

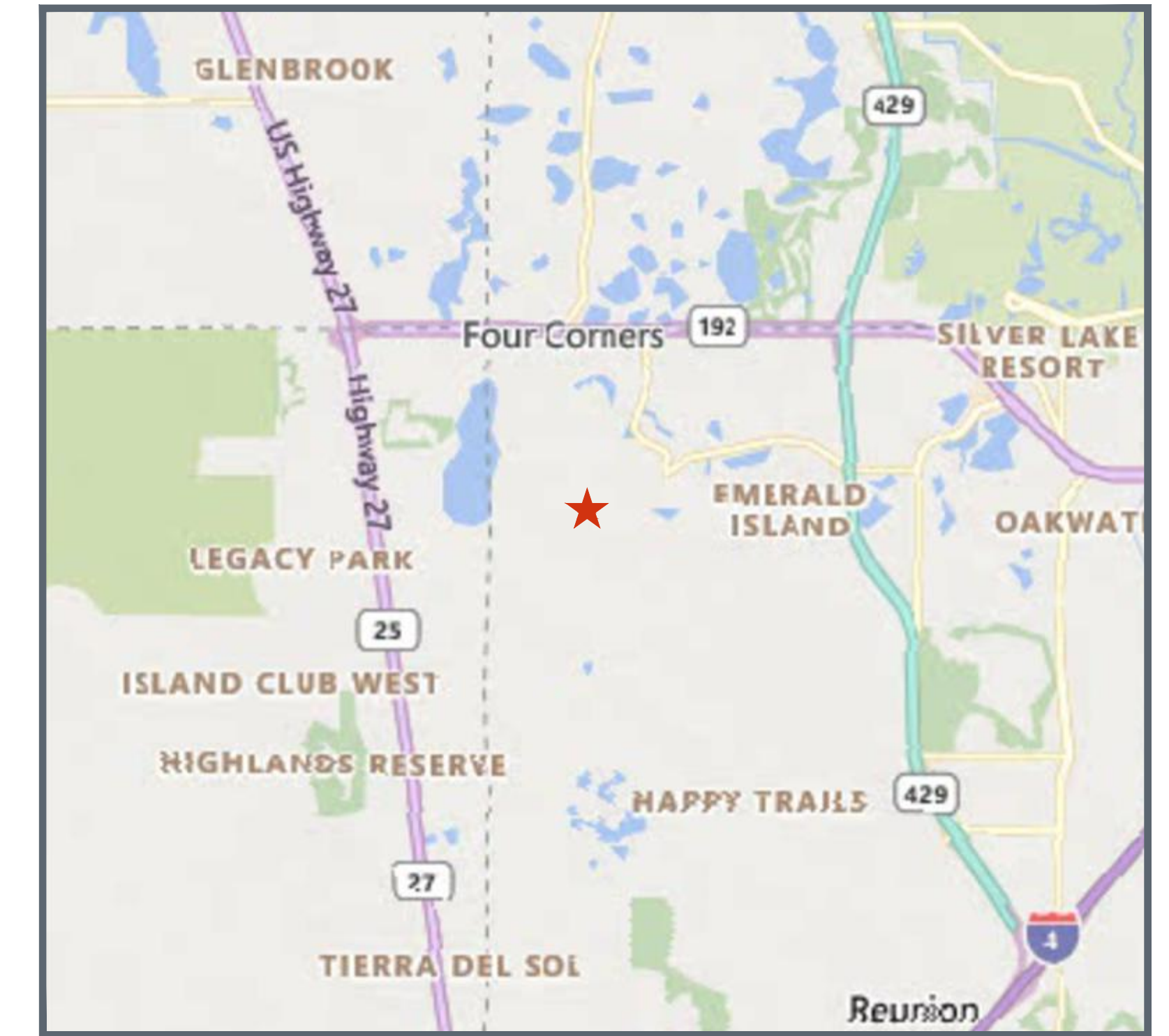
CONSTRUCTION PLANS FOR: HAUT DEVELOPMENT, LLC WESTSIDE BLVD. APARTMENTS

WESTSIDE BLVD, KISSIMMEE, FLORIDA
SECTION 7, TOWNSHIP 25 SOUTH, RANGE 27 EAST



INDEX

C-00	COVER SHEET
C-01	GENERAL NOTES
C-02	EXISTING CONDITIONS
C-03	EROSION CONTROL PLAN
C-04	OVERALL LAYOUT
C-14	SITE PLAN
C-05	GRADING PLAN
C-06	UTILITY PLAN
C-16	UTILITY PLAN & PROFILES
C-07	VEHICLE PATH
C-08	DETAILS



UTILITY PROVIDERS:

ELECTRIC:
PROGRESS ENERGY
199 EAST MOUNTAIN LAKE
CUTOFF ROAD
LAKW WALES, FL 33898-7594
(863) 678.4431

WATER:
TOHO WATER AUTHORITY
951 MLK BLVD.
KISSIMMEE, FL 34741
(407) 944.5000

ENGINEERING:
OSCEOLA COUNTY
ENGINEERING DEPT.
1 COURTHOUSE SQUARE,
SUITE 3100
KISSIMMEE, FL 34741
(407) 742.0662

COMMUNICATIONS:
CONNEXION TECHNOLOGIES
111 CORNING ROAD, SUITE 250
CARY, NORTH CAROLINA, 27518
(919) 535.7301

SEWER:
KISSIMMEE UTILITY AUTHORITY
P.O. BOX 423219
KISSIMMEE, FL 34742-2148
(407) 933.7777

CABLE/FIBER:
CENTURY LINK
33 N. MAIN STREET
WINTER GARDEN, FL 34787
(407) 814.5344

CABLE/FIBER:
BRIGHT HOUSE NETWORKS, LLC
3767 ALL AMERICAN BLVD.
ORLANDO, FL 32810
(407) 532.8509 FAX: (407) 532.8544

PHONE:
ORLANDO TELEPHONE
COMPANY, INC
4558 SW 35TH DTREET
ORLANDO, FL 32811
(727) 235.4362 FAX:(407) 996.8901

CABLE/FIBER:
VERIZON FLORIDA, INC
1909 US HWY. 301 N
TAMPA, FL 33619
(813) 627.8343

COMMUNICATIONS:
COMMUNICATION
CONSTRUCTION SERVICES, INC.
4400 PGA BLVD. SUITE 902
PALM BEACH GARDENS, FL 33410
(561) 775.1208 FAX: (561) 775.7877

ENGINEER:
CHASTAIN SKILLMAN, INC.
4301 VINELAND RD STE E-7
ORLANDO, FL 32811
WWW.CHASTAINSKILLMAN.COM
(407) 919.6620

SURVEYOR:
CHASTAIN SKILLMAN, INC.
4301 VINELAND RD STE E-7
ORLANDO, FL 32811
WWW.CHASTAINSKILLMAN.COM
(407) 919.6620

DEVELOPER:
NAZARENO
HAUT DEVELOPMENT, LLC
20801 BISCAYNE BLVD. SUITE 403
AVENTURE, FL 33180
(407) 341.4035

LANDSCAPE ARCHITECT:
CATALYST DESIGN DESIGN
GROUP
941 W. MORSE BLVD., SUITE 100
WINTER PARK, FL 32789
CATALYST-DG.COM
(689) 219.8900

ARCHITECT:
NAZARENO
HAUT DEVELOPMENT, LLC
20801 BISCAYNE BLVD. SUITE 403
AVENTURE, FL 33180
(407) 341.4035

GEOTECHNICAL ENGINEER:
PURA VIDA ENGINEERING SVCS.
6457 HAZELTINE NATIONAL
DRIVE, SUITE 150A
ORLANDO, FL 32822
(407) 203.3804

ENVIRONMENTAL CONSULTANT:
PURA VIDA ENGINEERING SVCS.
6457 HAZELTINE NATIONAL
DRIVE, SUITE 150A
ORLANDO, FL 32822
(407) 203.3804



CHASTAIN-SKILLMAN (863) 646-1402 REG. NO 262
205 EAST ORANGE STREET, SUITE #110, LAKELAND, FLORIDA 33801-4611

60% PLANS

This item has been digitally signed and sealed by Leonard E. Arnold, Jr. on the date adjacent to seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

SunShine811
Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.
Check positive response codes before you dig!

NUMBER	DATE	DESCRIPTION
P-0	1/2022	ISSUED FOR REVIEW

"RECORD DRAWING" INFORMATION REQUIRED BY CONTRACTOR:

GENERAL

THE CONTRACTOR IS REQUIRED TO PROVIDE "RECORD DRAWING" INFORMATION TO THE ENGINEER. THE TYPE OF INFORMATION IS DETAILED BELOW. FOR HORIZONTAL LOCATIONS, THE INTENT IS TO LOCATE ALL UTILITY FEATURES WITH AT LEAST TWO MEASUREMENTS FROM DIFFERENT ANGLES AND REFERENCE POINTS. IT IS PREFERRED FOR ALL DISTANCES TO BE LESS THAN 100 FEET. IT IS IMPORTANT THAT THE RECORD DRAWING INFORMATION BE PROVIDED ON A TIMELY BASIS. OFTEN, AS MANY AS THREE SEPARATE RECORD DRAWING SUBMITTALS TO THE ENGINEER ARE REQUIRED: ONE FOR WATER, ONE FOR WASTEWATER, AND ONE FOR STORM WATER. THE TIMING IS DETERMINED BY THE OWNER. FURTHER, INTERIM RELEASES OF UTILITIES ARE OFTEN NECESSARY, EACH REQUIRING A SEPARATE RECORD DRAWING SUBMITTAL TO THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE AND PROVIDE THE INFORMATION TO THE ENGINEER ON A TIMELY BASIS. EVEN IF CHASTAIN-SKILLMAN IS EMPLOYED TO SURVEY THE DATA, THE ENGINEER RESERVES THE RIGHT TO REQUEST INFORMATION NOT INCLUDED HEREIN WITHOUT RESPONSIBILITY FOR COST.

CERTIFICATION & SUBMITTAL FOR SURVEYOR PORTION:

SIX SETS OF THE PLANS SHALL BE SUBMITTED WITH EACH PAGE DATED, SIGNED, AND SEALED BY THE LICENSED SURVEYOR UNDER THE STATEMENT "I HEREBY CERTIFY THE RECORD DRAWING ELEVATIONS AND LOCATIONS SHOWN AND ADDED TO THESE PLANS WERE OBSERVED AND MEASURED BY ME FOR A SPECIFIC PURPOSE TO PROVIDE RECORD DRAWING INFORMATION, IDENTIFIED BY "RD". IN ADDITION, AN ELECTRONIC FILE IN AUTOCAD FORMAT OF THE RECORD DRAWING DRAWINGS SHALL BE SUBMITTED. THE SURVEY INFORMATION SHALL BE DRAFTED ONTO THE LATEST DRAWING OBTAINED FROM THE CHASTAIN-SKILLMAN ENGINEER. ALL DRAWING SCALES, TEXT SIZES, LINE WIDTHS, LINE STYLES, SHEET LAYOUTS AND PRESENTATION METHODS INCLUDED IN THE ORIGINAL FILE MUST BE MAINTAINED. IF PROFILE VIEWS ARE INCLUDED IN THE DRAWING SET, THEY MUST BE UPDATED WITH THE RECORD DRAWING INFORMATION.

FOR CONTRACTOR PORTION:

ONE SET OF THE PLANS SHALL BE SUBMITTED WITH EACH PAGE DATED AND SIGNED BY THE CONTRACTOR UNDER THE STATEMENT "I HEREBY CERTIFY THE RECORD DRAWING ELEVATIONS AND LOCATIONS SHOWN AND ADDED TO THESE PLANS WERE OBSERVED AND MEASURED BY ME FOR A SPECIFIC PURPOSE TO PROVIDE RECORD DRAWING INFORMATION, IDENTIFIED BY "RD". THE SURVEY INFORMATION SHALL BE HAND-ANNOTATED ONTO THE LATEST CONSTRUCTION DRAWING OBTAINED FROM THE CHASTAIN-SKILLMAN. IF PROFILE VIEWS ARE INCLUDED IN THE DRAWING SET, THEY MUST BE UPDATED WITH THE RECORD DRAWING INFORMATION.

CSI SURVEY SCHEDULING

ANY PROFESSIONAL LAND SURVEYOR AND MAPPER REGISTERED IN FLORIDA MAY DO THE WORK REQUIRED OF A REGISTERED SURVEYOR. HOWEVER, IF CHASTAIN-SKILLMAN IS CONTRACTED TO PROVIDE CONSTRUCTION STAKING/LAYOUT (WHERE SURVEY CONTROL POINTS AND ELEVATIONS ARE ALREADY SET AND FIELD PERSONNEL ARE FAMILIAR WITH THE PROJECT), THEN 2 BUSINESS DAYS NOTICE MUST BE GIVEN TO CHASTAIN-SKILLMAN FOR THE MEASUREMENT OF "RECORD DRAWING" DATA. IF CHASTAIN-SKILLMAN IS CONTRACTED TO PROVIDE ONLY THE RECORD DRAWING SURVEY, THEN CHASTAIN-SKILLMAN SHOULD BE GIVEN 5 BUSINESS DAYS NOTICE.

THE FOLLOWING SHALL BE PROVIDED BY A LAND SURVEYOR LICENSED IN THE STATE OF FLORIDA (PSM): WATER:

- ELEVATION OF THE WATER MAINS WHERE CROSSINGS WITH SEWER OR STORM WATER LINES OCCUR.
- LOCATION OF ALL MAINLINE VALVES, BACKFLOW PREVENTERS, FITTINGS/ELBOWS AND AIR RELEASE VALVES.

WASTEWATER:

- ALL ELEVATIONS OF SEWER INVERTS IN ALL MANHOLES, RIM ELEVATIONS OF MANHOLES, AND LOCATION OF MANHOLES SHALL BE PROVIDED.
- PUMP STATION TOP OF SLAB, INFLUENT INVERT ELEVATION, BOTTOM INVERT OF WET WELL.
- LOCATIONS OF ALL MAINLINE VALVES, AIR RELEASE VALVES, ELBOWS/FITTINGS, AND CHECK VALVES.

STORM WATER

- CONTROL STRUCTURE ELEVATIONS (GRATE, WEIR, WIDTH, AND CREST ELEVATION, BOTTOM ELEVATION, VEE NOTCH DIMENSIONS, ORIFICE DIAMETER AND INVERT ELEVATION, OVERFLOW ELEVATION, BLEED-DOWN ORIFICE SHAPE, SIZE, AND INVERT ELEVATION, TOP, SUMMER DIMENSIONS AND ELEVATION, UNDERDRAIN DIMENSIONS, ETC.).
- ALL INVERT ELEVATIONS, THE RIM/TOP OF GRATE ELEVATIONS OF DRAINAGE STRUCTURES AND THE FLOW LINE OF EACH PIPE.
- THE DIMENSIONS ACROSS THE POND BOTTOM (LENGTH AND WIDTH) SHALL BE PROVIDED.
- THE INVERT ELEVATION OF STORM PIPES AT MITERED END SECTIONS SHALL BE PROVIDED.
- PROVIDE TYPICAL SPOT ELEVATIONS WITHIN THE PROJECT SITE (I.E., PAVEMENT SHOTS, TOP OF CURB, ETC.).
- FOR EACH STORM WATER RETENTION/DETENTION POND, AT LEAST FOUR SPOT ELEVATION SHOTS AT THE BASE OF THE POND AND AT LEAST FOUR SPOT ELEVATION SHOTS AT THE TOP OF BANK ALONG WITH THE COORDINATES OF EACH POINT OR DIMENSIONS TO EACH POINT. WHERE PONDS ARE GREATER THAN 50 FEET IN ANY DIMENSION PROVIDE INTERMEDIATE POINTS AT NO GREATER SEPARATION THAN 50 FEET. DATA IS TO BE SHOWN IN BOTH PLAN AND SECTION VIEWS.
- FLOW LINE ELEVATION ON ALL DITCH BREAKS (VERTICAL AND HORIZONTAL).
- WHERE THE STORM WATER SEPARATION IS CALLED OUT ON THE PLANS (BE IT PLAN OR PROFILE) OR ANY TIME THE PROPOSED SEPARATION IS LESS THAN 18 INCHES, THE SEPARATION SHALL BE DETERMINED BY THE REGISTERED SURVEYOR. THESE ELEVATIONS SHALL BE TAKEN AT THE CROSSING OR BY CALCULATING FROM THE NEAREST STORM STRUCTURES.

PAVEMENT:

- ROADWAY CENTERLINE PROFILE 100-FOOT MAXIMUM INTERVAL.
 - ROADWAY CROSS SECTIONS 200-FOOT MAXIMUM INTERVAL.
- THE FOLLOWING INFORMATION SHALL BE PROVIDED BY A LAND SURVEYOR OR BY A LAND SURVEYOR NOT NECESSARILY LICENSED IN THE STATE OF FLORIDA: WATER:

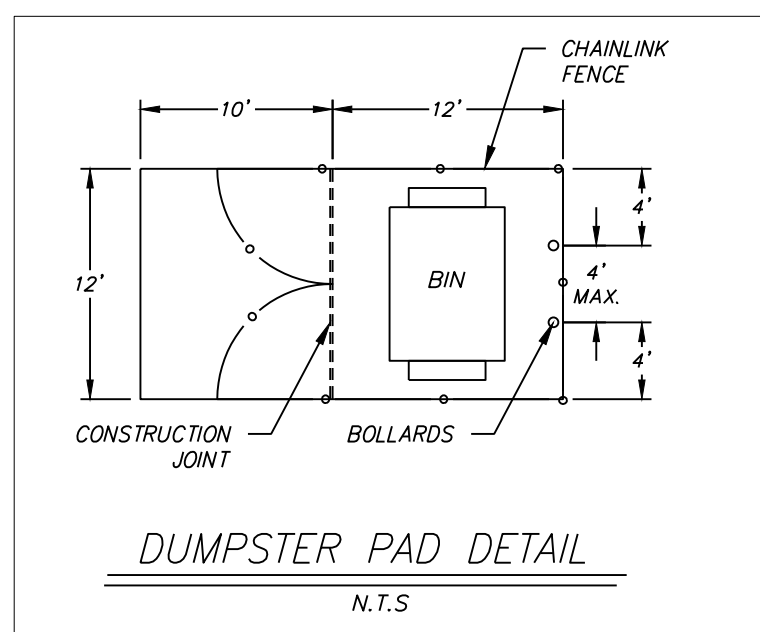
- TYPICAL MEASUREMENTS BETWEEN EDGE OF PAVEMENT OR OTHER ABOVE-GROUND, PERMANENT FEATURES ARE TO BE PROVIDED FOR ALL WATER MAINS.
- LOCATION OF WATER SERVICE VALVES AS MEASURED FROM TWO POINTS (I.E., EDGE OF PAVEMENT AND BUILDING CORNER--OR PROPERTY LINE FOR RESIDENCES).
- TWO DISTANCES FROM PERMANENT, ABOVE-GROUND FEATURES TO MAINLINE VALVES, BACKFLOW PREVENTERS, FITTINGS/ELBOWS AND AIR RELEASE VALVES SHOWING
- MEASURED DISTANCES FROM FITTINGS TO THE FIRST UNRESTRAINED PIPE JOINT WHENEVER RESTRAINTS ARE CALLED OUT ON THE PLANS.
- THE DEPTH FROM THE TOP OF THE VALVE BOX COVER TO THE ACTIVATION NUT (SHOULD BE NOT MORE THAN 6 FEET).

WASTEWATER:

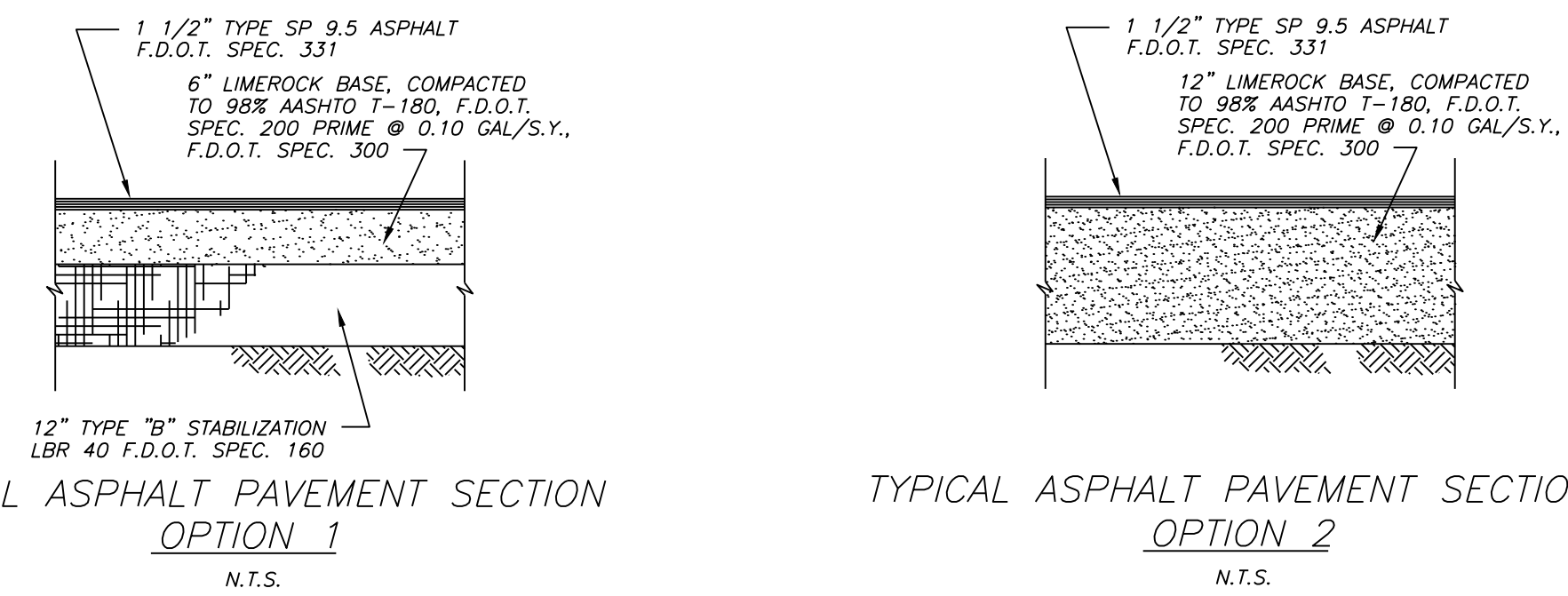
- TYPICAL MEASUREMENTS BETWEEN EDGE OF PAVEMENT OR OTHER ABOVE-GROUND, PERMANENT FEATURES ARE TO BE PROVIDED (FORCEMAINS ONLY).
- MEASURED DISTANCES FROM FITTINGS TO THE FIRST UNRESTRAINED PIPE JOINT WHENEVER RESTRAINTS ARE CALLED OUT ON THE PLANS (FORCEMAINS GREATER THAN 2 INCHES IN DIAMETER ONLY).
- LOCATION OF SEWER CLEAN-OUTS AS MEASURED FROM TWO POINTS (I.E., EDGE OF PAVEMENT AND BUILDING CORNER--OR PROPERTY LINE FOR RESIDENCES).
- THE DISTANCE BETWEEN FLOAT ELEVATIONS AND THE STATION TOP (MEASURED AT TOP OF THE FLOAT).
- FOR CITY STATIONS, THE GEOMETRY OF ALL ABOVE-GROUND FEATURES WITHIN THE CITY-CONTROLLED AREA, TWO DISTANCES FROM PERMANENT, ABOVE-GROUND FEATURES TO ALL MAINLINE VALVES, AIR RELEASE VALVES, ELBOWS/FITTINGS, AND CHECK VALVES.

DEWATERING NOTES:

DEWATERING MAY BE REQUIRED FOR EXCAVATION OF THE RETENTION AREAS AND COULD BE NEEDED FOR INSTALLATION OF PORTIONS OF THE UNDERGROUND UTILITIES. DEWATERING SHALL TYPICALLY INCLUDE THE USE OF SHAP PUMPS AND/OR SHALLOW WELL POINTS. WATER SHALL BE PUMPED TO AN ON-SITE SEDIMENTATION SUMP, FULLY ENCLOSED WITH STAKED HAYBALES OR A DOUBLE RING OF STAKED SILT SCREEN. MINOR DEWATERING ACTIVITIES SHOULD NOT CREATE A SURFACE DISCHARGE FROM THE PROJECT AREA. SHOULD DISCHARGE OCCUR, THE CONTRACTOR SHALL ENSURE THAT IT MEETS STATE WATER QUALITY STANDARDS.

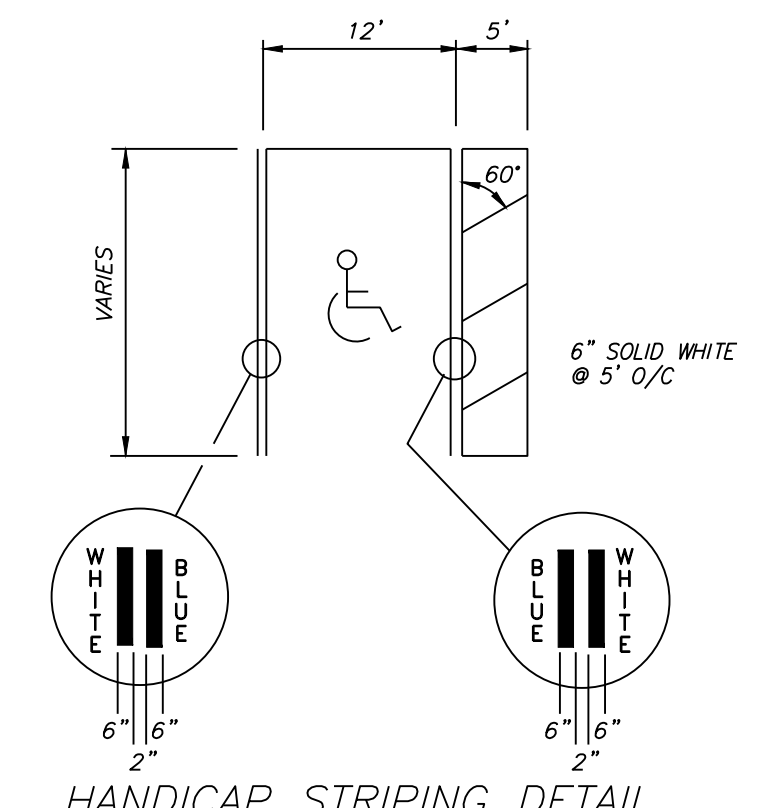


DUMPSTER PAD DETAIL
N.T.S.

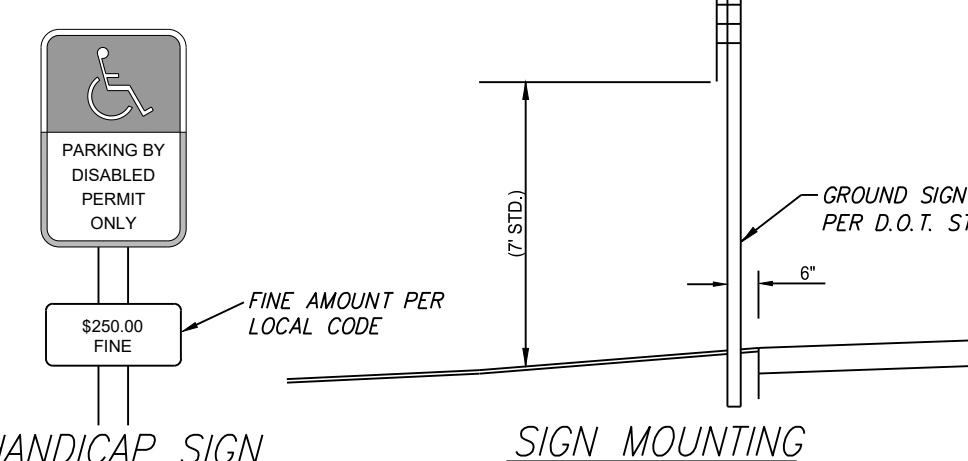


TYPICAL ASPHALT PAVEMENT SECTION OPTION 1
N.T.S.

TYPICAL ASPHALT PAVEMENT SECTION OPTION 2
N.T.S.



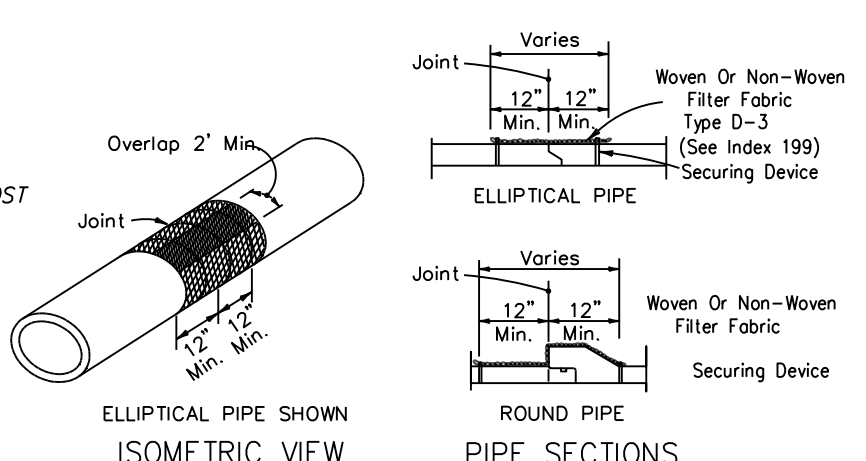
HANDICAP STRIPING DETAIL
N.T.S.



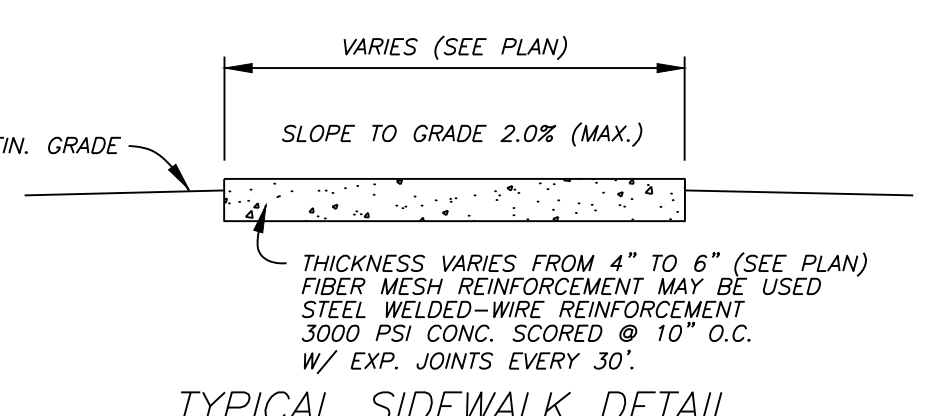
HANDICAP SIGN MOUNTING
N.T.S.



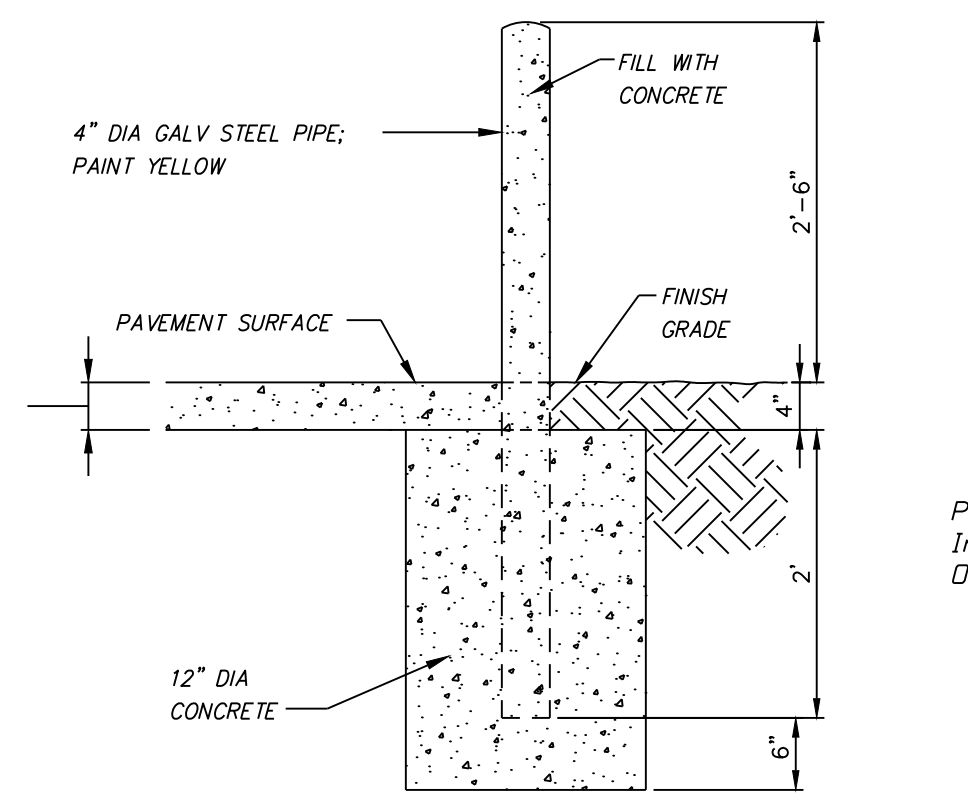
HANDICAP SIGN DETAIL
N.T.S.



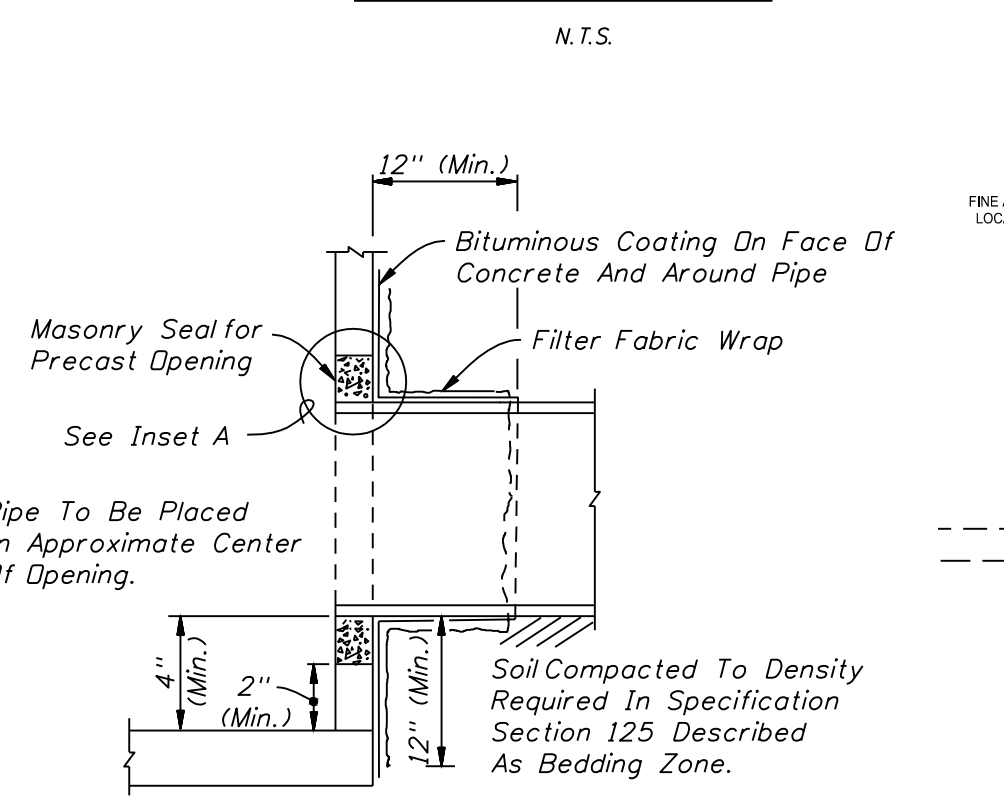
FILTER FABRIC JACKET
N.T.S.



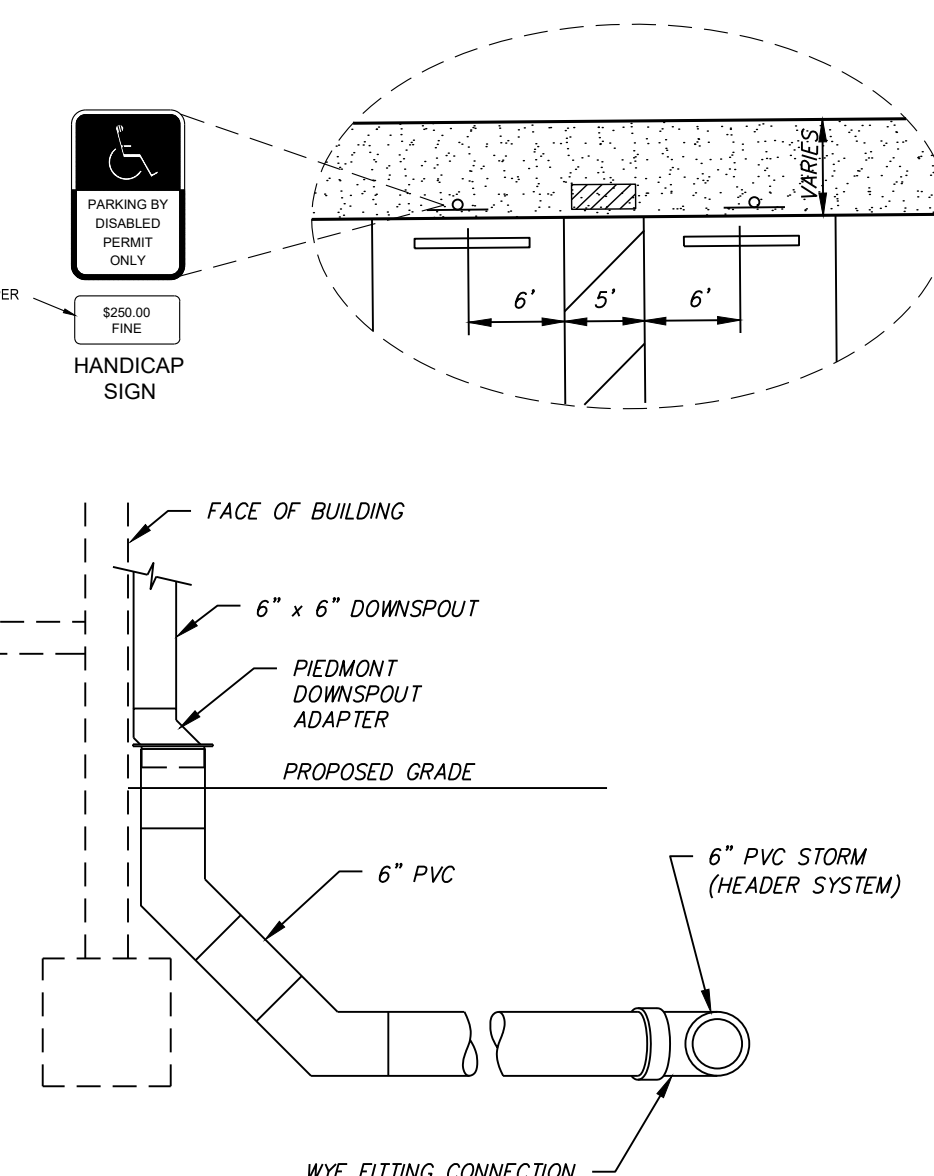
TYPICAL SIDEWALK DETAIL
N.T.S.



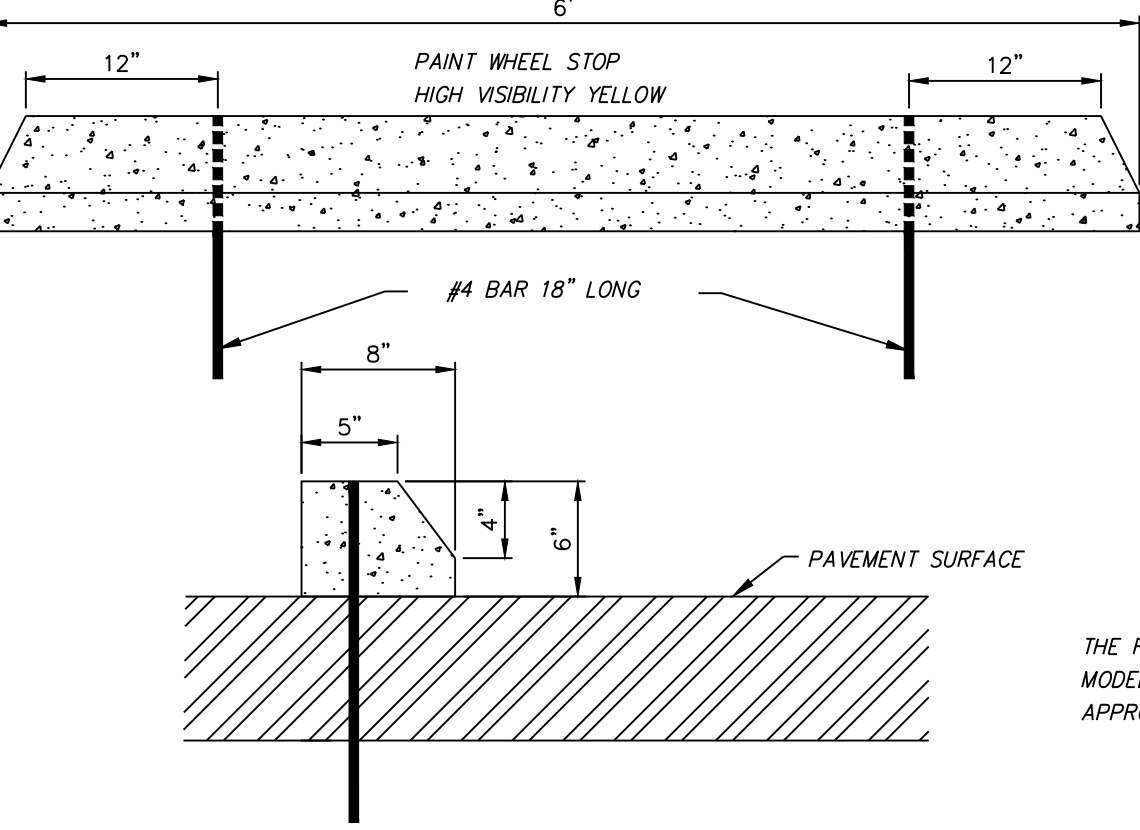
TYPICAL BOLLARD
N.T.S.



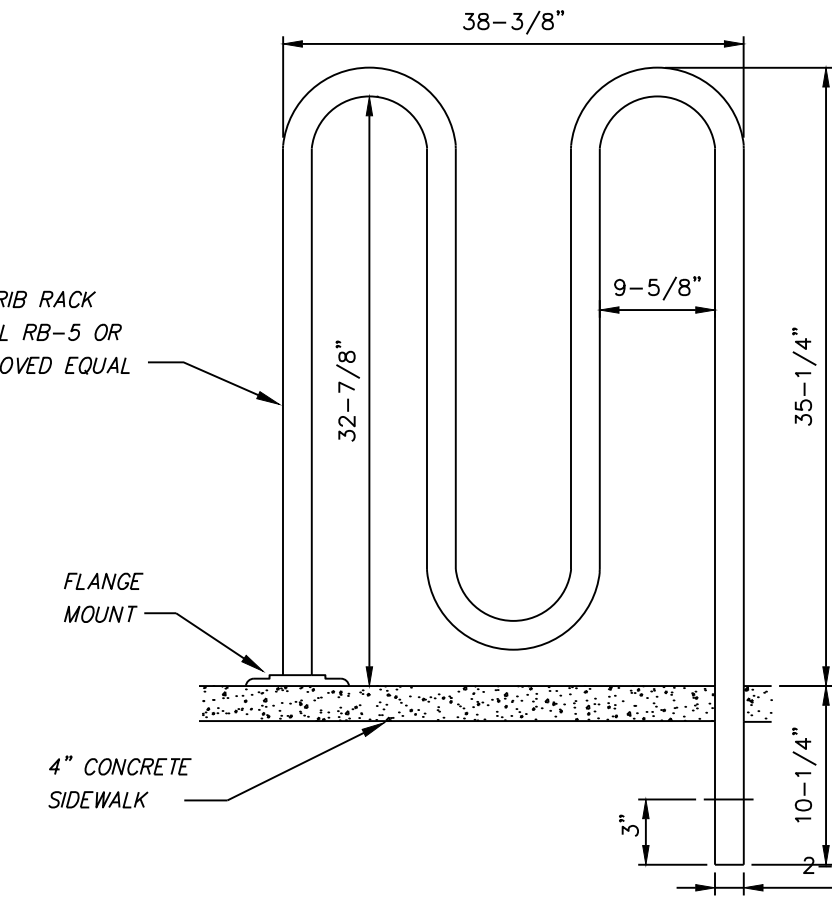
FILTER FABRIC WRAP ON GROUTED PIPE TO STRUCTURE JOINT
N.T.S.



DOWNSPOUT CONNECTION DETAIL
N.T.S.



PRECAST CONCRETE WHEEL STOP
N.T.S.



BICYCLE RACK DETAILS
N.T.S.

GENERAL NOTES

- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS (LATEST EDITION) AND POLK COUNTY REGULATIONS.
- LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES, AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES, AND OTHER FEATURES AFFECTING THIS WORK PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL USE EXTREME CAUTION IN AREAS OF BURIED UTILITIES AND SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE UTILITY COMPANIES PRIOR TO CONSTRUCTION TO OBTAIN FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN OPERATION OF EXISTING UTILITY SERVICES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL CHECK PLANS FOR CONFLICTS AND DISCREPANCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS BEFORE PERFORMING ANY WORK IN THE AFFECTED AREA.
- THE ENGINEER (CHASTAIN-SKILLMAN, INC.) SHALL BE NOTIFIED AS TO WHERE EXISTING UTILITY SERVICES INTERFERE WITH THE PROPOSED CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND, THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR.
- ALL UNDERGROUND UTILITIES MUST BE IN PLACE AND TESTED OR INSPECTED PRIOR TO BASE AND SURFACE CONSTRUCTION.
- UTILITIES INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF THE APPLICABLE STATE AND LOCAL REGULATIONS INCLUDING BUT NOT LIMITED TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, THE POLK COUNTY PUBLIC HEALTH UNIT, AND POLK COUNTY UTILITIES.
- WATER LINES MAY BE DEFLECTED AS REQUIRED BY POLK COUNTY UTILITIES STANDARDS.
- CONTRACTOR SHALL VERIFY MINIMUM SEPARATION BETWEEN WATER AND SANITARY/STORM SEWER SYSTEMS. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE WRITTEN VERIFICATION DOCUMENTING THE MINIMUM SEPARATION AS CONSTRUCTED.
- TYPICAL COVER OVER UTILITY LINES TO BE 36".
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS SPECIFIED BY THE VARIOUS GOVERNMENTAL AGENCIES AND THE ENGINEER. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, AND SCHEDULE INSPECTIONS ACCORDING TO AGENCY INSTRUCTIONS. ALL WORK PERFORMED SHALL COMPLY WITH THE REGULATIONS AND ORDINANCES OF THE VARIOUS GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS ON ALL PRE-CAST AND MANUFACTURED ITEMS TO THE ENGINEER FOR APPROVAL. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- AT LEAST THREE (3) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND APPROPRIATE AGENCIES AND SUPPLY THEM WITH THE CONTRACTOR'S NAME, STARTING DATE, PROJECTED CONSTRUCTION SCHEDULE, ALL REQUIRED SHOP DRAWINGS AND OTHER INFORMATION AS REQUIRED. ANY WORK PERFORMED PRIOR TO PROPER NOTIFICATIONS MAY BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- ALL DISTURBED AREAS NOT INCLUDED IN THE LANDSCAPE PLANS SHALL BE SOODED. MINIMUM SOODING REQUIREMENTS INCLUDE A 10' PERIMETER STRIP AROUND ALL STRUCTURES, A 2' STRIP ALONG ALL PAVED AREAS, ALL SWALES, AND THE RETENTION AREA SIDESLOPES AND BERMS.
- THE SITE SHALL BE INITIALLY GRADED SUCH THAT NO OFF-SITE AREA WILL BE ADVERSELY AFFECTED BY STORM WATER RUNOFF. RUNOFF TO THE ADJACENT PROPERTIES SHALL BE MINIMIZED. THE EXISTING DRAINAGE FACILITIES SHALL BE PROTECTED AT ALL TIMES BY THE USE OF SILT FENCE, TEMPORARY GRADING, VEGETATION, ETC. ALL AREAS SHALL BE PROTECTED FROM EROSION CAUSED BY STORM WATER RUNOFF BY VEGETATION, SILT FENCE, TEMPORARY GRADING, ETC.
- UPON COMPLETION OF CONSTRUCTION ACTIVITIES, THE STORM WATER SYSTEMS SHALL BE CLEANED OF ALL SILTS, DEBRIS, LIMESTONE, ETC.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING CERTIFIED AS-BUILT DRAWINGS UPON COMPLETION OF CONSTRUCTION. THESE AS-BUILT DRAWINGS SHALL INCLUDE DETAILED LOCATIONS OF THE UTILITY SYSTEMS (WATER, SANITARY SEWER, STORM WATER MANAGEMENT SYSTEMS, ELECTRICAL SERVICES, ETC.).
- CHANGES FROM PLANS OR SPECIFICATIONS SUBSTANTIALLY AFFECTING CONFORMANCE TO STANDARDS OR PERFORMANCE OF SYSTEMS MUST BE SUBMITTED IN A WRITTEN REQUEST BY THE ENGINEER OF RECORD AND RECEIVE WRITTEN APPROVAL BY THE COUNTY ENGINEER PRIOR TO THE IMPLEMENTATION OF SUCH CHANGES UNLESS OTHERWISE PROVIDED FOR IN THE POLK COUNTY LAND DEVELOPMENT CODE. MAJOR MODIFICATIONS MAY REQUIRE REVIEW AND APPROVAL BY THE DEVELOPMENT REVIEW COMMITTEE. IN SUCH CASES, THE APPLICANT SHALL SUBMIT THE APPROPRIATE APPLICATION AND FEES FOR A NEW REVIEW AT THE LEVEL OF THE ORIGINAL APPROVAL, OR LEVEL 2 WHICHEVER IS GREATER.
- THE CONTRACTOR SHALL NOTIFY POLK COUNTY INSPECTIONS STAFF (863) 534-6449 AT LEAST FIVE (5) WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND PRIOR TO ANY ACTIVITY REQUIRING INSPECTION, INCLUDING SITE PAVING.
- TO SCHEDULE THE REQUIRED PRE-CONSTRUCTION MEETING, THE CONTRACTOR SHALL CONTACT THE POLK COUNTY LAND DEVELOPMENT DIVISION, OFFICE OF THE COUNTY ENGINEER @ (863) 534-6449.

- AT THE COMPLETION OF CONSTRUCTION AND PRIOR TO BENEFICIAL USE OF ANY FACILITY OR SYSTEM, AS-BUILT RECORD DRAWINGS SHALL BE SUBMITTED AND APPROVED IN ACCORDANCE WITH THE OSCEOLA COUNTY LAND DEVELOPMENT CODE, SECTION 8.7 C (7).
24. SAFETY:
- DURING CONSTRUCTION AND/OR MAINTENANCE OF THIS PROJECT, ALL SAFETY REGULATIONS ARE TO BE ENFORCED. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF HIS PERSONNEL.
 - LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY OSHA IN THE FEDERAL REGISTRY OF THE DEPARTMENT OF TRANSPORTATION.
 - ALL TRENCH EXCAVATION THAT EXCEEDS AN AVERAGE DEPTH OF FIVE (5) FEET MUST CONFORM TO THE REQUIREMENTS STATED IN THE NEW "TRENCH SAFETY ACT" INCORPORATED INTO OSHA STANDARDS (CHAPTER 90-96, CS/SB 2626). THE NEW LAW REQUIRES THE CONTRACTOR TO RECOGNIZE THE OSHA EXCAVATION SAFETY STANDARDS, AGREE TO ABIDE BY THEM, AND IDENTIFY THE COST TO COMPLY.
 - THE MINIMUM STANDARDS AS SET FORTH IN THE CURRENT EDITION OF THE STATE OF FLORIDA ROADWAY AND TRAFFIC DESIGN STANDARDS SHALL BE FOLLOWED IN THE DESIGN APPLICATION, INSTALLATION, MAINTENANCE, AND REMOVAL OF ALL TRAFFIC CONTROL DEVICES, WARNING DEVICES, AND BARRIERS NECESSARY TO PROTECT THE PUBLIC AND WORKMEN FROM HAZARDS WITHIN THE PROJECT.
 - ALL TRAFFIC CONTROL MARKINGS AND DEVICES SHALL CONFORM TO THE PROVISION SET FORTH IN THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" PREPARED BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION.

STORMWATER MANAGEMENT SYSTEM OPERATING AND MAINTENANCE PROCEDURES

THE STORMWATER FACILITY MUST BE MAINTAINED PROPERLY IF IT IS TO PERFORM THE SERVICE FOR WHICH IT WAS DESIGNED. THIS IS INTENDED TO BE A GUIDE TO THE PROPER WAYS TO MAINTAIN THIS FACILITY. THIS IS ONLY A GUIDE AND SHOULD BE MODIFIED AS FIELD CONDITIONS REQUIRE.

- MONTHLY, VISUALLY INSPECT INLET OPENINGS TO INSURE THAT NO CLOGGING HAS OCCURRED.
- ONCE EVERY THREE MONTHS, VISUALLY INSPECT ALL PIPES FOR OBSTRUCTIONS OR A BUILD-UP OF EXCESSIVE SEDIMENTS. IF EXCESSIVE SEDIMENTATION HAS OCCURRED, HAVE ALL LINES PROPERLY FLUSHED.
- WEEKLY DURING SUMMER MONTHS AND BI-WEEKLY DURING THE REMAINDER OF THE YEAR, MOW ANY GRASS WITHIN THE STORM WATER RETENTION AND COLLECTION AREAS. GRASS CLIPPING SHALL BE COLLECTED AND REMOVED FROM THE SITE FOR PROPER DISPOSAL.

STORM SEWERS -- REINFORCED CONCRETE PIPE

- ROUND CONCRETE PIPE: SHALL CONFORM TO REQUIREMENTS OF ASTM C76-70 (CLASS III) EXCEPT AS MODIFIED IN SSFR & BC, SECTION 941-1.3.
- ELLIPTICAL CONCRETE PIPE: SHALL CONFORM TO REQUIREMENTS OF ASTM C-507 EXCEPT AS MODIFIED IN SSFR & BC SECTION 941.1.3. STANDARD ELLIPTICAL PIPE SHALL MEET THE REQUIREMENTS OF TABLE 1 FOR CLASS HE-III AND SPECIAL ELLIPTICAL PIPE SHALL MEET THE REQUIREMENTS OF TABLE 1 FOR CLASS HE-IV.
- GASKETS: RUBBER GASKETS SHALL BE USED FOR ROUND PIPE AND SHALL MEET THE REQUIREMENTS OF ARTICLE 5.9 ASTM C-361 WITH THE ADDITIONAL REQUIREMENT THAT IT SHALL BE OF SUFFICIENT VOLUME TO FILL THE PIPE JOINT SPACE IN WHICH IT IS USED. ELLIPTICAL PIPE SHALL USE GASKETS IN ACCORDANCE WITH SSFR & BC SECTION 942.2.

NUMBER	DATE	DESCRIPTION
P-0	1/2023	ISSUED FOR REVIEW

CHASTAIN-SKILLMAN
205 EAST ORANGE STREET
SUITE #110
LAKELAND, FL 33801-4611
(863) 646-1402



HAUT DEVELOPMENT, LLC
WESTSIDE BLVD APARTMENTS
WESTSIDE BLVD, KISSIMMEE, FLORIDA

GENERAL NOTES

This item has been digitally signed and sealed by Leonard E. Arnold, Jr. on the date adjacent to seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

PROJECT NUMBER:
10382.01

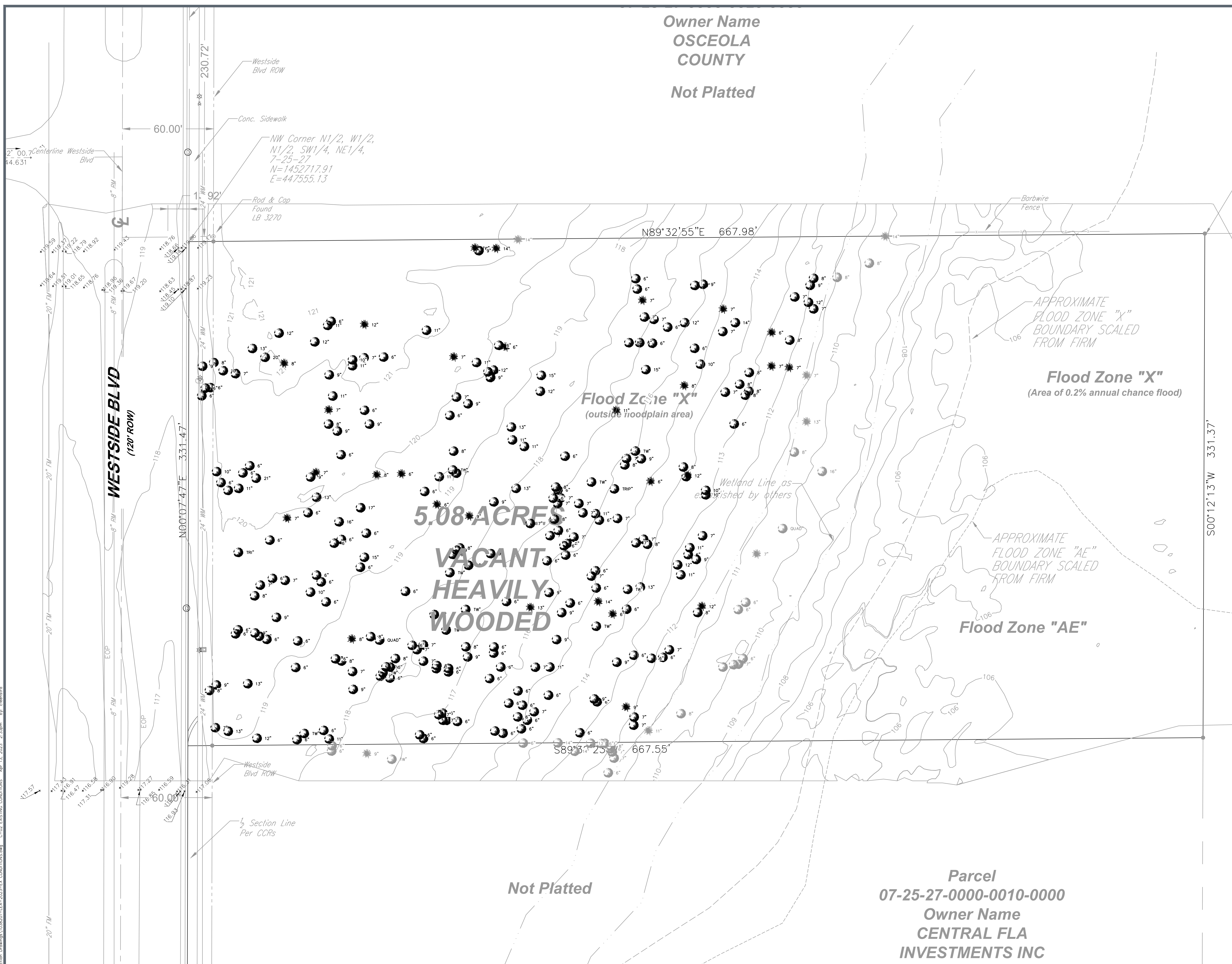
SHEET NUMBER:
C-01

April 13, 2023 ENGINEER: LEONARD E. ARNOLD JR., P.E.
REG. NO.: 55241

Owner Name
OSCEOLA
COUNTY
Not Platted

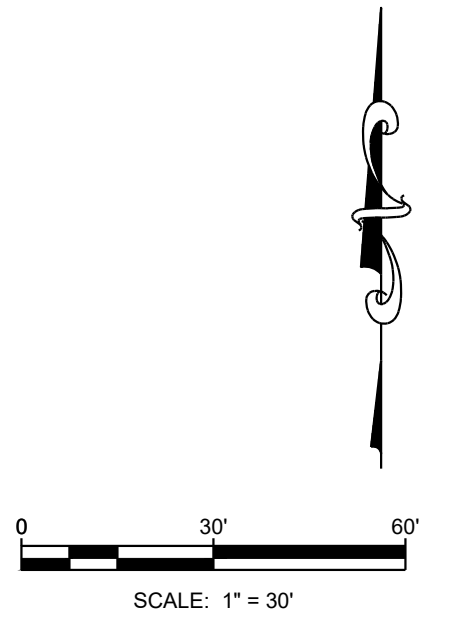
LEGEND

- SET 5/8" IRC LB #8052
- FOUND MONUMENTATION AS NOTED
- FOUND MONUMENTATION AS NOTED
- ROW RIGHT-OF-WAY
- ▽ W-4 WETLAND FLAG
- CCRS CERTIFIED CORNER RECORD(S)
- LB LICENSED BUSINESS
- FIRM FEDERAL INSURANCE RATE MAP
- N NORTHING
- E EASTING
- BFE BASE FLOOD ELEVATION
- EOP EDGE OF PAVEMENT
- ⊗ WATER VALVE
- ⊙ LIGHT POLE
- ⊗ FENCE
- ⊙ POWER POLE
- ⊙ DRAINAGE MANHOLE
- ⊙ STORM INLET
- ⊙ GUY ANCHOR
- ⊙ ELECTRICAL CABINET
- ⊙ UNKNOWN UTILITY
- ⊙ CABLE TELEVISION BOX
- ⊙ CENTERLINE



S00°12'13"W 331.37'

Parcel
07-25-27-0000-0010-0000
Owner Name
CENTRAL FLA
INVESTMENTS INC



P:\1038201\CAD\Civil\1038201\Production Drawings\1038201-LEA-2023-EX CONDITIONS.dwg C-02 EXISTING CONDITIONS Apr 13, 2023 2:33pm by clevens

NUMBER	DATE	DESCRIPTION
P-0	4/13/2023	ISSUED FOR REVIEW

CHASTAIN-SKILLMAN
205 EAST ORANGE STREET
SUITE #110
LAKELAND, FL 33801-4611
(863) 646-1402



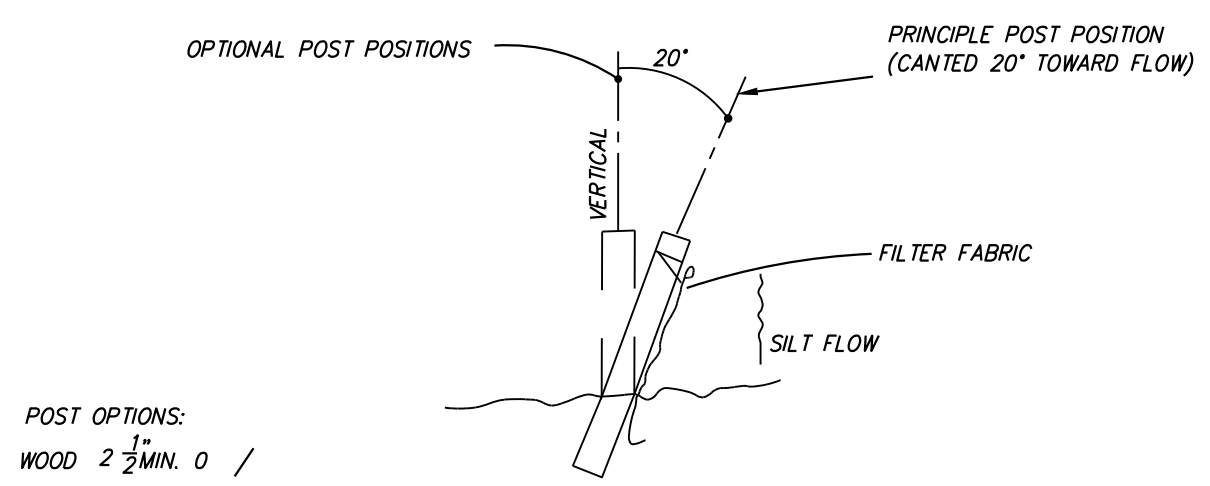
HAUT DEVELOPMENT, LLC
WESTSIDE BLVD APARTMENTS
WESTSIDE BLVD, KISSIMMEE, FLORIDA
EXISTING CONDITIONS

This item has been digitally signed and sealed by Leonard E. Arnold, Jr. on the date adjacent to seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

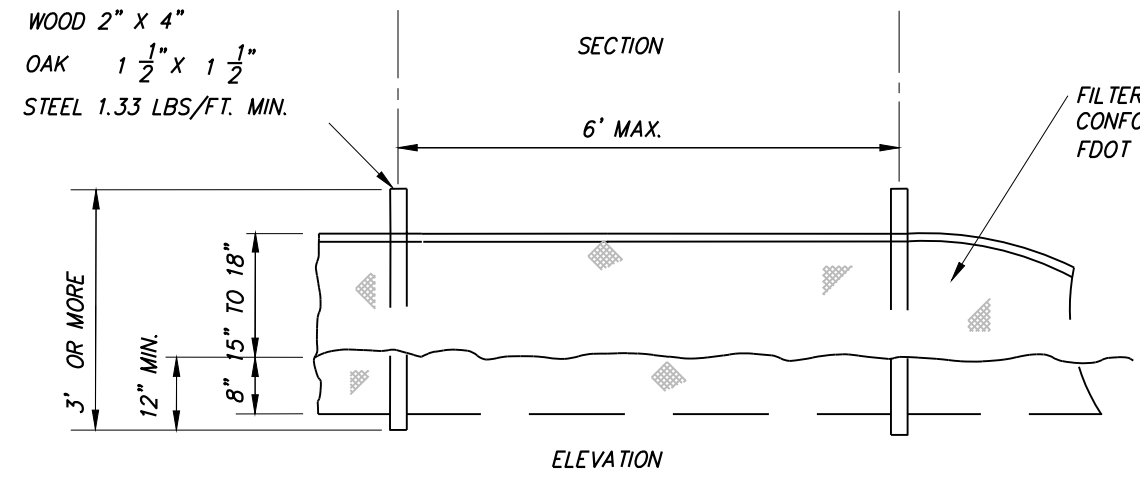
April 13, 2023 ENGINEER: LEONARD E. ARNOLD JR, P.E.
REG. NO.: 55241

PROJECT NUMBER:
10382.01
SHEET NUMBER:
C-02

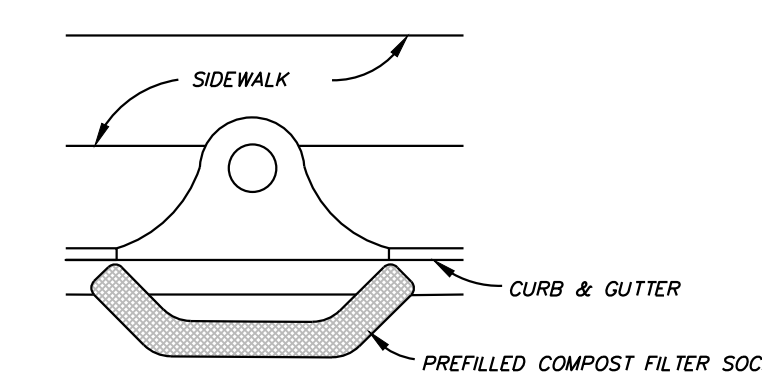
Owner Name
OSCEOLA COUNTY
Not Platted



POST OPTIONS:
WOOD 2 1/2" MIN. Ø /
WOOD 2" X 4"
OAK 1 1/2" X 1 1/2"
STEEL 1.33 LBS/FT. MIN.



TYPE III SILT FENCE
N.T.S.



INLET PROTECTION
N.T.S.

LEGEND

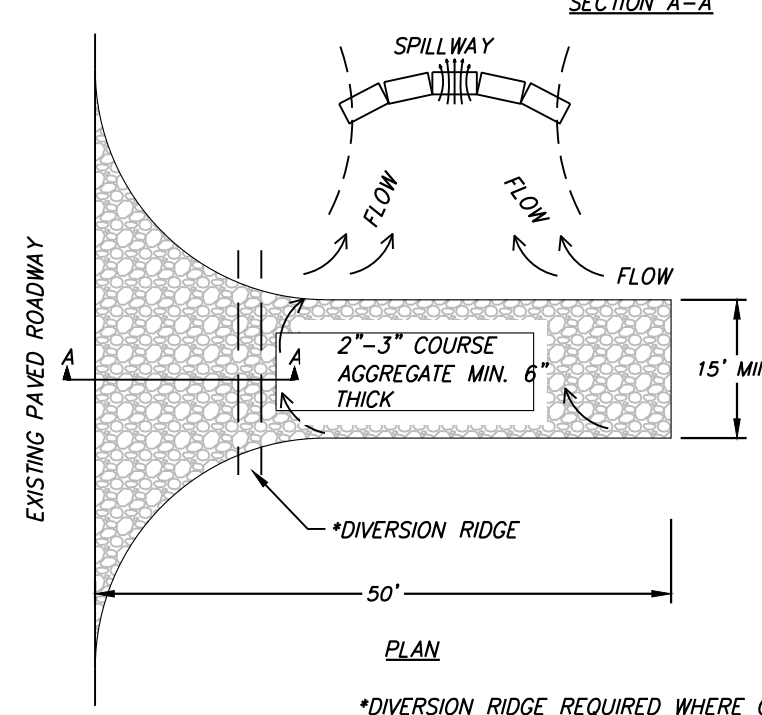
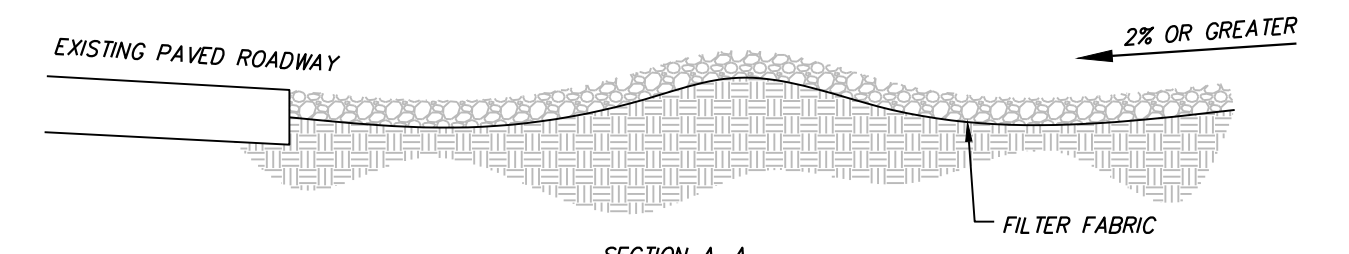
- DENOTES - TEMPORARY CONSTRUCTION ENTRANCE
- DENOTES - SILT FENCE

DEMOLITION NOTES

- A. OBTAIN PERMITS FROM LOCAL AUTHORITY.
- B. PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION.
- C. PROVIDE, ERECT AND MAINTAIN BARRICADES, LIGHTING, AND GUARD RAILS AS REQUIRED TO PROTECT GENERAL PUBLIC, WORKERS, AND ADJOINING PROPERTY.
- D. CEASE OPERATIONS AND NOTIFY ARCHITECT/ENGINEER IMMEDIATELY IF SAFETY OF ADJACENT STRUCTURES APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURES. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
- E. REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED, AT NO COST TO THE OWNER.
- F. REMOVE FROM SITE, CONTAMINATED, VERMIN INFESTED, OR DANGEROUS MATERIALS ENCOUNTERED AND DISPOSE OF BY SAFE MEANS SO AS NOT TO ENDANGER HEALTH OF WORKERS AND PUBLIC.
- G. BACKFILL ALL AREAS EXCAVATED AS A RESULT OF DEMOLITION. REMOVE DEMOLISHED MATERIALS, TOOLS AND EQUIPMENT OF WORK. LEAVE SITE IN CONDITION ACCEPTABLE TO ARCHITECT/ENGINEER.
- H. PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES. IDENTIFY SERVICE LINES AND CAPPING LOCATIONS ON PROJECT RECORD DOCUMENTS.
- I. CONTRACTOR IS RESPONSIBLE TO REPAIR ANY ACTIVE UNDERGROUND UTILITY OR INFRASTRUCTURE IMPROVEMENT DAMAGE DURING DEMOLITION OR CONSTRUCTION OF PROPOSED IMPROVEMENTS. ENGINEER AND CITY WILL DETERMINE IF A DAMAGED UTILITY OR INFRASTRUCTURE IMPROVEMENT IS ACTIVE.
- J. IMPLEMENT EROSION AND SEDIMENT CONTROL PLAN PRIOR TO DEMOLITION.
- K. SAW-CUT ASPHALT OR CONCRETE PAVEMENT AT PAVEMENT TO REMAIN, PRIOR TO REMOVAL.

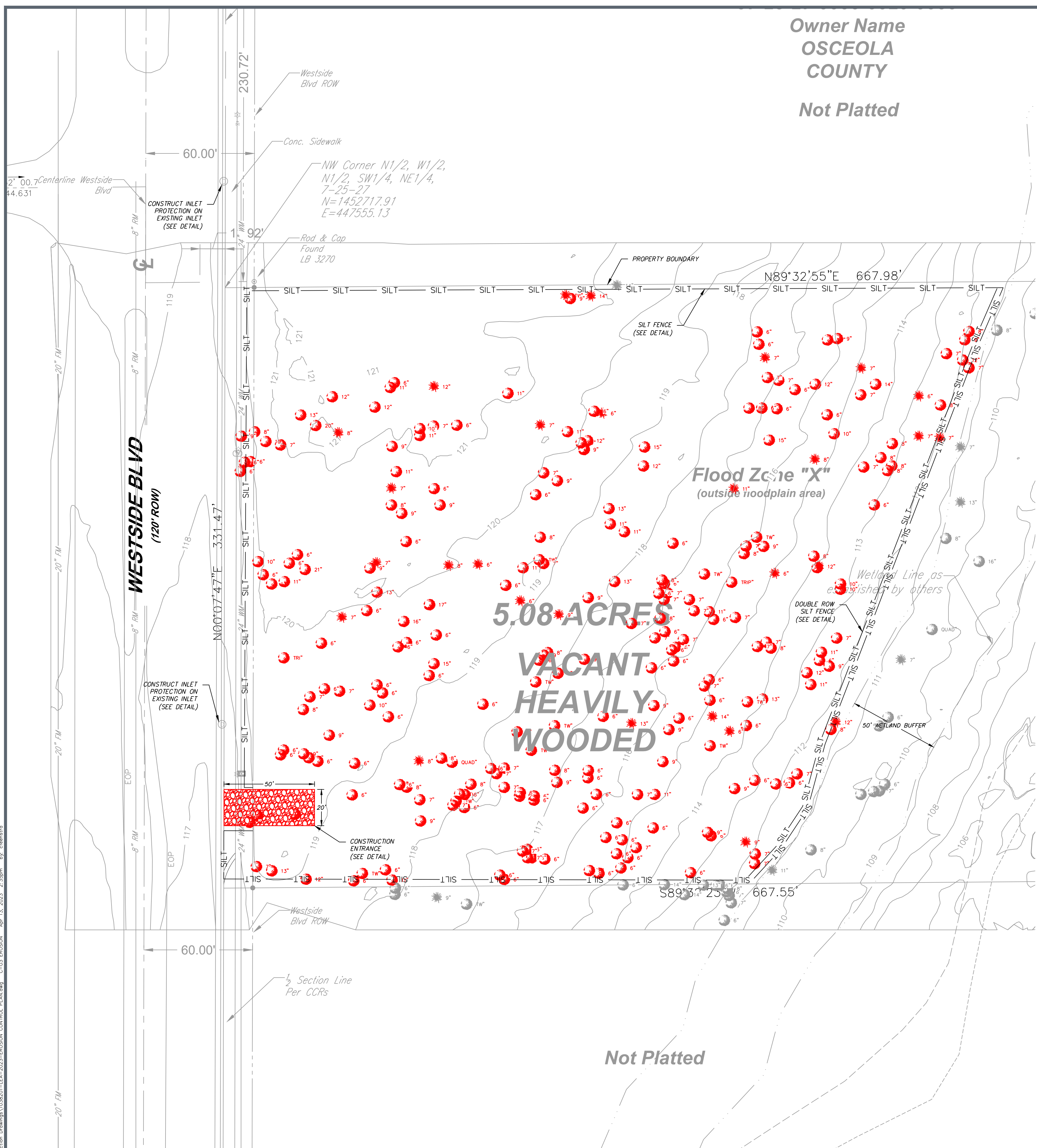
NOTES:

1. PROTECT ALL TREES THAT ARE NOT TO BE REMOVED WITH TREE BARRICADES. DO NOT DAMAGE TREES THAT ARE TO REMAIN.
2. REMOVE ELECTRICAL AND MECHANICAL COMPONENTS ON THE SITE AS DIRECTED BY THE ELECTRICAL AND MECHANICAL CONSULTANTS/ARCHITECT.
3. STABILIZE ALL AREAS THAT ARE DISTURBED DURING DEMOLITION WITH BAHIA SOO.
4. REMOVE SIGNAGE AT THE FACILITY AS DIRECTED BY THE HILLBOROUGH COUNTY SHERIFF DEPT (HCSO).
5. CUT AND CAP WATERLINE TO THE ADMINISTRATION BUILDING AT THE TIE IN LOCATION WITH THE WATERMAIN. REMOVE WATER SERVICE LINE AND VALVES SUPPLYING THE ADMINISTRATION BUILDING.



- NOTES:**
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
 4. TEMPORARY CONSTRUCTION ENTRANCE SHALL BE IN ACCORDANCE WITH FDOT INDEX NO. 106.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
N.T.S.



NUMBER	DATE	DESCRIPTION
P-0	4/13/2023	ISSUED FOR REVIEW

CHASTAIN-SKILLMAN
205 EAST ORANGE STREET
SUITE #110
LAKELAND, FL 33801-4611
(863) 646-1402



© 2023 CHASTAIN SKILLMAN REG. NO. 282

HAUT DEVELOPMENT, LLC
WESTSIDE BLVD APARTMENTS
WESTSIDE BLVD, KISSIMMEE, FLORIDA

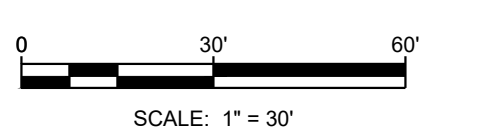
EROSION CONTROL PLAN

This item has been digitally signed and sealed by Leonard E. Arnold, Jr. on the date adjacent to seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

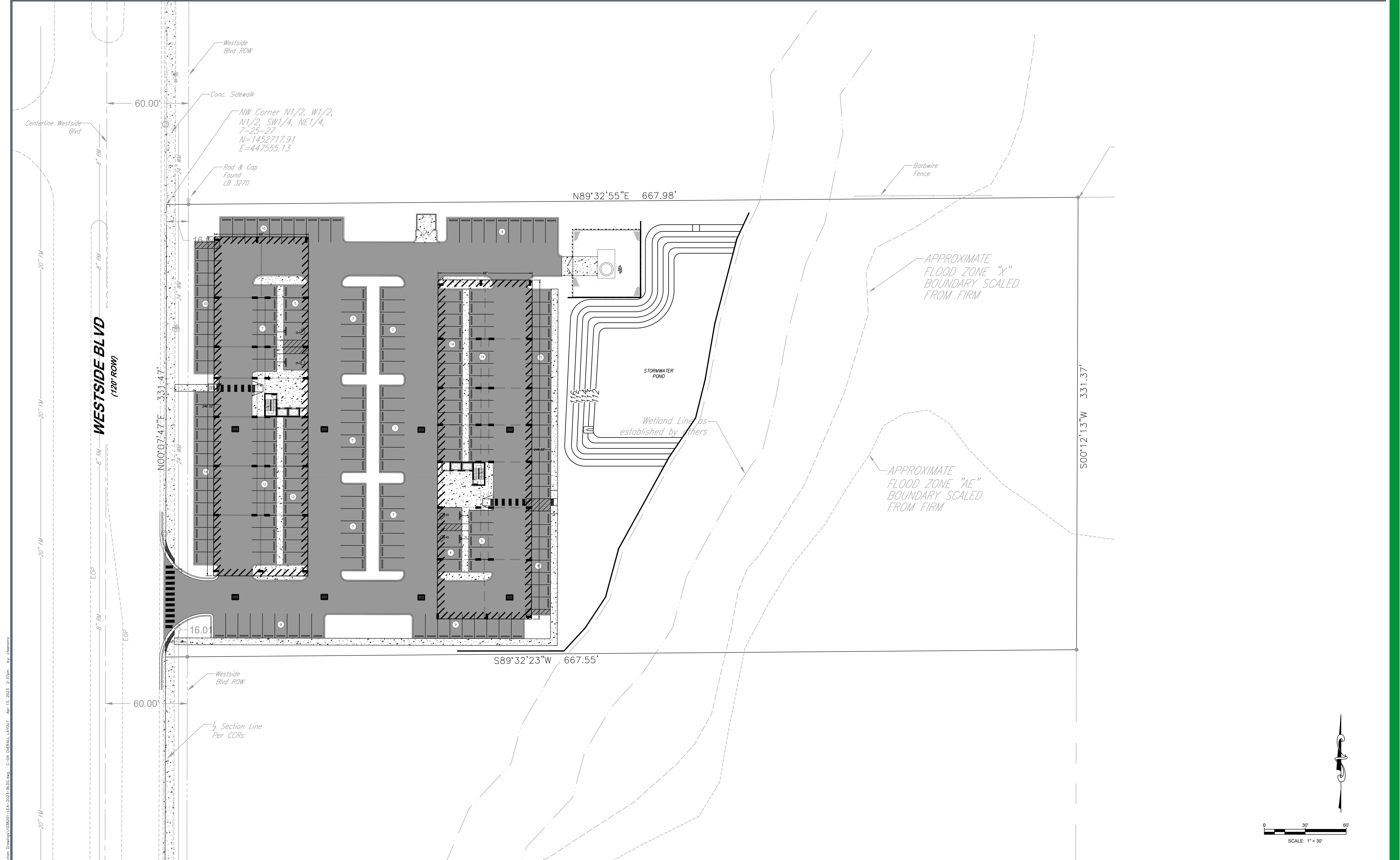
April 13, 2023 ENGINEER: LEONARD E. ARNOLD JR., P.E.
REG. NO.: 55241

PROJECT NUMBER:
10382.01

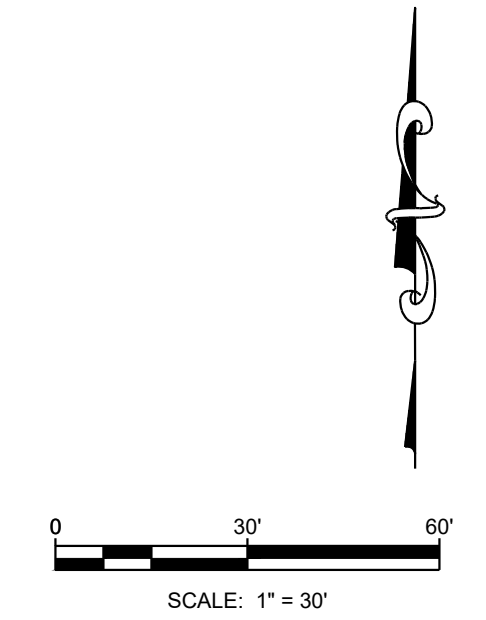
SHEET NUMBER:
C-03



P:\1038201\CAD\GIS\1038201\Production Drawings\1038201-LEA-2023-EROSION CONTROL PLAN.dwg C-03 EROSION Apr 13, 2023 2:35pm by: chasterio



P:\1038201\CAD\Civil\1038201\Production Drawings\1038201-LEA-2023-18.05.dwg C-04 OVERALL LAYOUT Apr 13, 2023 2:37pm By: clemario



NUMBER	DATE	DESCRIPTION
P-0	4/13/2023	ISSUED FOR REVIEW

CHASTAIN-SKILLMAN
 205 EAST ORANGE STREET
 SUITE #110
 LAKELAND, FL 33801-4611
 (863) 646-1402

© 2023 CHASTAIN SKILLMAN REG. NO. 282



HAUT DEVELOPMENT, LLC
 WESTSIDE BLVD APARTMENTS
 WESTSIDE BLVD, KISSIMMEE, FLORIDA

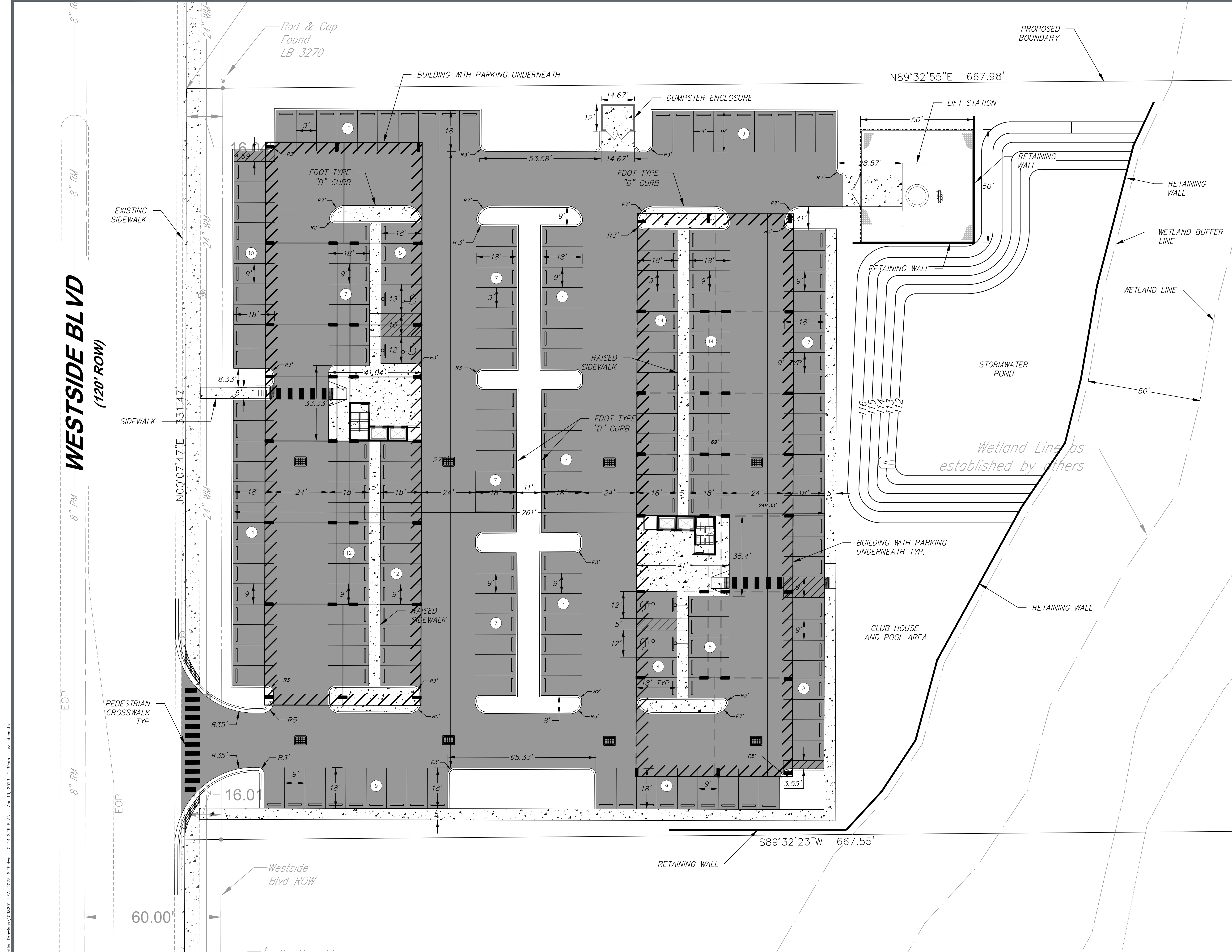
OVERALL LAYOUT

This item has been digitally signed and sealed by Leonard E. Arnold, Jr. on the date adjacent to seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

April 13, 2023 ENGINEER: LEONARD E. ARNOLD JR., P.E.
 REG. NO.: 55241

PROJECT NUMBER:
 10382.01

SHEET NUMBER:
 C-04



LEGEND

- DENOTES - PROPOSED HEAVY ASPHALT PAVEMENT
- DENOTES - PROPOSED CONCRETE PAVEMENT
- DENOTES - LIMITS OF CONSTRUCTION

SITE PLAN NOTES:

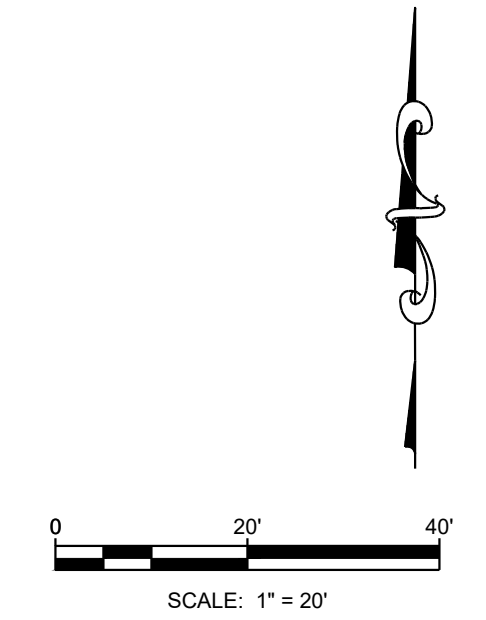
1. THE PROPOSED DEVELOPMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE KISSIMMEE, OSCEOLA COUNTY FLORIDA.
 - DEVELOPER: HAUT DEVELOPMENT, LLC
20801 BISCAIYNE BLVD., SUITE 403
AVENTURA, FL 33180
(407) 341.4035
2. PROPERTY LOCATION INFORMATION
 - ADDRESS: 0 WESTSIDE BLVD.
KISSIMMEE, FLORIDA 34747
 - PROPERTY ID#: PIN: 072527000001B0000
- PROPERTY CHARACTERISTICS
 - ZONING: AC
 - CURRENT USE: VACANT
 - FUTURE LAND USE: CT
 - PROPOSED USE: MULTIFAMILY HOUSING
4. DEVELOPMENT CHARACTERISTICS: THESE PLANS ARE PROVIDED FOR THE DEVELOPMENT OF X UNIT, MULTI-FAMILY DEVELOPMENT. PROJECT INCLUDES (X) STORY BUILDING WITH ASSOCIATED PARKING AND STORMWATER MANAGEMENT AREA. THE PARCEL IS APPROXIMATELY 4.79 ACRES. THE PROVIDED SITE CHARACTERISTICS ARE NOTED BELOW.

	CITY REQ.	PROPOSED
NUMBER OF FLOORS:	X STORIES	X STORIES
PROJECT AREA:	4.79 ACRES	4.79 ACRES
PROPOSED BUILDING AREA:	-----	-----
ALLOWED MAX. BUILDING HEIGHT:	-----	-----
PROPOSED BUILDING EAVES HEIGHT:	-----	-----
REQUIRED FAR:	-----	-----
PROPOSED FAR:	-----	-----
- LOT COVERAGE CALCULATION: EXISTING

OPEN SPACE:	209,088 S.F.	4.8 A.C.	100.00%
TOTAL PROJECT AREA:	209,088 S.F.	4.8 A.C.	100.00%
- LOT COVERAGE CALCULATION: PROPOSED

OPEN SPACE:	33,186 S.F.	0.76 AC.	27%
BUILDING AREA:	34,270 S.F.	0.79 AC.	28.3%
PAVEMENT:	32,783 S.F.	0.75 AC.	27.1%
CONCRETE:	9,448 S.F.	0.22 AC.	7.8%
POND BOTTOM/NCL:	11,433 S.F.	0.26 AC.	9.4%
TOTAL PROJECT AREA:	121,120 S.F.	2.78 A.C.	100.00%
6. BOUNDARY AND TOPOGRAPHIC INFORMATION BASED UPON SURVEYS PERFORMED BY XXX. TOPOGRAPHIC INFORMATION IS BASED UPON 1988 DATUM (NAVD88). VERTICAL DATUM SHOWN HEREON IS REFERENCED TO OSCEOLA COUNTY BENCHMARK "U722" (FLANGE ENCASED ROD STAMPED U 722 2009), HAVING AN ELEVATION OF 4.24 FEET (NAVD88).
7. PROPERTY IS LOCATED IN FLOOD ZONE X PER FLOOD INSURANCE RATE MAP NO. 12097C0010G DATED 06/18/2013. NO FLOOD ZONE IMPACTS ARE PROPOSED. A 50 FOOT BUFFER IS REQUIRED.
8. SOLID WASTE SERVICE TO BE PROVIDED BY DUMPSTER WITH ENCLOSURES AS SHOWN BY OTHERS
9. SETBACKS: THE APPLICABLE BUILDING SETBACKS ARE NOTED BELOW. THESE SETBACKS ARE BASED UPON CITY/COUNTY/MFR-20 REQUIREMENTS.
10. PARKING REQUIREMENT: OSCEOLA COUNTY LAND DEVELOPMENT CODE

MULTI-FAMILY	
ONE BEDROOM UNIT -	1.5 SPACES PER DWELLING UNIT
TWO OR MORE BEDROOM UNIT -	2 SPACES PER DWELLING UNIT
REGULAR PARKING SIZE 9' X 18'	= 197
HANDICAP PARKING SIZE (ADA) 12' X 18' = 4 SPACES	
TOTAL PARKING REQ. = XX	
TOTAL PARKING PROVIDE = XX	



P:\1038201\CAD\Gis\1038201\Production\Drawings\1038201-LEA-2023-SITE.dwg C:\H SITE PLAN Apr 13, 2023 2:39pm By: chasterio

NUMBER	DATE	DESCRIPTION
P-0	4/13/2023	ISSUED FOR REVIEW

CHASTAIN-SKILLMAN
205 EAST ORANGE STREET
SUITE #110
LAKELAND, FL 33801-4611
(863) 646-1402

© 2023 CHASTAIN SKILLMAN REG. NO. 282



HAUT DEVELOPMENT, LLC
WESTSIDE BLVD APARTMENTS
WESTSIDE BLVD, KISSIMMEE, FLORIDA

SITE PLAN

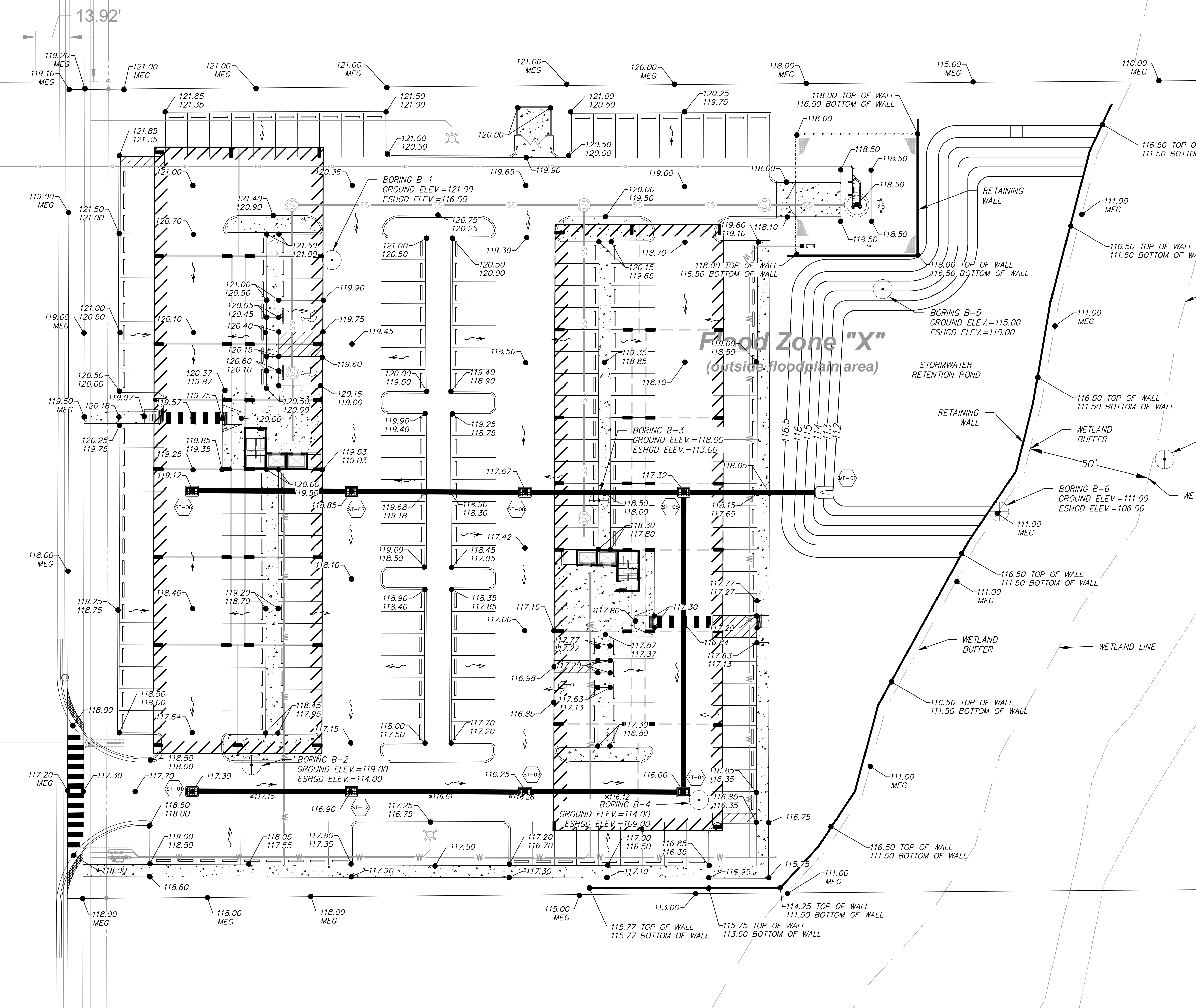
This item has been digitally signed and sealed by Leonard E. Arnold, Jr. on the date adjacent to seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

April 13, 2023 ENGINEER: LEONARD E. ARNOLD JR., P.E.
REG. NO.: 55241

PROJECT NUMBER:
10382.01

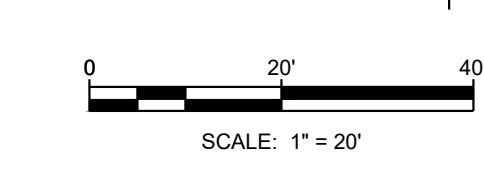
SHEET NUMBER:
C-14

WESTSIDE BLVD
(120' ROW)



LEGEND

- DENOTES - PROPOSED ASPHALT PAVEMENT
- DENOTES - HEAVY ASPHALT PAVEMENT
- DENOTES - PROPOSED LIGHT ASPHALT PAVEMENT
- DENOTES - EXISTING ASPHALT PAVEMENT
- DENOTES - PROPOSED CONCRETE SIDEWALK
- DENOTES - LIMITS OF CONSTRUCTION
- DENOTES - HIGH POINT/GRADE BREAK
- DENOTES - PROPOSED CONTOURS
- DENOTES - EXISTING CONTOURS
- DENOTES - PROPOSED ELEVATION
- DENOTES - EXISTING ELEVATION
- DENOTES MATCH EXISTING GRADE
- DENOTES BORING LOCATION SYMBOL



NUMBER	DATE	DESCRIPTION
P-0	4/13/2023	ISSUED FOR REVIEW

CHASTAIN-SKILLMAN
205 EAST ORANGE STREET
SUITE #110
LAKELAND, FL 33801-4611
(863) 646-1402



HAUT DEVELOPMENT, LLC
WESTSIDE BLVD APARTMENTS
WESTSIDE BLVD, KISSIMMEE, FLORIDA

GRADING PLAN

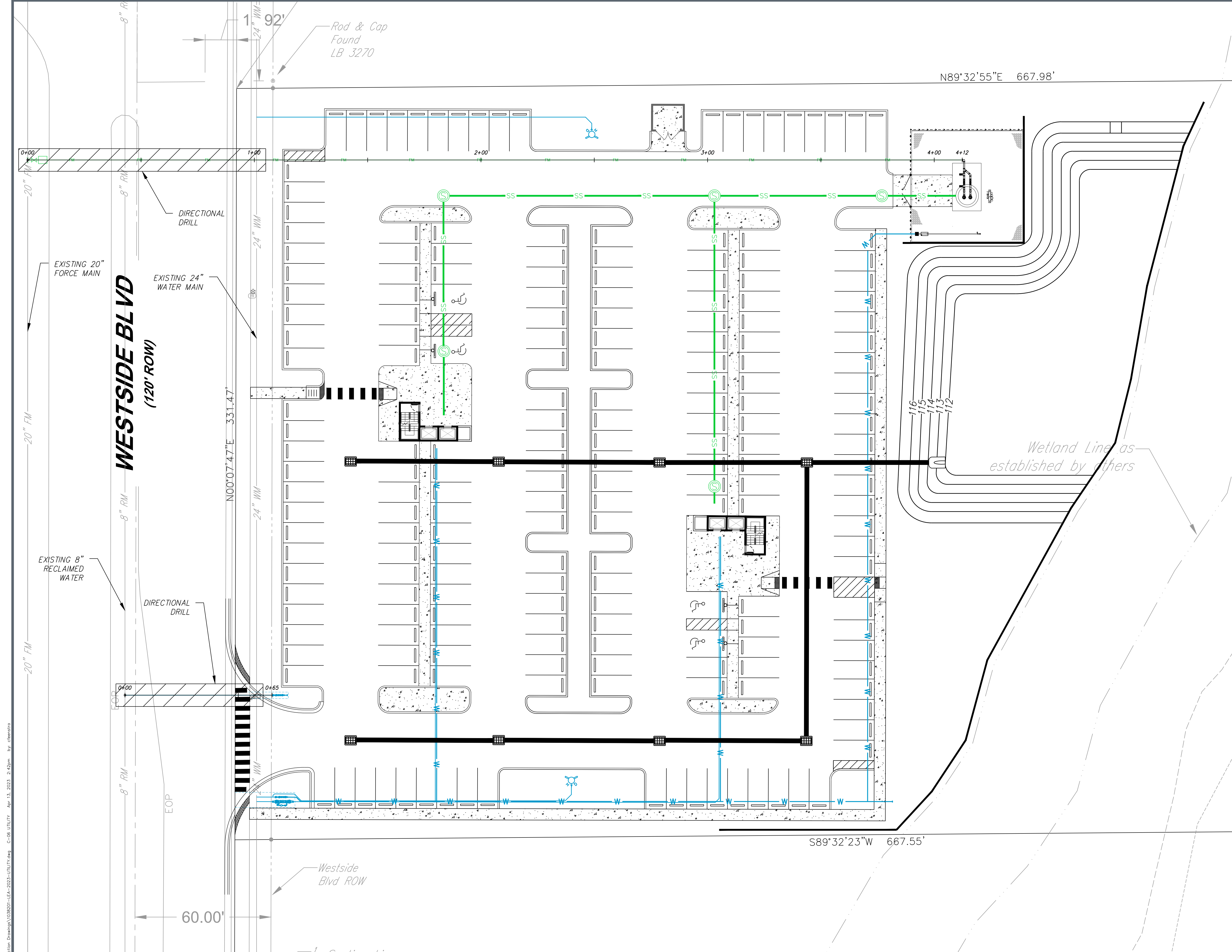
This item has been digitally signed and sealed by Leonard E. Arnold, Jr. on the date adjacent to seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

April 13, 2023 ENGINEER: LEONARD E. ARNOLD JR., P.E.
REG. NO.: 55241

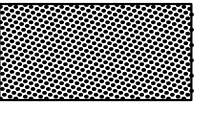

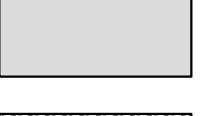













PROJECT NUMBER:
10382.01

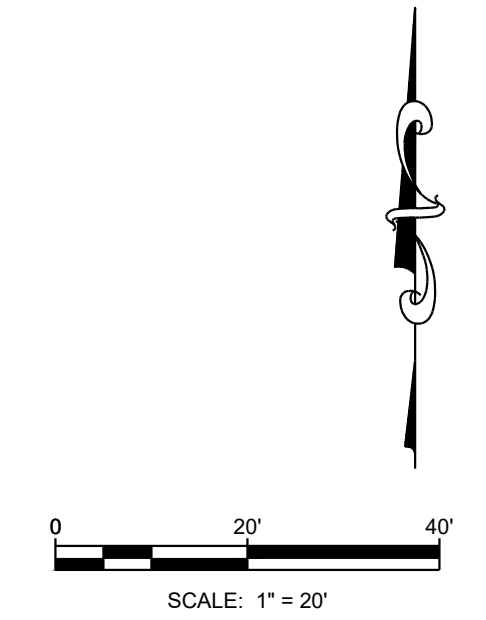
SHEET NUMBER:
C-05

P:\1038201\CAD\Civil\1038201\Production Drawings\1038201-LEA-2023-GRADING.dwg C-05 PSD Apr 13, 2023 2:40pm By: clemens



LEGEND

-  DENOTES - PROPOSED ASPHALT PAVEMENT
-  DENOTES - HEAVY ASPHALT PAVEMENT
-  DENOTES - PROPOSED LIGHT ASPHALT PAVEMENT
-  DENOTES - EXISTING ASPHALT PAVEMENT
-  DENOTES - PROPOSED CONCRETE SIDEWALK
-  DENOTES - LIMITS OF CONSTRUCTION
-  DENOTES - PROPOSED POTABLE WATER LINE
-  DENOTES - PROPOSED FIRE LINE
-  DENOTES - EXISTING WATER LINE
-  DENOTES - PROPOSED SEWER LINE
-  DENOTES - EXISTING SEWER LINE
-  DENOTES - EXISTING FORCE MAIN
-  DENOTES - EXISTING OVERHEAD UTILITY
-  DENOTES - PROPOSED STORM LINE
-  DENOTES - PROPOSED CLEAN OUT
-  DENOTES - PROPOSED FIRE HYDRANT



P:\1038201\CAD\DWG\1038201\Production Drawings\1038201-LEA-2023-UTILITY.dwg C-06 UTILITY Apr 13, 2023 2:42pm by: ctenorio

NUMBER	DATE	DESCRIPTION
P-0	4/13/2023	ISSUED FOR REVIEW

CHASTAIN-SKILLMAN
 205 EAST ORANGE STREET
 SUITE #110
 LAKELAND, FL 33801-4611
 (863) 646-1402



HAUT DEVELOPMENT, LLC
 WESTSIDE BLVD APARTMENTS
 WESTSIDE BLVD, KISSIMMEE, FLORIDA

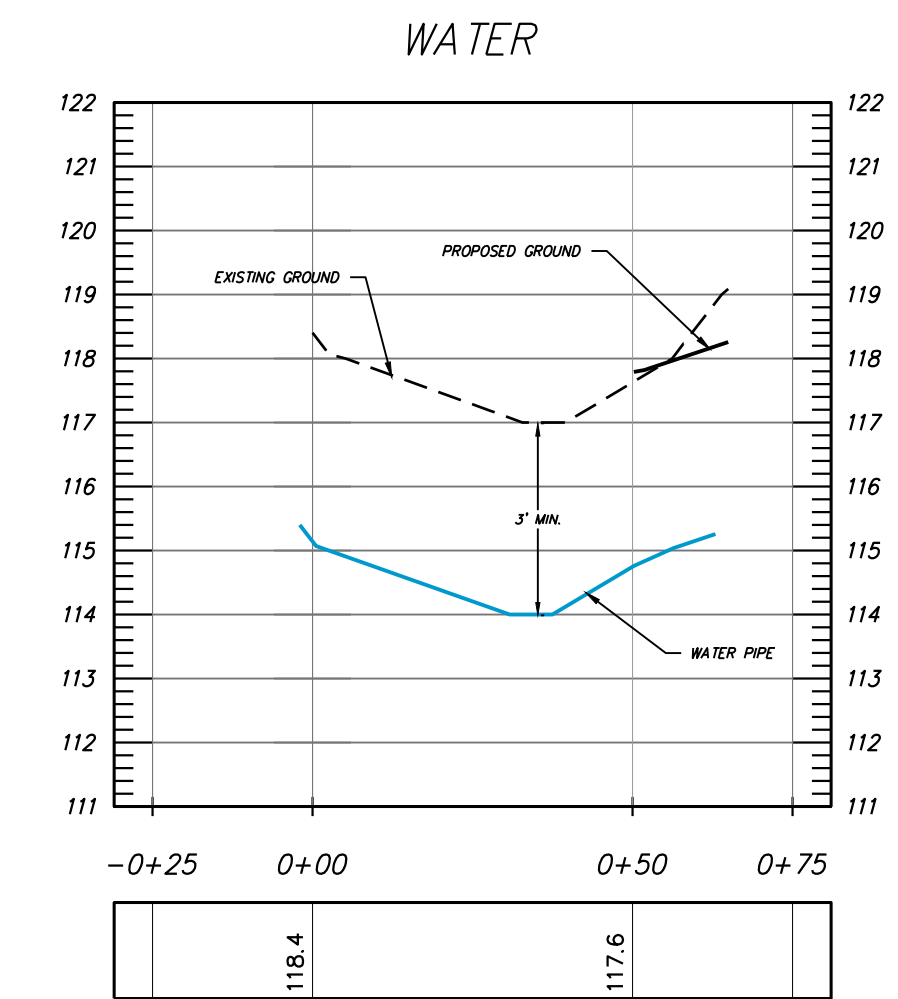
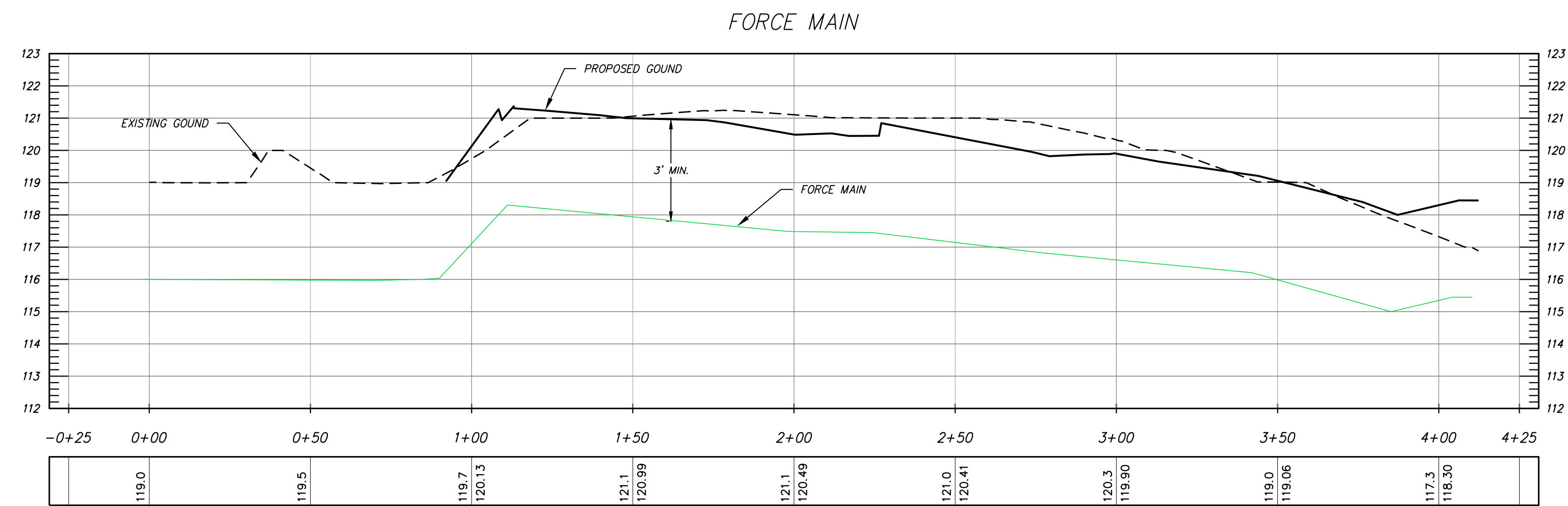
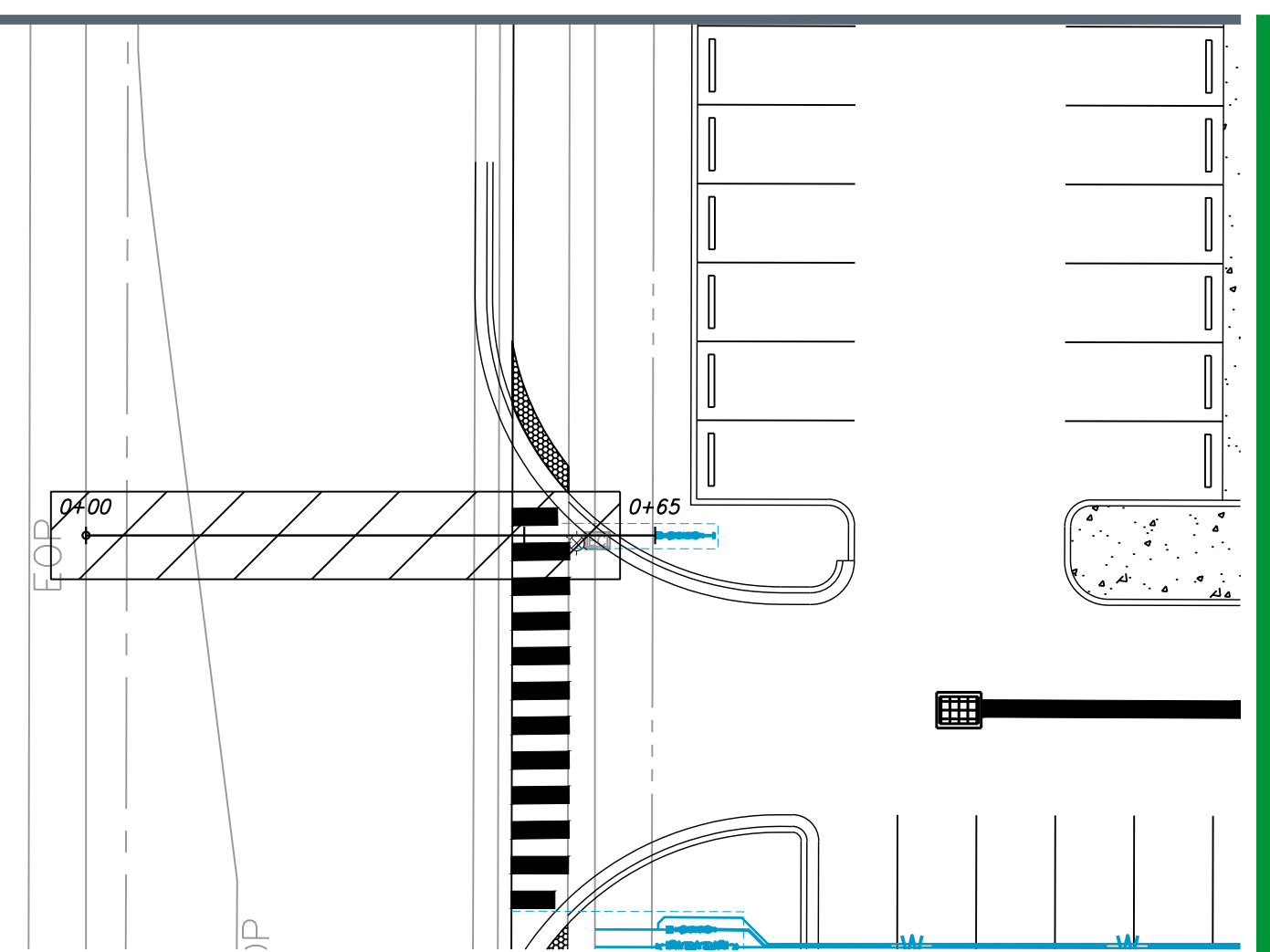
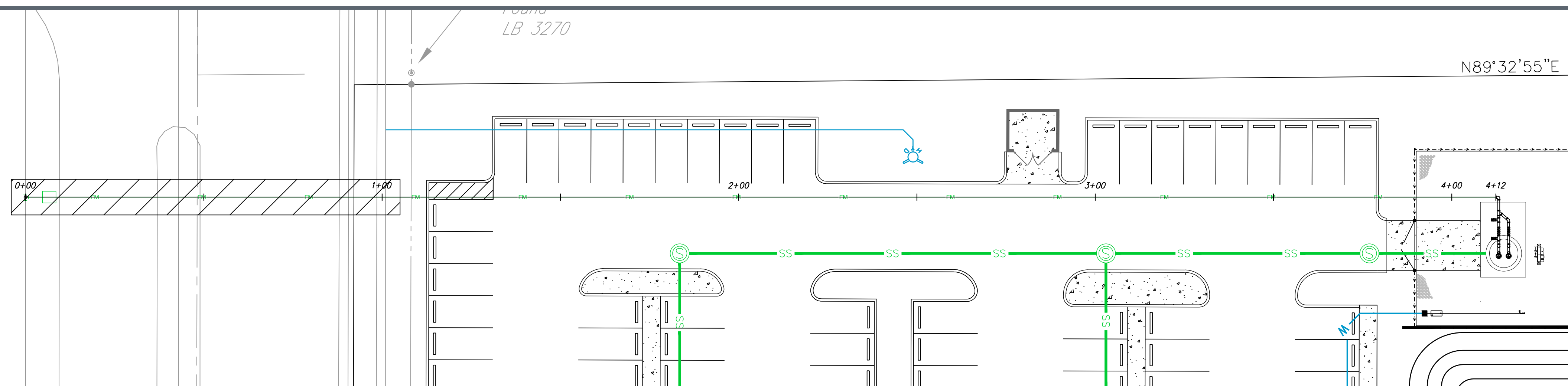
UTILITY PLAN

This item has been digitally signed and sealed by Leonard E. Arnold, Jr. on the date adjacent to seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

April 13, 2023 ENGINEER: LEONARD E. ARNOLD JR, P.E. REG. NO.: 55241

PROJECT NUMBER:
10382.01

SHEET NUMBER:
C-06



P:\1038201\CAD\Drawings\1038201-LEA-2023-UTILITY P&P.dwg C-16 UTILITY P&P Apr 13, 2023 2:46pm By: cleverson

NUMBER	DATE	DESCRIPTION
P-0	4/13/2023	ISSUED FOR REVIEW

CHASTAIN-SKILLMAN
205 EAST ORANGE STREET
SUITE #110
LAKELAND, FL 33801-4611
(863) 646-1402



© 2023 CHASTAIN SKILLMAN REG. NO. 262

HAUT DEVELOPMENT, LLC
WESTSIDE BLVD APARTMENTS
WESTSIDE BLVD, KISSIMMEE, FLORIDA

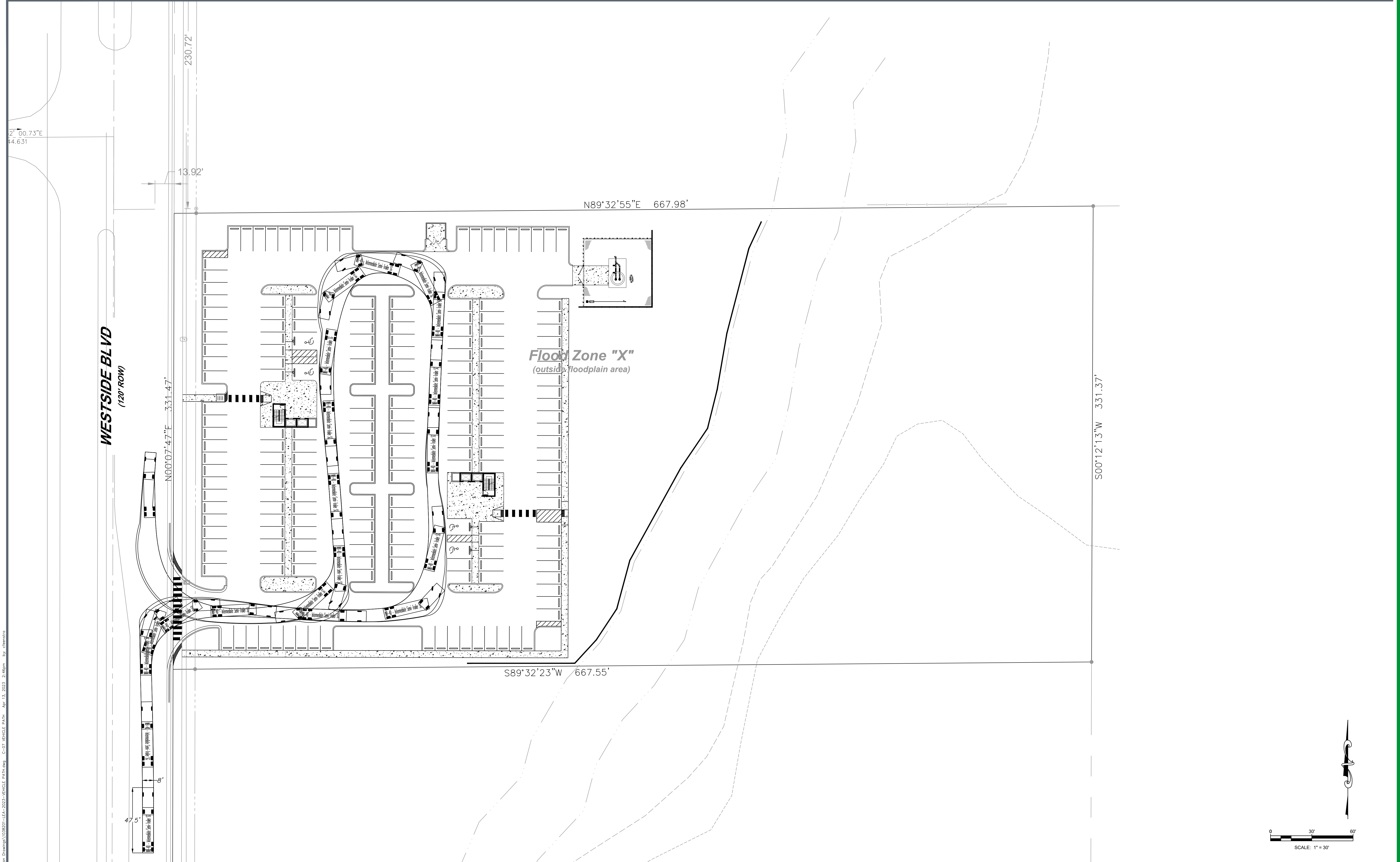
UTILITY PLAN & PROFILES

This item has been digitally signed and sealed by Leonard E. Arnold, Jr. on the date adjacent to seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

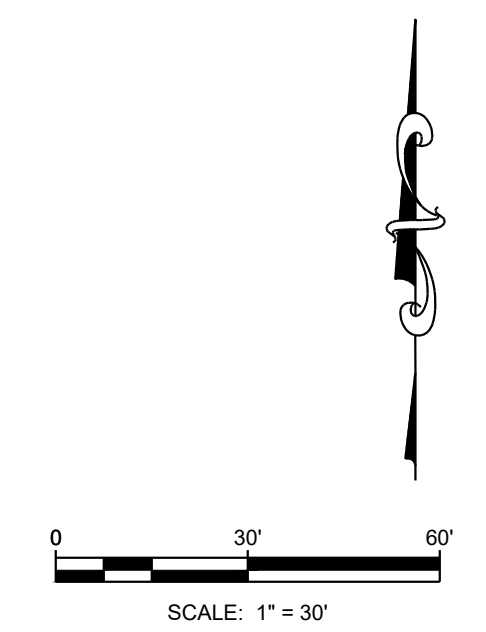
April 13, 2023 ENGINEER: LEONARD E. ARNOLD JR., P.E.
REG. NO.: 55241

PROJECT NUMBER:
10382.01

SHEET NUMBER:
C-16



P:\1038201\CAO\1038201\Production Drawings\1038201-LEA-2023-VEHICLE PATH.dwg C-07 VEHICLE PATH - Apr 13, 2023, 2:46pm. By: clemstoro



NUMBER	DATE	DESCRIPTION
P-0	4/13/2023	ISSUED FOR REVIEW

CHASTAIN-SKILLMAN
 205 EAST ORANGE STREET
 SUITE #110
 LAKELAND, FL 33801-4611
 (863) 646-1402



© 2023 CHASTAIN SKILLMAN REG. NO. 262

HAUT DEVELOPMENT, LLC
 WESTSIDE BLVD APARTMENTS
 WESTSIDE BLVD, KISSIMMEE, FLORIDA

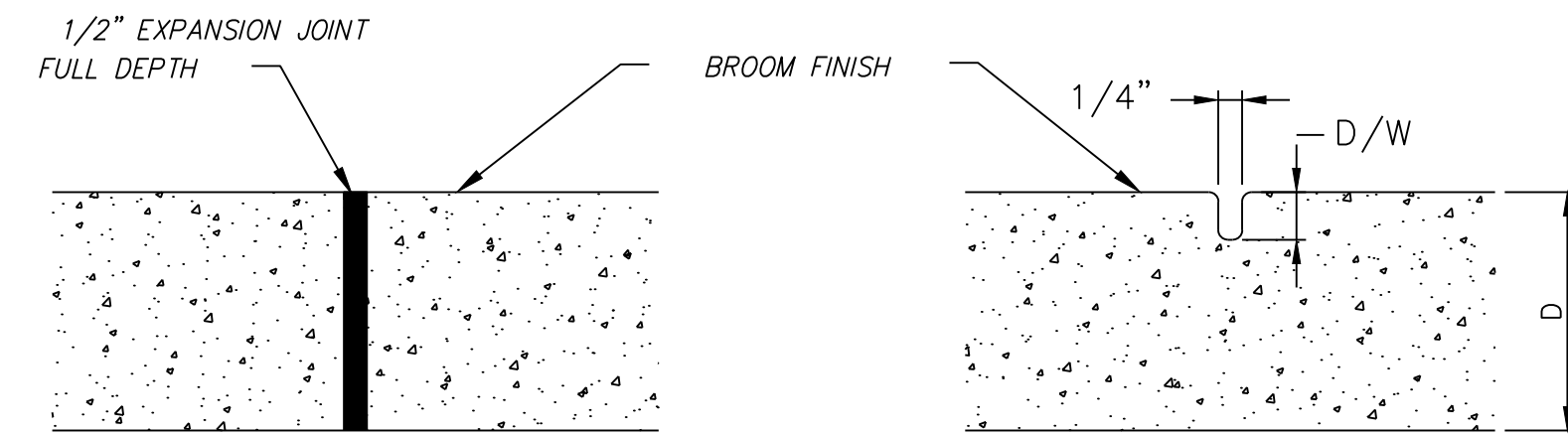
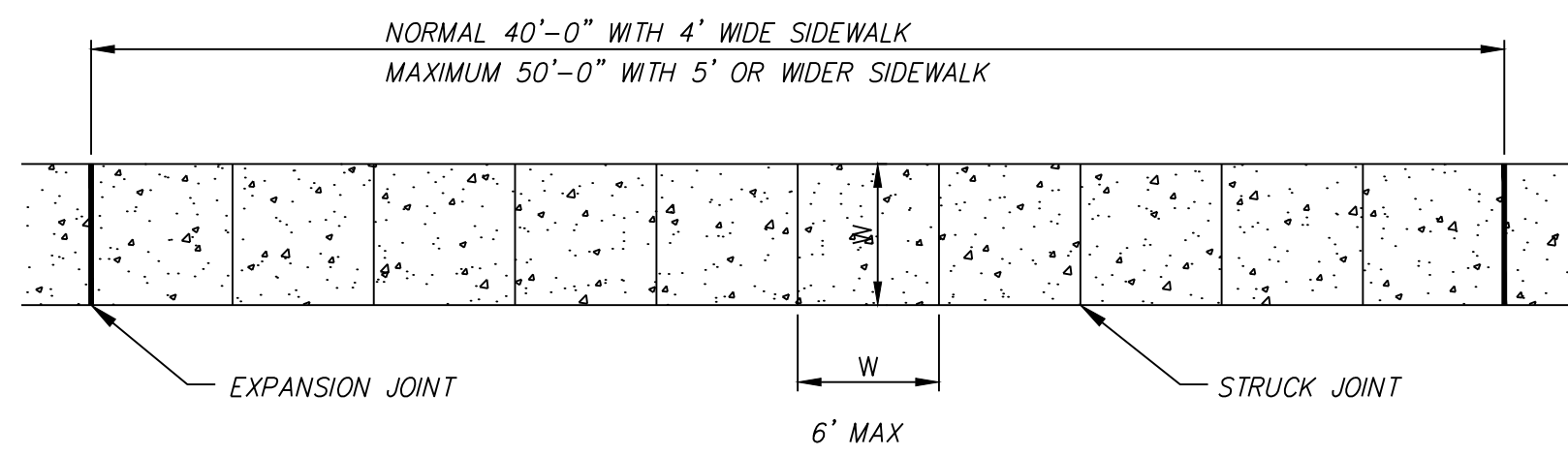
VEHICLE PATH

This item has been digitally signed and sealed by Leonard E. Arnold, Jr. on the date adjacent to seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

April 13, 2023 ENGINEER: LEONARD E. ARNOLD JR., P.E.
 REG. NO.: 55241

PROJECT NUMBER:
10382.01

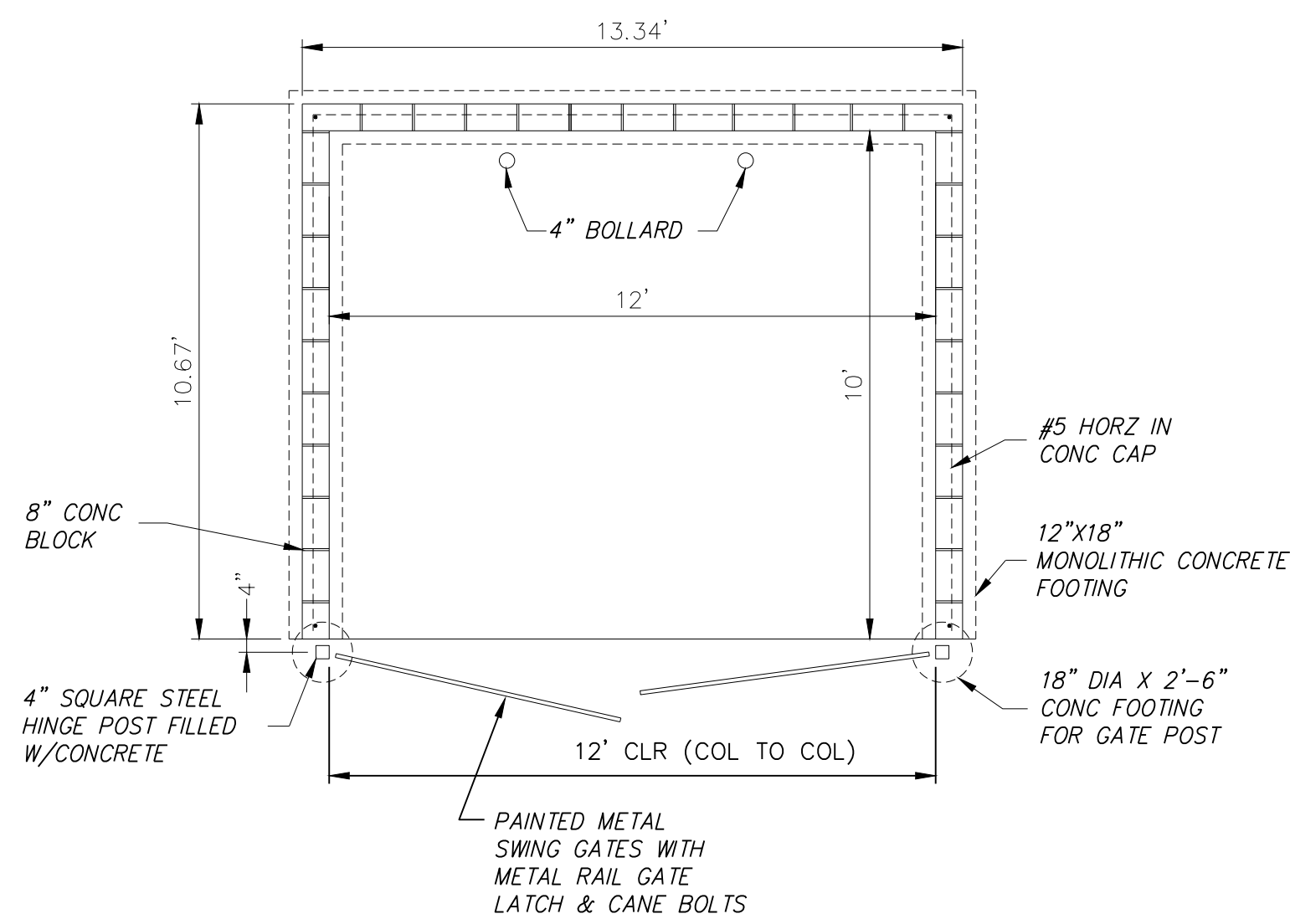
SHEET NUMBER:
C-07



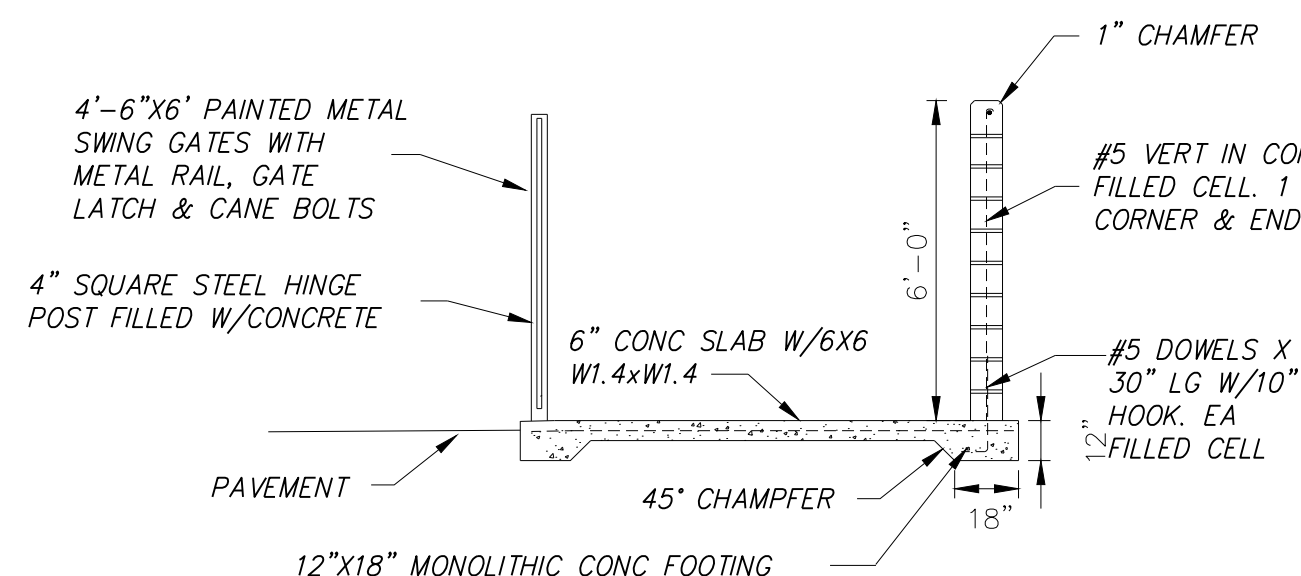
EXPANSION JOINT STRUCK JOINT

- NOTES:
1. SIDEWALK EXPANSION JOINTS TO BE AT ALL TIES TO CONCRETE OTHER THAN DRIVEWAYS. MAXIMUM SPACING SHALL BE 60'.
 2. EXPANSION JOINT MATERIAL SHALL BE ASPHALT FIBER IMPREGNATED PREFORMED JOINT FILLER, TO FILL DEPTH OF CONCRETE.

TYPICAL SIDEWALK
N.T.S.

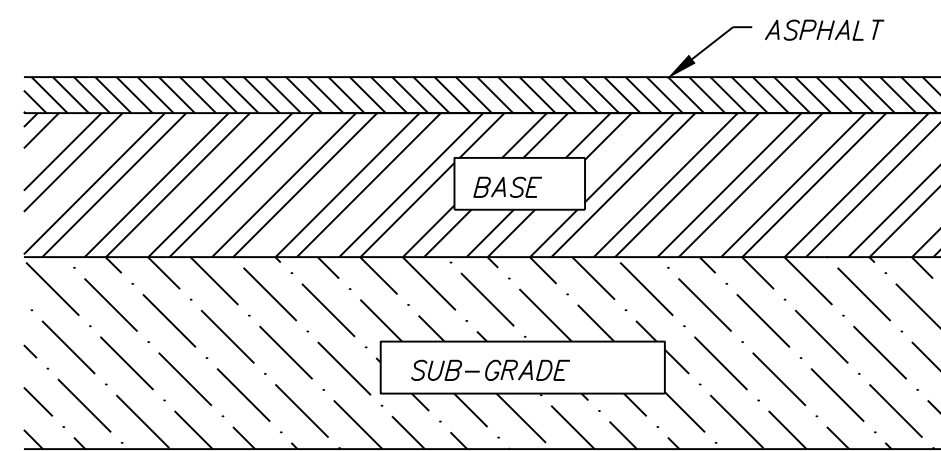


PLAN



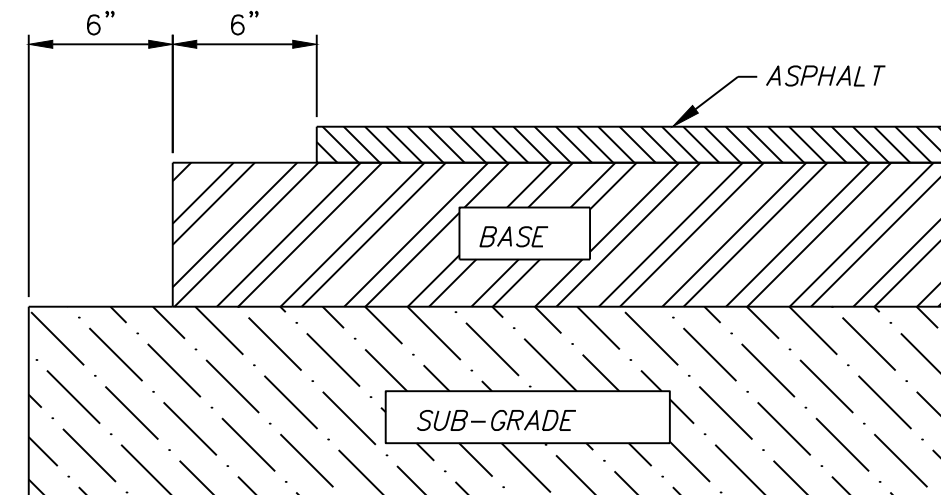
SECTION

TYPICAL 12'x10' TRASH ENCLOSURE WITH MONOLITHIC FOOTER AND SLAB DESIGN
N.T.S.



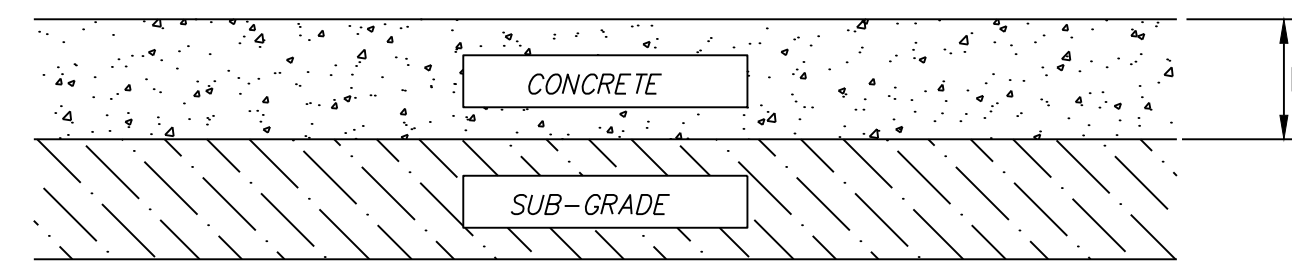
- ASPHALT 1.5" TYPE S-1 ASPHALTIC CONCRETE SURFACE COURSE
- BASE 9" LIMEROCK LBR 100 COMPACTED TO 98% OF AASHTO T-180
- SUB-GRADE 12" COMPACTED SUB-GRADE LBR 20 COMPACTED TO 98% AASHTO T-180

TYPICAL PAVEMENT SECTION
N.T.S.



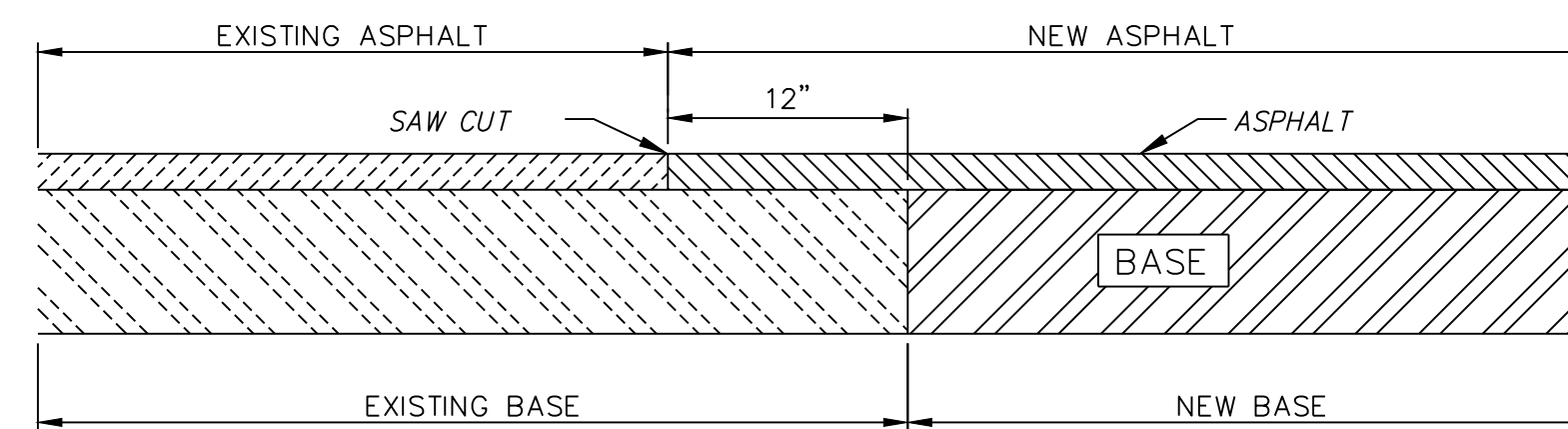
- ASPHALT 2" TYPE S-1 ASPHALTIC CONCRETE SURFACE COURSE
- BASE 10" LIMEROCK LBR 100 COMPACTED TO 98% OF AASHTO T-180
- SUB-GRADE 12" COMPACTED SUB-GRADE LBR 20 COMPACTED TO 98% AASHTO T-180

TYPICAL PAVEMENT SECTION
N.T.S.

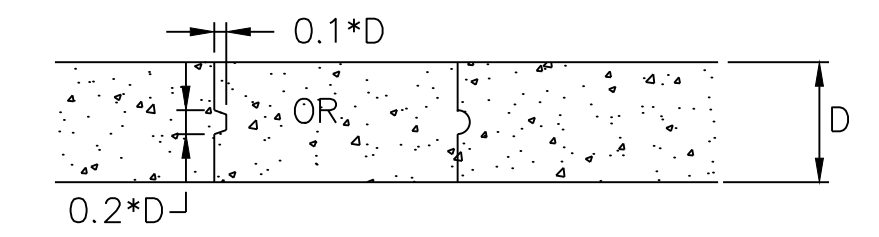


- CONCRETE 6" THICKNESS 3,500 PSI WITH NYCON NYLON - 6 FIBERS & LAMBERT RB-64 CURING COMPOUND.
- SUB-GRADE 6" COMPACTED SUB-GRADE LBR 20 COMPACTED TO 98% AASHTO T-180

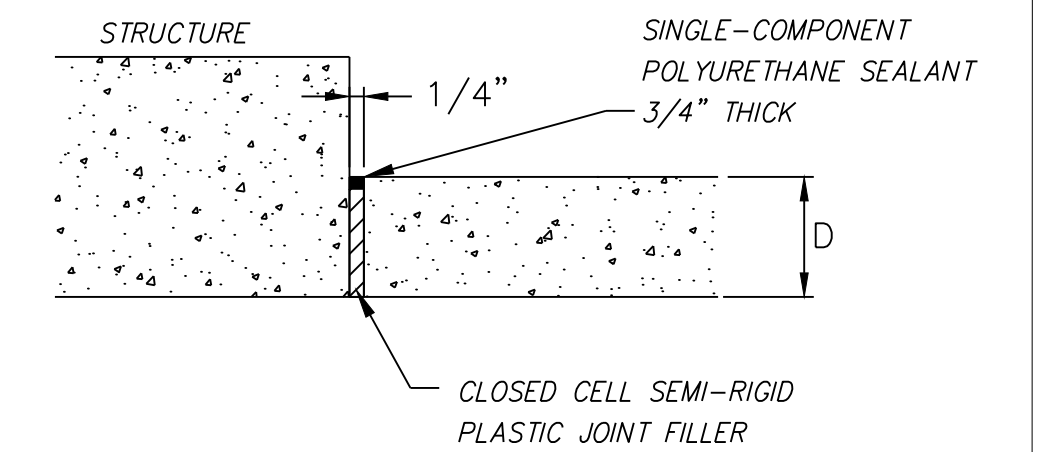
TYPICAL CONCRETE PAVEMENT SECTION
N.T.S.



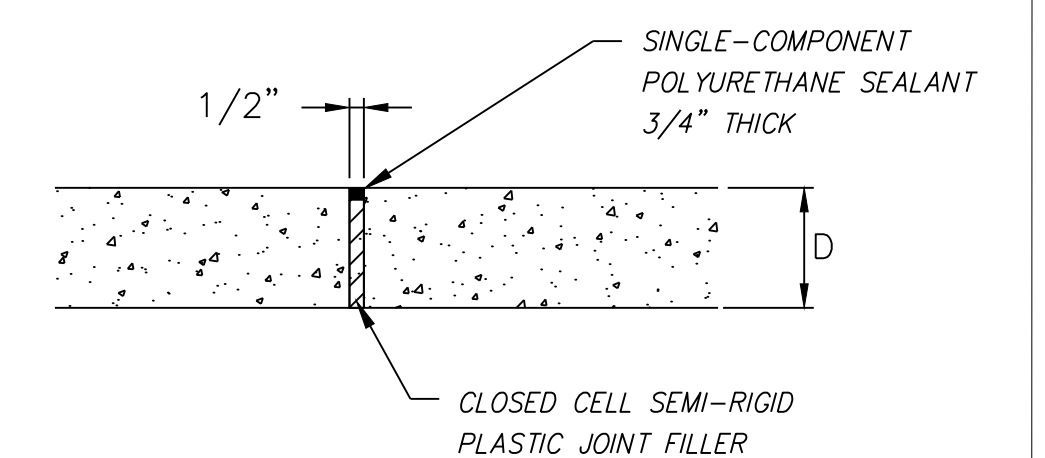
PAVEMENT CONNECTION
N.T.S.



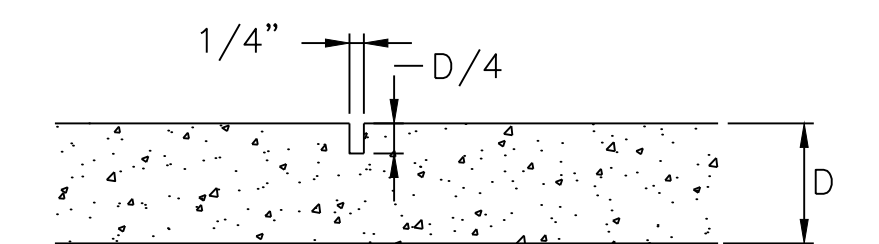
CONSTRUCTION JOINT
N.T.S.



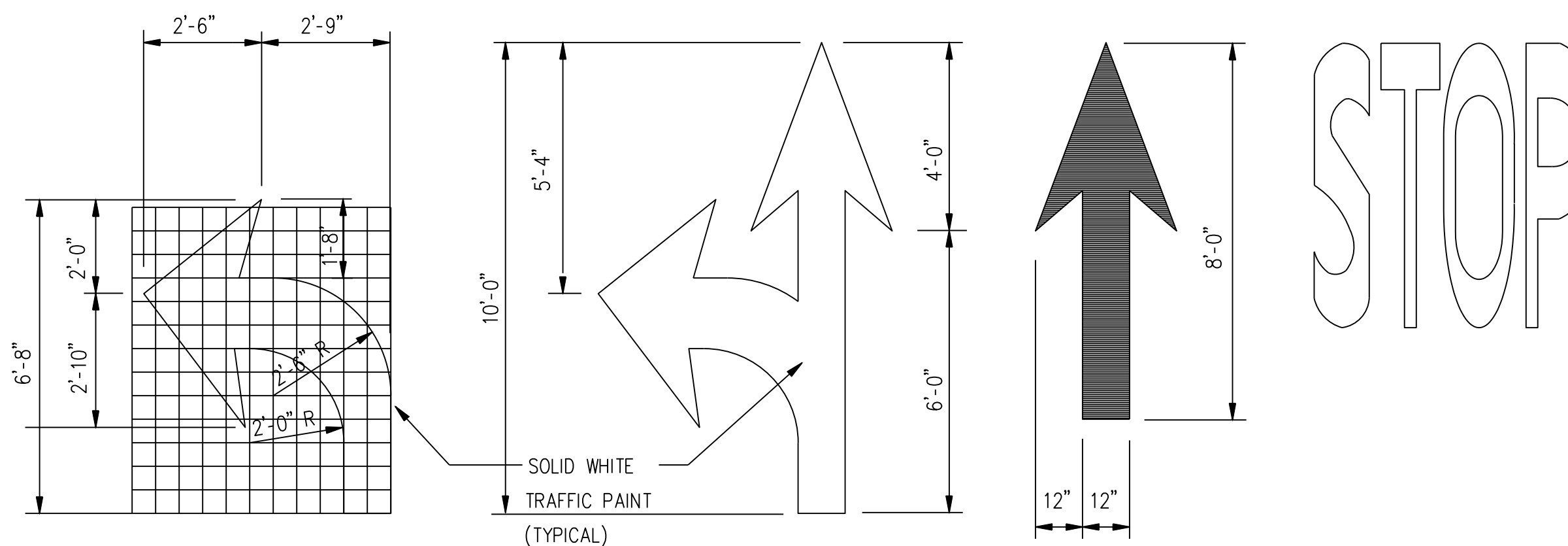
1/4" EXPANSION JOINT
N.T.S.



1/2" EXPANSION JOINT
N.T.S.



CONTROL JOINT
N.T.S.



PAVEMENT MARKINGS
N.T.S.

NUMBER	DATE	DESCRIPTION
P-0	1/2023	ISSUED FOR REVIEW

CHASTAIN-SKILLMAN
205 EAST ORANGE STREET
SUITE #110
LAKELAND, FL 33801-4611
(863) 646-1402



HAUT DEVELOPMENT, LLC
WESTSIDE BLVD APARTMENTS
WESTSIDE BLVD, KISSIMMEE, FLORIDA

DETAILS

This item has been digitally signed and sealed by Leonard E. Arnold, Jr. on the date adjacent to seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

PROJECT NUMBER:
10382.01

SHEET NUMBER:
C-08

April 13, 2023 ENGINEER: LEONARD E. ARNOLD JR, P.E.
REG. NO.: 55241