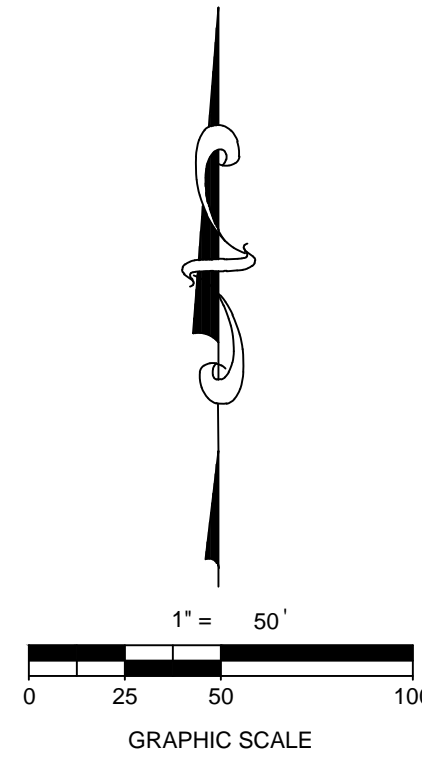


**LOCATION MAP:**

NOT TO SCALE



# BOUNDARY SURVEY

**LEGAL DESCRIPTION:**

LEGAL DESCRIPTION AS FURNISHED:

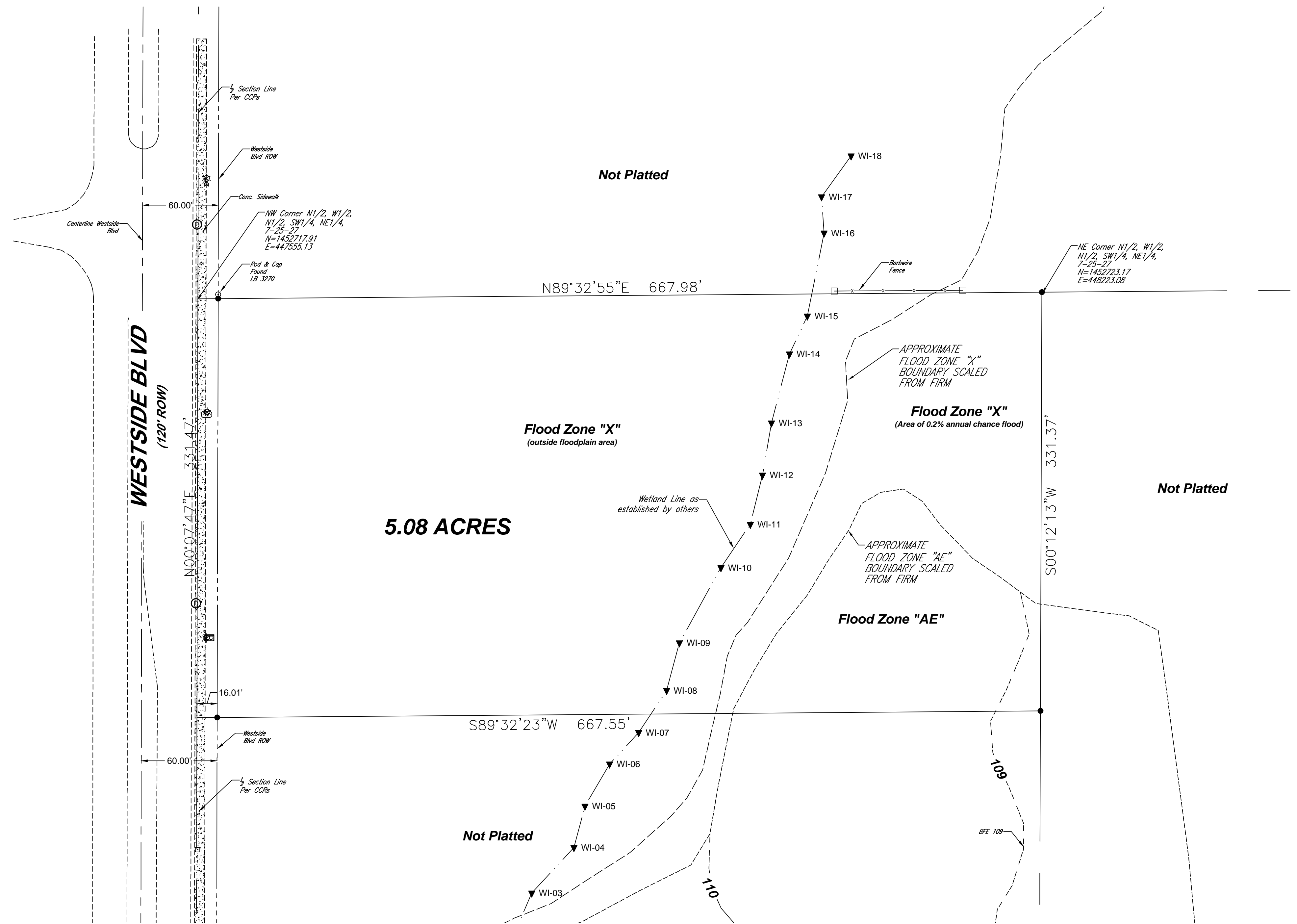
NORTH 1/2 OF THE WEST HALF OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 7, TOWNSHIP 25 SOUTH, RANGE 27 EAST, OSCEOLA COUNTY, FLORIDA, SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD. A/KA/ TRACT 17, UNRECORDED LAKE DAVENPORT VILLAGE, CONSISTING OF 5 ACRES

**SURVEYOR'S NOTES**

- BEARINGS SHOWN HEREON ARE BASED FLORIDA STATE PLANE COORDINATES, EAST ZONE WITH A REFERENCE BEARING BEING THE NORTH LINE OF THE SUBJECT PROPERTY AS BEING N89°32'55"E.
- THERE MAY BE ENVIRONMENTAL ISSUES AND/OR OTHER MATTERS REGULATED BY VARIOUS DEPARTMENTS OF FEDERAL, STATE OR LOCAL GOVERNMENTS AFFECTING THE SUBJECT PROPERTY NOT SHOWN ON THIS SURVEY. NO TITLE REPORT FURNISHED TO THIS OFFICE.
- THIS SURVEY WAS PERFORMED FOR THE SOLE AND EXCLUSIVE BENEFIT OF THE ENTITIES LISTED HEREON AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL WHOMSOEVER.
- THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- UNDERGROUND UTILITIES, FOUNDATIONS AND IMPROVEMENTS WERE NOT LOCATED, UNLESS SHOWN HEREON, AND WERE OBSERVED BY FIELD EVIDENCE.
- CONTAINS 5.08 ACRES, MORE OR LESS.
- LAST DATE OF FIELD SURVEY: 12-28-22.
- THERE IS NOT AN ASSIGNED ADDRESS FOR THE SUBJECT PROPERTY.
- THE SUBJECT PROPERTY LIES WITHIN FLOOD ZONE "X" (Areas Determined to be Outside the 0.2% annual chance floodplain), ZONE "X" (Areas of 0.2% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood), & ZONE "A-E" ) PER FEMA FLOOD MAP NUMBER 12097C0010G WITH AN EFFECTIVE DATE OF 06/18/2013.
- PARCEL BOUNDARY DETERMINED BY STATE PLANE COORDINATES OF CERTIFIED CORNER RECORDS: 056140 (N=1451414.711 E=450217.125), 044482 (N=1454043.773 E=447558.129), 056139 (N=1454063.210,450236.799), & 056141 (N=1448740.331 E=447546.114).
- THE WETLAND LINE SHOWN HEREON WAS ESTABLISHED BY OTHERS.

**LEGEND**

- SET 5/8" IRC LB #8052
- FOUND MONUMENTATION AS NOTED
- FOUND MONUMENTATION AS NOTED
- ROW RIGHT-OF-WAY
- ▼ WI-4 WETLAND FLAG
- CCRS CERTIFIED CORNER RECORD(S)
- LB LICENSED BUSINESS
- FIRM FEDERAL INSURANCE RATE MAP
- N NORTHING
- E EASTING
- BFE BASE FLOOD ELEVATION
- ⊗ WATER VALVE
- ⊙ LIGHT POLE
- × FENCE
- ⊕ POWER POLE
- ⊙ DRAINAGE MANHOLE
- STORM INLET
- ← GUY ANCHOR
- ⊞ ELECTRICAL CABINET
- ⊞ UNKNOWN UTILITY
- ⊞ CABLE TELEVISION BOX
- ⊞ CENTERLINE

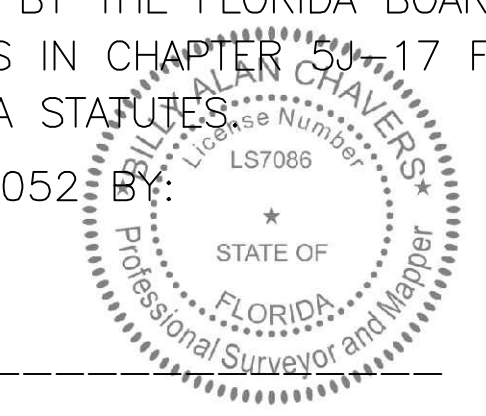


I HEREBY CERTIFY THIS SURVEY TO BE TRUE & CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND COMPLIES IN FORM WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 39-17 F.A.C. PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

FOR THE LICENSED BUSINESS NO. LB8052

*Billy Alan Chavers*

BILLY ALAN CHAVERS- PSM #LS 7086



**Studio Navone Architecture**

**DALE STOCKSTILL & ASSOCIATES, P.A.** 801 International Pkwy. Ste. 500 Lake Mary, FL 32746 407-926-0333

SURVEYED BY: CC	DATE: 12/22/22	DRAWN BY: BAC	DATE: 1-2-23
CHECKED BY: JDS	DATE: 1/4/23	Rev:	
PROJECT NO. 20230025			
DRAWING NO. WESTSIDE BLVD.DWG			