LINE



11 PROPOSED BUILDINGS
 TOTAL PARKING SPACES = 660
 2 SPACES PER UNIT = 330 UNITS
 PROPOSED (11) 3 STORY 30 UNIT BUILDINGS

SIGHT LINE EASEMENT

BILLBOARD EASEMENT

ACCESS EASEMENT
 APPROXIMATE LOCATION CL&P CO. ROW

400.00'
 S 48°19'23" W
 458.55'
 S 48°19'23" W
 503.02'
 S 56°45'28" W
 201.00'
 S 48°14'43" W
 50.00'
 S 88°01'43" W
 250.38'
 S 88°01'43" W
 250.38'

NOTES:

1. THIS SURVEY AND MAP HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300-1 THROUGH 20-300-20, MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. THIS IS A COMPILATION SURVEY BASED ON A MAP REFERENCED HEREON AND CONFORMS TO CLASS "D" LIMITED FIELD MEASUREMENTS AND OTHER SOURCES. OTHER MAPS, SURVEYS, RECORDS AND DOCUMENTS REFERRED TO AND IS SUBJECT TO SUCH FACTS AS SAID SURVEYS MAY DISCLOSE.
2. HORIZONTAL DATUM BASED ON C.G.S.

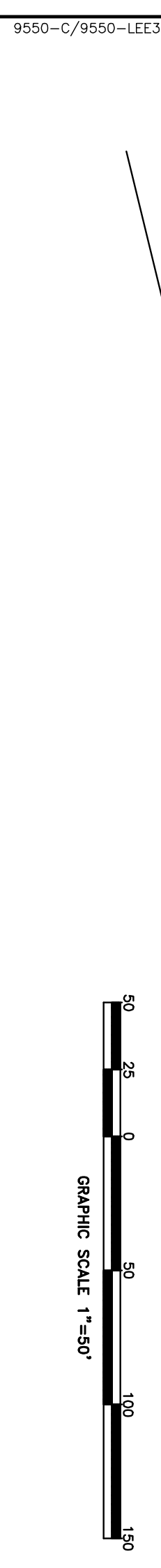
TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Kenneth R. Peterson
 KENNETH R. PETERSON
 LS 10839
 REGISTRATION NO.

COMPILED PLAN
CONCEPTUAL LAYOUT
 PREPARED FOR

LBE & LAMONT REALTY
 #65 RESERVOIR ROAD
 VERNON, CONNECTICUT
 GARDNER & PETERSON ASSOCIATES, LLC

REVISIONS	BY	SCALE	DATE	SHEET NO.	MAP NO.
	B.D.C.	1"=50'	4-12-2016	2 OF 2	9550-LEE2





- Soil & Wetland Studies
- Ecology • Application Reviews
- Listed Species Surveys • GPS
- Environmental Planning & Management
- Ecological Restoration & Habitat Mitigation
- Expert Testimony • Permitting

December 3, 2023

VIA E-MAIL

Mr. Ron Lyman, CCIM
Lyman Real Estate
1160 Boston Post Road
Westbrook, CT 06498

Re: PRELIMINARY FEASIBILITY STUDY

55 Reservoir Road, Vernon, CT

REMA Job No.: 23-2660-VER58

Dear Mr. Lyman:

At your request, on April 28th, and again on September 22nd, 2023, REMA ECOLOGICAL SERVICES, LLC (REMA), visited the above-referenced property (“the site,” “the study area,”) for the purpose of evaluating regulated resources (i.e., wetlands and/or watercourses) pursuant to the Connecticut General Statutes (Sec. 22a-36, ff.), as well as their potential effect upon any future development project at the site. Prior to our first site visit, we reviewed pertinent on-line, secondary-source data, including the Connecticut soil survey, Town of Vernon GIS data, and both archival and recent aerial photography. We also reviewed plans prepared for the site in the past, including one prepared by VHB, Inc., depicting the delineated wetlands and watercourses.

1.0 Existing Conditions & Past Land Uses

The subject site, which encompasses roughly 40.52 acres, is located to the west of Reservoir Road, and immediately to the northwest of the Interstate 84 transportation corridor, at Interchange 67, in Vernon, CT. In its present state the site is characterized predominately by post-disturbance vegetation throughout most of its extent (i.e., meadows, scrub shrub/vine tangles, young ruderal woods), except for most of the prominent wetland within its



northeastern section, as well as second-growth forest its far southwestern section and other limited areas along its northern boundary.

Review of aerial photographs reveals that the site was in a mostly undisturbed condition until the mid-1970s, coinciding with the reconstruction of Interstate 84 from East Hartford to Sturbridge, MA. The 1986 aerial reveals that the site was annexed and had been excavated to provide sand and gravel materials for the Interstate reconstruction. Even after the Interstate was completed, earth materials processing and extraction continued, especially in the 1990s and the early 2000s. For this latter use, a roadway was constructed providing access from Reservoir Road.

In 2003 all of the wetlands at the site were delineated and surveyed and a commercial application was brought before the Town land use commissions, which ultimately did not attain the necessary permits. At the time, the five (5) delineated wetland areas were officially designated and still appear on the Town of Vernon GIS mapping.

More recently, that is, in 2022, three additional isolated wetlands were delineated on the subject site. However, all three are the result of earthwork that took place in 2012 and 2013 in the far southwestern upland section of the site. This work, which was not completed, trapped surface runoff in depressional areas, resulting in the creation of these three isolated wetland pockets.

2.0 Development Potential

From a wetlands permitting perspective, the southwestern half of the site has potential for development per the Planned Development Zone (PDZ): I-84 Exit #67. Depending on the type of development, the access roadway may have to be improved, necessitating some limited wetland encroachment. The three more recently delineated isolated wetlands, resulting from earthwork and grading, would not likely be an impediment to development, as they are man-made and of low to very low functional quality.

The remaining “original” wetlands (circa 2003), with the exception of one, small, isolated wetland close to the access roadway cul-de-sac, also man-made, would not be impacted by development. This small wetland was constructed originally as a sedimentation/detention basin and could be relocated. An isolated wetland in the far western wooded hillside, which is an active vernal pool habitat, would not be impacted as long as most of its surrounding wooded uplands remain intact.



We should note that none of the four isolated wetlands that could potentially be impacted by proposed development are jurisdictional federal wetlands that would require permitting through the US Army Corps of Engineers and the Connecticut Department of Energy and Environmental Protection (CT DEEP) per Section 404 of the Clean Water Act (CWA). In fact, due to the recent ruling by the Supreme Court of the United States, it is quite possible that none of the site's wetlands would be considered jurisdictional.

Please feel free to contact us if you have any questions.

Respectfully submitted,

REMA ECOLOGICAL SERVICES, LLC

A handwritten signature in black ink, appearing to read "George T. Logan", with a long horizontal flourish extending to the right.

George T. Logan, MS, PWS, CSE
Certified Professional Wetland Scientist
Registered Soil Scientist